

**ARTICLE 2**  
**ZONING DISTRICTS**

**2**

## 2.1 Establishment of Districts

### Establishment of Districts

**See Also:**

Article 5,  
Planned Unit Developments

Chapter 11.5,  
Administrative Appeals

Chapter 12.4, Administrative  
Appeal Applications

- A. **Establishment of Zoning Districts:** For the purpose of this Ordinance, the planning jurisdiction is divided into the following zoning districts. Each of the zoning districts stands alone and is not part of a hierarchy-system of zoning.

**Agricultural Zoning Districts**

AG - Agriculture ..... page 2-6  
A/R - Agriculture/Rural Residential ..... page 2-8

**Low Density Residential Zoning Districts**

R1 - Single-Family Residential ..... page 2-10  
R2 - Two-Family Residential ..... page 2-12

**High Density Residential Zoning Districts**

RM - Multi-Family Residential ..... page 2-14  
RMH - Manufactured Home Park ..... page 2-16

**Park Zoning District**

PK - Parks and Open Space ..... page 2-18

**Business Zoning Districts**

BN - Neighborhood Business ..... page 2-20  
BC - Central Business ..... page 2-22  
BP - Professional Business ..... page 2-24  
BG - General Business ..... page 2-26  
BH - Highway Business ..... page 2-28

**Industrial Zoning Districts**

IL - Light Industrial ..... page 2-30  
IG - General Industrial ..... page 2-32

- B. **Establishment of Planned Unit Development Districts:** This Ordinance allows for all zoning districts to be rezoned for the creation of a Planned Unit Development. All Planned Unit Developments shall be consistent with the requirements of Article 5 of this Ordinance.

- C. **Land Uses:** Each land use is either a permitted, non-permitted or special exception use in each zoning district.

1. **Land Uses Specified:** A general list of permitted and special exception uses for each district is noted in the "Permitted Uses" and "Special Exceptions" columns accompanying the description of each zoning district in this Article. Specific land uses within each general category are listed in the Land Use Matrix at the end of this Article.
2. **Unlisted or Questionable Land Uses:** Any use not listed as a permitted or special exception use is considered non-permitted. The Plan Commission Director may determine into which category any questionable use is placed if it is not specifically listed but similar to another use that is a permitted or a special exception use. This determination may be appealed to the Board of Zoning Appeals.

## 2.2 Lot & Yard Standards

### Lot & Yard Standards

- A. **Lot & Yard Standards:** The lot and yard standards for each zoning district shall be as specified in the description of each district in this Article. Lot and yard standards shall include front yard setbacks, side yard setbacks, rear yard setbacks, lot area, lot width, lot frontage, lot depth, height, living areas, primary structures, and lot coverage. A summary of these lot & yard standards is provided in the Lot & Yard Standards table below:

## Lot & Yard Standards

Zoning District	Lot Area & Dimensions						Min. Front Yard Setback			Minimum Side Yard Setback	Minimum Rear Yard Setback	Minimum Living Unit Area	Minimum Ground Floor Living Area	Maximum Primary Structures per Lot	Maximum Height	
	Min. Area	Max. Area	Min. Width	Min. Frontage	Max. Depth	Max. Coverage	Arterial Street	Collector Street	Local Street						Primary Structure	Accessory Structure
<b>Agricultural Zoning Districts</b>																
AG	20 acres	none	150 ft.	public street legal access	none	none	50 ft.	50 ft.	50 ft.	50 ft.	50 ft.	1,000 sq. ft.	40%	NA	35 ft.	25 ft.
A/R	2 acres (septic) 1 acre (sewer)	none	150 ft.	50 ft.	3.5x lot width	35%	50 ft.	50 ft.	50 ft.	35 ft.	35 ft.	1,000 sq. ft. (farm) 1,600 sq. ft. (non-farm)	40%	NA (farm) 1 (non-farm)	35 ft.	25 ft.
<b>Low Density Residential Zoning Districts</b>																
R1	10,000 sq. ft.	none	80 ft.	45% of lot width	none	45%	50 ft.	30 ft.	20 ft.	10 ft.	20 ft.	1,400 sq. ft.	30%	1	35 ft.	25 ft.
R2	10,000 sq. ft.	none	80 ft.	45% of lot width	none	65%	50 ft.	30 ft.	20 ft.	7 ft.	15 ft.	1,400 sq. ft.	none	1	45 ft.	25 ft.
<b>High Density Residential Zoning Districts</b>																
RM	4,500 sq. ft. per dwelling unit	none	100 ft.	50 ft.	none	65%	50 ft.	30 ft.	20 ft.	50 ft. (complex) 10 ft. (building)	50 ft. (complex) 15 ft. (building)	600 sq. ft.	none	NA	65 ft.	25 ft.
RMH (parcel)	5 acres	10 acres	200 ft.	50 ft.	none	50%	50 ft.	50 ft.	50 ft.	50 ft.	50 ft.	900 sq. ft.	none	NA	35 ft.	25 ft.
RMH (dwelling site)	4,000 sq. ft.	NA	none	none	none	none	NA	20 ft.	20 ft.	8 ft.	8 ft.	900 sq. ft.	none	1	35 ft.	25 ft.
<b>Park Zoning District</b>																
PK	2 acres	none	65 ft.	50 ft.	none	25%	50 ft.	30 ft.	20 ft.	10 ft.	10 ft.	NA	NA	NA	35 ft.	25 ft.
<b>Business Zoning Districts</b>																
BN	5,000	1 acre	50 ft.	100% of lot width	none	85%	20 ft.	15 ft.	10 ft.	0 ft.	20 ft.	600 sq. ft.	NA	1	35 ft.	25 ft.
BC	established area	established area	established width	established frontage	established depth	100%	0 ft.	0 ft.	0 ft.	average setback of BC lots in block	average setback of BC lots in block	600 sq. ft.	NA	1	60 ft.	25 ft.
BP	15,000 sq. ft.	none	75 ft.	50 ft.	none	75%	50 ft.	30 ft.	20 ft.	10 ft.	20 ft.	NA	NA	1	45 ft.	25 ft.
BG	15,000 sq. ft.	none	75 ft.	50 ft.	none	85%	50 ft.	30 ft.	20 ft.	10 ft.	20 ft.	NA	NA	1	45 ft.	25 ft.
BH	15,000 sq. ft.	none	80 ft.	50 ft.	none	85%	50 ft.	30 ft.	20 ft.	10 ft.	20 ft.	NA	NA	1	45 ft.	25 ft.
<b>Industrial Zoning Districts</b>																
IL	10,000 sq. ft.	none	80 ft.	50 ft.	none	85%	50 ft.	50 ft.	50 ft.	25 ft.	25 ft.	NA	NA	1	50 ft.	25 ft.
IG	1 acre	none	100 ft.	50 ft.	none	85%	50 ft.	50 ft.	50 ft.	25 ft.	25 ft.	NA	NA	1	50 ft.	25 ft.

NA - Not Applicable

Lot & Yard Standards

**See Also:**

*Article 9, Nonconformities*

- B. **General Requirements:** All lots shall comply with the following requirements consistent with the applicable lot & yard standards.
1. **Legal Nonconforming Lots:** All lots existing prior to the effective date of this Ordinance that are in conflict with the lot and yard standards shall be considered Legal Non-Conforming Lots consistent with the provisions of Article 9, Nonconformities.
  2. **Compliance Requirements:** Except as provided in this Ordinance, no structure shall be erected, altered, enlarged or reconstructed unless such alteration, enlargement, or reconstruction conforms with the lot and yard regulations of the district in which it is located. The lot and yard requirements of this Article shall not apply in instances where this Ordinance specifically provides alternate requirements, such as an Overlay Zone or performance standards.
  3. **Setback Standards:** No portion of any structure or material stored outdoors is allowed to be located within the required setbacks. Structures shall include, but not be limited to, garages, carports, balconies, roofs, decks, chimneys, cornices, bay windows, fire escapes, steps, fascias, gutters, and platforms above normal grade level. None of the structural elements listed above or any similar features shall be permitted to overhang any required setback area. Fences, vehicle use areas, and sidewalks shall be permitted within the required setbacks at normal grade level subject to the requirements of this Ordinance.

## 2.3 Development Standards

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All structures and land uses, including any alterations to either, that are established or that otherwise occur after the effective date of this Ordinance shall conform with the development standards provided by this Ordinance. The development standards that apply to each Zoning District shall be as referenced in the description of each district in this Article and as specified in Article 6, Development Standards. The development standards shall not apply in instances where this Ordinance specifically provides alternate requirements, such as an Overlay Zone or performance standard.

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### Development Standards

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*See Also:*

*Article 6,  
Development Standards*

## 2.4 Agriculture - AG

### Agriculture (AG)

#### Intent

The "AG" district is intended to maintain areas within Shelbyville's zoning jurisdiction for agriculture. This district is further intended to reduce conflicts between residential and agricultural land uses and limit development in areas with minimal infrastructure. Shelbyville should strive to protect this district from conflicting, non-agricultural land uses and those uses that are incompatible with the available infrastructure.

#### A. Permitted Uses

##### Agricultural Uses

- farm (general)
- winery
- animal boarding

##### Residential Uses

- dwelling, farm

##### Institutional/Public Uses

- cemetery

##### Communication/Utility Uses

- utility substation
- public wellfield/pumphouse

##### Park Uses

- nature preserve/center

#### B. Special Exception Uses

##### Agricultural Uses

- farm (confined feeding)
- farmer's market (for sale of products grown off-site)
- livestock auction/sales facility
- agricultural products sales, distribution, & storage facility

##### Residential Uses

- dwelling, single-family
- bed and breakfast facility

##### Institutional/Public Uses

- fairgrounds
- police, fire, or rescue station

##### Communication/Utility Uses

- sewage treatment plant
- wireless telecommunications facility
- water tower

##### Commercial Uses

- kennel
- recreational uses (large scale)
- health spa
- retreat center

##### Industrial Uses

- mineral extraction and processing
- power generation facility
- agricultural products terminal

#### Notes

1. *Use Matrix:* The Use Matrix at the end of this Article (p. 2-34) provides detailed use listings for all zoning districts.
2. *Planned Developments:* Any zoning district may be rezoned to "PUD", consistent with Article 5, Planned Unit Developments of this Ordinance.
3. *Subdivisions Permitted:* The subdivision of land in this district shall be consistent with the provisions of the Shelbyville Subdivision Control Ordinance, unless such land is located outside of the Shelbyville City Limits in which case all applicable regulations of Shelby County shall apply.
4. *Accessory Uses:* Accessory Uses are described by Chapter 6.3 of this Ordinance.

**2.4 Agriculture - AG (cont.)**

Agriculture (AG)

**C. Lot & Yard Standards**

**Minimum Lot Area:**

- 20 acres

**Maximum Lot Area:**

- none

**Minimum Lot Width:**

- 150 feet (measured at the front building setback line)

**Minimum Lot Frontage:**

- legal access to a public street

**Maximum Lot Depth:**

- none

**Maximum Lot Coverage:**

- 20% (of the lot area may be covered by structures and other hard surfaces)

**Minimum Front Yard Setback:**

- 50 feet when adjacent to an Arterial Street
- 50 feet when adjacent to a Collector Street
- 50 feet when adjacent to a Local Street

**Minimum Side Yard Setback:**

- 50 feet

**Minimum Rear Yard Setback:**

- 50 feet

**Minimum Living Area per Dwelling:**

- 1,000 square feet

**Minimum Ground Floor Living Area:**

- 40% of the total living area

**Maximum Primary Structures per Lot:**

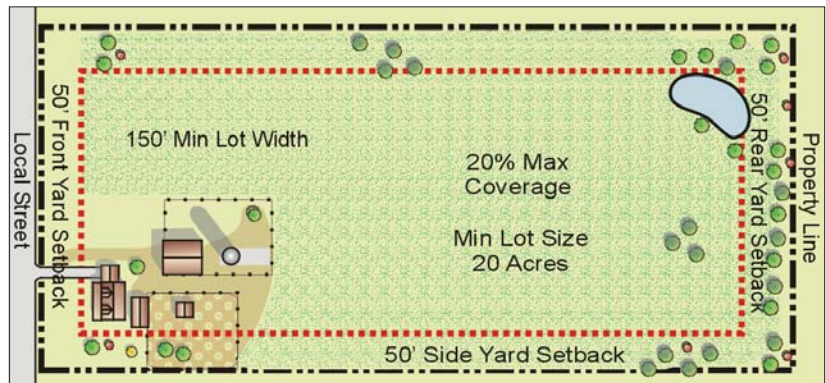
- 1 primary residential structure, no limit for agricultural structures

**Maximum Height:**

- 35 feet for primary structures
- 25 feet for accessory structures
- All agricultural structures are exempt from height restrictions

**CROSS-REFERENCES**

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*Illustrative Layout (Does not reflect all requirements established by this Ordinance).*

## 2.5 Agriculture/Rural Residential - A/R

### Agriculture/ Rural Residential (A/R)

#### **Intent**

The A/R district is intended to provide areas for a mixture of agricultural and residential land uses. This mixture is intended to maintain farming operations, while also allowing increased development in areas adjacent to developed infrastructure and on property not especially suited for agricultural uses. Shelbyville should strive to protect the agricultural uses in this district from conflicting land uses, while promoting development that will provide unique, rural housing options and the future ability to extend municipal infrastructure.

#### **A. Permitted Uses**

##### **Agricultural Uses**

- farm (general)
- winery
- animal boarding

##### **Residential Uses**

- dwelling, farm
- dwelling, single-family
- residential facility for the mentally ill
- residential facility for the developmentally disabled type I

##### **Institutional/Public Uses**

- cemetery

##### **Communication/Utility Uses**

- utility substation
- public wellfield/pumphouse

##### **Park Uses**

- nature preserve/center
- park and/or playgrounds

#### **B. Special Exception Uses**

##### **Agricultural Uses**

- farmer's market (for sale of products grown off-site)

##### **Residential Uses**

- residential facility for the developmentally disabled type II
- bed and breakfast facility
- group home/residential treatment center
- boarding house

##### **Institutional/Public Uses**

- church or other place of worship
- fairgrounds
- police, fire, or rescue station
- school (P-12)

##### **Communication/Utility Uses**

- sewage treatment plant
- wireless telecommunications facility
- water tower

##### **Park Uses**

- golf course and/or country club
- driving range
- athletic fields, courts, & areas

##### **Commercial Uses**

- kennel
- recreational uses (large scale)
- health spa
- retreat center

##### **Industrial Uses**

- mineral extraction and processing
- power generation facility

#### **Notes**

1. *Use Matrix:* The Use Matrix at the end of this Article (p. 2-34) provides detailed use listings for all zoning districts.
2. *Planned Developments:* Any zoning district may be rezoned to "PUD", consistent with Article 5, Planned Unit Developments of this Ordinance.
3. *Subdivisions Permitted:* The subdivision of land in this district shall be consistent with the provisions of the Shelbyville Subdivision Control Ordinance, unless such land is located outside of the Shelbyville City Limits in which case all applicable regulations of Shelby County shall apply.
4. *Accessory Uses:* Accessory Uses are described by Chapter 6.3 of this Ordinance.

**C. Lot & Yard Standards**

**Minimum Lot Area:**

- 2 acres (using a septic system)
- 1 acre (using a public sewer)

**Maximum Lot Area:**

- none

**Minimum Lot Width:**

- 150 feet (measured at the front building setback line)

**Minimum Lot Frontage:**

- 50 feet (on a public street, with access from that street)

**Maximum Lot Depth:**

- 3.5 times the lot width

**Maximum Lot Coverage:**

- 35% (of the lot area may be covered by structures and other hard surfaces)

**Minimum Front Yard Setback:**

- 50 feet when adjacent to an Arterial Street
- 50 feet when adjacent to a Collector Street
- 50 feet when adjacent to a Local Street

**Minimum Side Yard Setback:**

- 35 feet

**Minimum Rear Yard Setback:**

- 35 feet

**Minimum Living Area per Dwelling:**

- 1,000 square feet (dwelling, farm)
- 1,600 square feet (dwelling, non-farm)

**Minimum Ground Floor Living Area:**

- 40% of the total living area

**Maximum Primary Structures per Lot:**

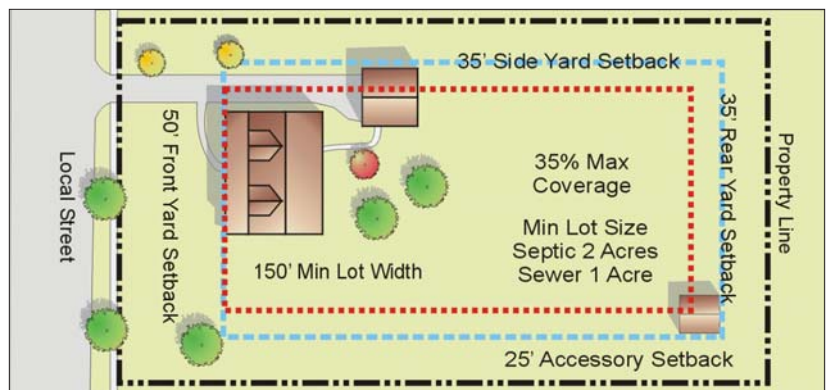
- 1 primary residential structure, no limit for agricultural structures

**Maximum Height:**

- 35 feet for primary structures
- 25 feet for accessory structures
- All agricultural structures are exempt from height restrictions.

**CROSS-REFERENCES**

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*Illustrative Layout (Does not reflect all requirements established by this Ordinance).*

## 2.6 Single-Family Residential - R1

### Single-Family Residential (R1)

**Performance Zoning District See Article 3**

### Intent

The "R1" district is intended to provide an area exclusively for single-family homes. This district may be used to provide a transition between the "AG" and "A/R" areas and those of higher density residential uses. The performance standards, established by Article 3, are intended to encourage a diversity of neighborhoods. Shelbyville should strive to protect this district from conflicting industrial and commercial land uses and to integrate these neighborhoods with higher density residential areas, institutions, commercial centers, and parks in the community.

#### A. Permitted Uses

##### Residential Uses

- dwelling, single-family
- residential facility for the mentally ill
- residential facility for the developmentally disabled type I

##### Park Uses

- nature preserve/center
- park and/or playgrounds

#### B. Special Exception Uses

##### Residential Uses

- residential facility for the developmentally disabled type II

##### Institutional/Public Uses

- church or other place of worship
- day-care center
- cemetery
- police, fire, or rescue station
- school (P-12)

##### Communication/Utility Uses

- water tower

##### Park Uses

- golf course and/or country club
- driving range
- athletic fields, courts, & areas

### Notes

1. *Use Matrix:* The Use Matrix at the end of this Article (p. 2-34) provides detailed use listings for all zoning districts.
2. *Planned Developments:* Any zoning district may be rezoned to "PUD", consistent with Article 5, Planned Unit Developments of this Ordinance.
3. *Subdivisions Permitted:* The subdivision of land in this district shall be consistent with the provisions of the Shelbyville Subdivision Control Ordinance, unless such land is located outside of the Shelbyville City Limits in which case all applicable regulations of Shelby County shall apply.
4. *Accessory Uses:* Accessory Uses are described by Chapter 6.3 of this Ordinance.

**C. Lot & Yard Standards**

**Minimum Lot Area:**

- 10,000 square feet

**Maximum Lot Area:**

- none

**Minimum Lot Width:**

- 80 feet (measured at the front building setback line)

**Minimum Lot Frontage:**

- 45% of the lot width (on a public street, with access from that street)

**Maximum Lot Depth:**

- none

**Maximum Lot Coverage:**

- 45% (of the lot area may be covered by structures and other hard surfaces)

**Minimum Front Yard Setback:**

- 50 feet when adjacent to an Arterial Street
- 30 feet when adjacent to a Collector Street
- 20 feet when adjacent to a Local Street

**Minimum Side Yard Setback:**

- 10 feet

**Minimum Rear Yard Setback:**

- 20 feet

**Minimum Living Area per Dwelling:**

- 1,400 square feet

**Minimum Ground Floor Living Area:**

- 30% of the total living area

**Maximum Primary Structures per Lot:**

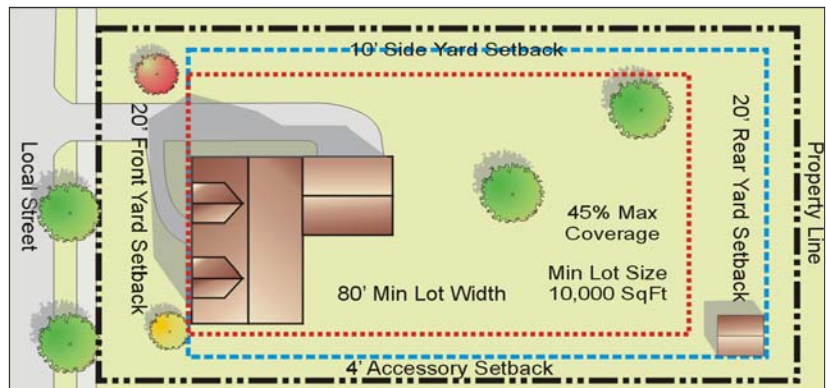
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**Maximum Height:**

- 35 feet for primary structures
- 25 feet for accessory structures

**CROSS-REFERENCES**

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Residential		Part 2 .....	6-59
Part 1 .....	6-20	Buffering & Screening	
Part 2 .....	6-20	Part 1 .....	6-64
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Illustrative Layout (Does not reflect all requirements established by this Ordinance).

## 2.7 Two-Family Residential - R2

### Two-Family Residential (R2)

**Performance Zoning District**  
See Article 3

### Intent

The "R2" district is intended to provide an area for two-family dwellings, such as duplexes and "patio homes". The performance standards established by Article 3 are intended to encourage innovative designs and a diversity of neighborhoods. Shelbyville should strive to protect this district from conflicting land uses and to integrate these neighborhoods with the other residential areas, institutions, neighborhood commercial centers, and parks of the community.

### A. Permitted Uses

#### Residential Uses

- dwelling, two-family
- residential facility for the mentally ill
- residential facility for the developmentally disabled type I

#### Park Uses

- nature preserve/center
- park and/or playgrounds

### B. Special Exception Uses

#### Residential Uses

- dwelling, single-family
- residential facility for the developmentally disabled type II
- assisted living facility
- retirement facility
- nursing home

#### Institutional/Public Uses

- church or other place of worship
- community center
- day-care center
- cemetery
- police, fire, or rescue station
- school (P-12)

#### Communication/Utility Uses

- water tower

#### Park Uses

- golf course and/or country club
- driving range
- athletic fields, courts, & areas

### Notes

1. *Use Matrix:* The Use Matrix at the end of this Article (p. 2-34) provides detailed use listings for all zoning districts.
2. *Planned Developments:* Any zoning district may be rezoned to "PUD", consistent with Article 5, Planned Unit Developments of this Ordinance.
3. *Subdivisions Permitted:* The subdivision of land in this district shall be consistent with the provisions of the Shelbyville Subdivision Control Ordinance, unless such land is located outside of the Shelbyville City Limits in which case all applicable regulations of Shelby County shall apply.
4. *Accessory Uses:* Accessory Uses are described by Chapter 6.3 of this Ordinance.

**C. Lot & Yard Standards**

**Minimum Lot Area:**

- 10,000 square feet

**Maximum Lot Area:**

- none

**Minimum Lot Width:**

- 80 feet (measured at the front building setback line)

**Minimum Lot Frontage:**

- 45% of the lot width (on a public street, with access from that street)

**Maximum Lot Depth:**

- none

**Maximum Lot Coverage:**

- 65% (of the lot area may be covered by structures and other hard surfaces)

**Minimum Front Yard Setback:**

- 50 feet when adjacent to an Arterial Street
- 30 feet when adjacent to a Collector Street
- 20 feet when adjacent to a Local Street

**Minimum Side Yard Setback:**

- 7 feet

**Minimum Rear Yard Setback:**

- 15 feet

**Minimum Living Area per Dwelling:**

- 1,400 square feet

**Minimum Ground Floor Living Area:**

- none

**Maximum Primary Structures per Lot:**

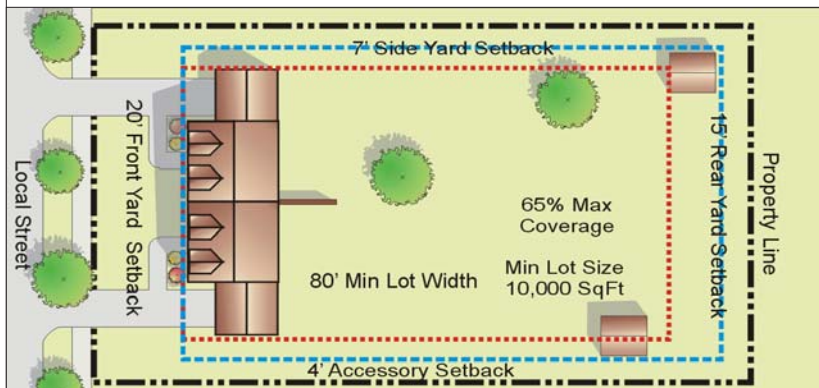
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**Maximum Height:**

- 45 feet for primary structures
- 25 feet for accessory structures

**CROSS-REFERENCES**

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*Illustrative Layout (Does not reflect all requirements established by this Ordinance).*

## 2.8 Multi-Family Residential - RM

### Multi-Family Residential (RM)

**Performance Zoning District See Article 3**

### Intent

The "RM" district is intended to provide an area for multi-family dwellings, such as apartment houses, apartment complexes, and condominiums. This district may be used to provide a transition between other residential and non-residential land uses. The performance standards established by Article 3 are intended to encourage innovative designs.

Shelbyville should strive to protect this district from conflicting industrial land uses and to integrate these developments with the other residential areas, commercial areas, institutions, and parks in the community.

### A. Permitted Uses

#### Residential Uses

- dwelling, multi-family
- residential facility for the mentally ill
- residential facility for the developmentally disabled type I
- residential facility for the developmentally disabled type II
- assisted living facility
- retirement facility
- nursing home

#### Park Uses

- nature preserve/center
- park and/or playgrounds

### B. Special Exception Uses

#### Residential Uses

- group home/residential treatment center
- boarding house

#### Institutional/Public Uses

- church or other place of worship
- community center
- day-care center
- institutional facility for the developmentally disabled
- institutional facility for the mentally ill
- police, fire, or rescue station
- school (P-12)

#### Communication/Utility Uses

- water tower

#### Park Uses

- golf course and/or country club
- driving range
- athletic fields, courts, & areas

### Notes

1. *Use Matrix:* The Use Matrix at the end of this Article (p. 2-34) provides detailed use listings for all zoning districts.
2. *Planned Developments:* Any zoning district may be rezoned to "PUD", consistent with Article 5, Planned Unit Developments of this Ordinance.
3. *Subdivisions Permitted:* The subdivision of land in this district shall be consistent with the provisions of the Shelbyville Subdivision Control Ordinance, unless such land is located outside of the Shelbyville City Limits in which case all applicable regulations of Shelby County shall apply.
4. *Accessory Uses:* Accessory Uses are described by Chapter 6.3 of this Ordinance.

**C. Lot & Yard Standards**

**Minimum Lot Area:**

- 4,500 square feet per dwelling unit

**Maximum Lot Area:**

- none

**Minimum Lot Width:**

- 100 feet (measured at the front building setback line)

**Minimum Lot Frontage:**

- 50 feet (on a public street, with access from that street)

**Maximum Lot Depth:**

- none

**Maximum Lot Coverage:**

- 65% (of the lot area may be covered by structures and other hard surfaces)

**Minimum Front Yard Setback:**

- 50 feet when adjacent to an Arterial Street
- 30 feet when adjacent to a Collector Street
- 20 feet when adjacent to a Local Street

**Minimum Side Yard Setback:**

- 50 feet (if an apartment complex)
- 10 feet (if a single apartment house)

**Minimum Rear Yard Setback:**

- 50 feet (if an apartment complex)
- 15 feet (if a single apartment-house)

**Minimum Living Area per Dwelling:**

- 600 square feet

**Minimum Ground Floor Living Area:**

- none

**Maximum Primary Structures per Lot:**

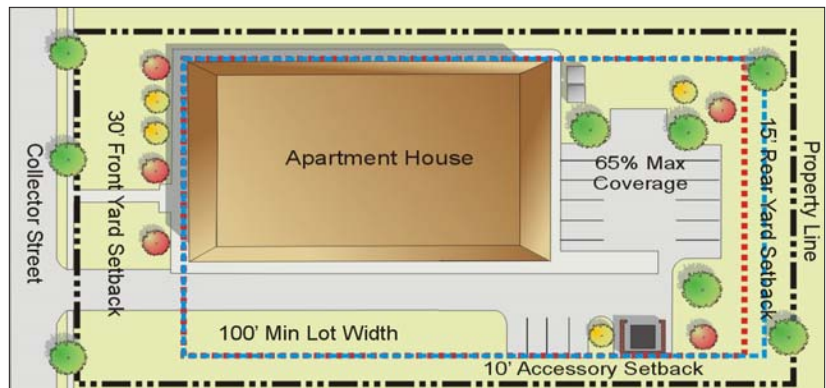
- none

**Maximum Height:**

- 65 feet for primary structures
- 25 feet for accessory structures

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Illustrative Layout (Does not reflect all requirements established by this Ordinance).

## 2.9 Manufactured Home Park - RMH

### Manufactured Home Park (RMH)

#### **Intent**

The "RMH" district is intended to provide areas within the community for leased-lot parks of mobile and type III manufactured homes. All manufactured home parks shall be established and maintained in accordance with IC 16-11-27-1 et. seq., Rule 410 IAC 6-6, and all subsequent amendments to either. All such developments shall also be consistent with the requirements of the Indiana Board of Health.

Neighborhoods of type I and type II manufactured homes that use public streets, individually platted lots, and/or lots-for-sale are intended to follow the requirements for single-family home developments consistent with this Ordinance and the Shelbyville Subdivision Control Ordinance.

#### **A. Permitted Uses**

##### **Residential Uses**

- mobile home/manufactured home park

##### **Park Uses**

- nature preserve/center
- park and/or playgrounds

#### **B. Special Exception Uses**

##### **Institutional/Public Uses**

- church or other place of worship
- community center
- day-care center
- police, fire, or rescue station
- school (P-12)

##### **Communication/Utility Uses**

- water tower

##### **Park Uses**

- golf course and/or country club
- driving range
- athletic fields, courts, & areas

#### **Notes**

1. *Use Matrix:* The Use Matrix at the end of this Article (p. 2-34) provides detailed use listings for all zoning districts.
2. *Planned Developments:* Any zoning district may be rezoned to "PUD", consistent with Article 5, Planned Unit Developments of this Ordinance.
3. *Subdivisions Permitted:* The subdivision of land in this district shall be consistent with the provisions of the Shelbyville Subdivision Control Ordinance, unless such land is located outside of the Shelbyville City Limits in which case all applicable regulations of Shelby County shall apply.
4. *Accessory Uses:* Accessory Uses are described by Chapter 6.3 of this Ordinance.

**C. Lot & Yard Standards (parcel)**

**Minimum Lot Area:**

- 5 acres

**Maximum Lot Area:**

- 10 acres

**Minimum Lot Width:**

- 200 feet (measured at the front building setback line)

**Minimum Lot Frontage:**

- 50 feet (on a public street, with access from that street)

**Maximum Lot Depth:**

- none

**Maximum Lot Coverage:**

- 50% (of the lot area may be covered by structures and other hard surfaces)

**Minimum Front Yard Setback:**

- 50 feet when adjacent to an Arterial Street
- 50 feet when adjacent to a Collector Street
- 50 feet when adjacent to Local Street

**Minimum Side & Rear Yard Setback:**

- 50 feet

**Minimum Living Area per Dwelling:**

- 900 square feet

**Minimum Ground Floor Living Area:**

- none

**Maximum Primary Structures per Lot:**

- none

**Maximum Height:**

- 35 feet for primary structures
- 25 feet for accessory structures

**D. Lot & Yard Standards (dwelling site)**

**Minimum Dwelling Site Area:**

- 4,000 square feet

**Minimum Dwelling Site Front Yard Setback:**

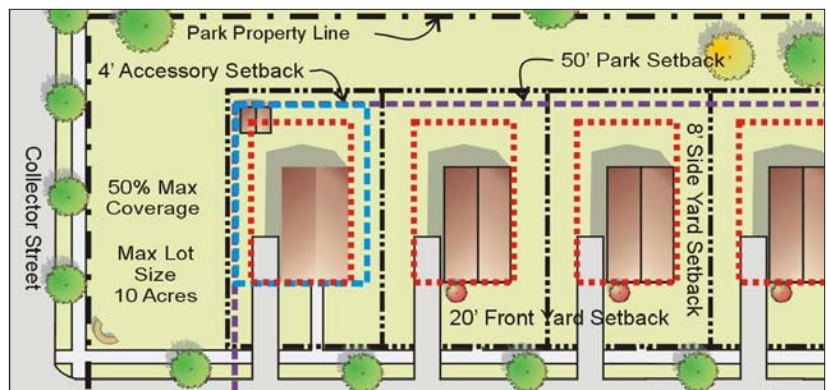
- 20 feet from the edge of pavement of interior streets (if private) or the right-of-way (if public)

**Minimum Dwelling Site Side & Rear Yard Setback:**

- 8 feet

**CROSS-REFERENCES**

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Part 1 .....	6-11	<b>Satellite Dish</b> .....	6-57
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<b>Residential</b>		Part 1 .....	6-59
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*Illustrative Layout (Does not reflect all requirements established by this Ordinance).*

**2.10 Parks & Open Space - PK**

Parks & Open Space (PK)

**Intent**

The "PK" district is intended to provide appropriate zoning regulations for public parks, open space, and private recreation developments. This district should be integrated with residential districts and natural features. Shelbyville should strive to use this district to provide usable open spaces and recreation amenities for the City's residential neighborhoods.

**A. Permitted Uses**

**Institutional Uses**

- community center
- fairgrounds

**Park Uses**

- golf course and/or country club
- driving range
- nature preserve/center
- park and/or playgrounds
- athletic fields, courts, & areas

**Commercial Uses**

- circus or carnival

**B. Special Exception Uses**

**Institutional/Public Uses**

- lodge or private club
- church or other place of worship
- cemetery
- government office
- government facility
- police, fire, or rescue station
- museum or gallery
- library
- parking lot or parking garage (as a primary use)
- school (P-12)

**Communication/Utility Uses**

- utility substation
- public wellfield/pumphouse
- water tower

**Park Uses**

- campground/RV park

**Commercial Uses**

- recreational uses (large scale)
- health spa
- retreat center

**Notes**

1. *Use Matrix:* The Use Matrix at the end of this Article (p. 2-34) provides detailed use listings for all zoning districts.
2. *Planned Developments:* Any zoning district may be rezoned to "PUD", consistent with Article 5, Planned Unit Developments of this Ordinance.
3. *Subdivisions Permitted:* The subdivision of land in this district shall be consistent with the provisions of the Shelbyville Subdivision Control Ordinance, unless such land is located outside of the Shelbyville City Limits in which case all applicable regulations of Shelby County shall apply.
4. *Accessory Uses:* Accessory Uses are described by Chapter 6.3 of this Ordinance.

**2.10 Parks & Open Space - PK (cont.)**

Parks & Open Space (PK)

**C. Lot & Yard Standards**

**Minimum Lot Area:**

- 2 acres

**Maximum Lot Area:**

- none

**Minimum Lot Width:**

- 65 feet (measured at the front building setback line)

**Minimum Lot Frontage:**

- 50 feet (on a public street, with access from that street)

**Maximum Lot Depth:**

- none

**Maximum Lot Coverage:**

- 25% (of the lot area may be covered by structures and other hard surfaces)

**Minimum Front Yard Setback:**

- 50 feet when adjacent to an Arterial Street
- 30 feet when adjacent to a Collector Street
- 20 feet when adjacent to a Local Street

**Minimum Side Yard Setback:**

- 10 feet

**Minimum Rear Yard Setback:**

- 10 feet

**Minimum Living Area per Dwelling:**

- not applicable

**Minimum Ground Floor Living Area:**

- not applicable

**Maximum Primary Structures per Lot:**

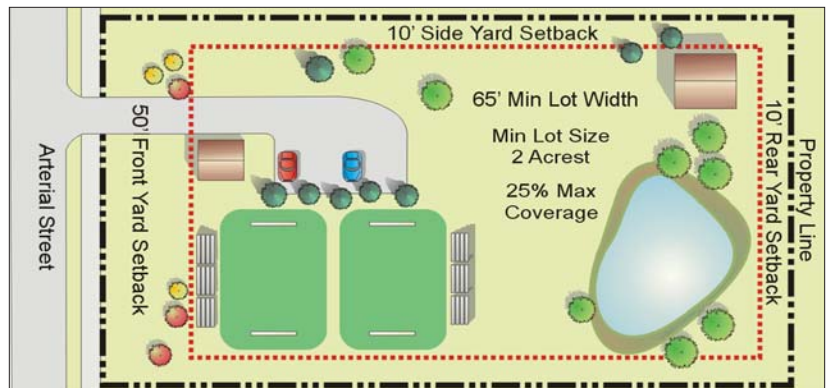
- not applicable

**Maximum Height:**

- 35 feet for primary structures
- 25 feet for accessory structures

**CROSS-REFERENCES**

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<b>Environmental</b> .....	6-26	<b>Landscaping</b> .....	6-61
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*Illustrative Layout (Does not reflect all requirements established by this Ordinance).*

**2.11 Neighborhood Business - BN**

Neighborhood Business (BN)

**Intent**

The "BN" district is intended to provide goods and services to neighborhoods and residential developments within the City. This district is further intended to permit the development of traditional, mixed-use neighborhood areas. Shelbyville should strive to protect this district from non-neighborhood serving commercial uses that would create land use conflicts. This district should be integrated into the community's neighborhoods at significant street intersections and with open space or institutional uses.

**A. Permitted Uses**

**Residential Uses**

- dwelling, single family (on upper floors of other uses)
- dwelling, two-family (on upper floors of other uses)
- dwelling, multi-family (on upper floors of other uses)

**Institutional/Public Uses**

- day-care center

**Park Uses**

- nature preserve/center
- park and/or playgrounds

**Commercial Uses**

- personal service uses
- retail uses (small scale)

**B. Special Exception Uses**

**Residential Uses**

- residential facility for the mentally ill
- residential facility for the developmentally disabled type I
- residential facility for the developmentally disabled type II
- assisted living facility
- retirement facility
- nursing home
- bed & breakfast facility

**Institutional/Public Uses**

- church or other place of worship
- community center
- medical or health clinic
- police, fire, or rescue station
- parking lot or parking garage (as a primary use)
- school (P-12)

**Communication/Utility Uses**

- water tower

**Park Uses**

- athletic fields, courts, & areas

**Commercial Uses**

- restaurant
- drive-up/drive thru facility (as an accessory use)
- recreation uses (small scale)
- retail uses (medium scale)

**Notes**

1. *Use Matrix:* The Use Matrix at the end of this Article (p. 2-34) provides detailed use listings for all zoning districts.
2. *Planned Developments:* Any zoning district may be rezoned to "PUD", consistent with Article 5, Planned Unit Developments of this Ordinance.
3. *Subdivisions Permitted:* The subdivision of land in this district shall be consistent with the provisions of the Shelbyville Subdivision Control Ordinance, unless such land is located outside of the Shelbyville City Limits in which case all applicable regulations of Shelby County shall apply.
4. *Accessory Uses:* Accessory Uses are described by Chapter 6.3 of this Ordinance.

**C. Lot & Yard Standards**

**Minimum Lot Area:**

- 5,000 square feet

**Maximum Lot Area:**

- 1 acre

**Minimum Lot Width:**

- 50 feet (measured at the front building setback line)

**Minimum Lot Frontage:**

- 100% of the lot width (on a public street, with access from that street)

**Maximum Lot Depth:**

- none

**Maximum Lot Coverage:**

- 85% (of the lot area may be covered by structures and other hard surfaces)

**Minimum Front Yard Setback:**

- 20 feet when adjacent to an Arterial Street
- 15 feet when adjacent to a Collector Street
- 10 feet when adjacent to a Local Street

**Minimum Side Yard Setback:**

- 0 feet

**Minimum Rear Yard Setback:**

- 20 feet

**Minimum Living Area per Dwelling:**

- 600 square feet

**Minimum Ground Floor Living Area:**

- N/A

**Maximum Primary Structures per Lot:**

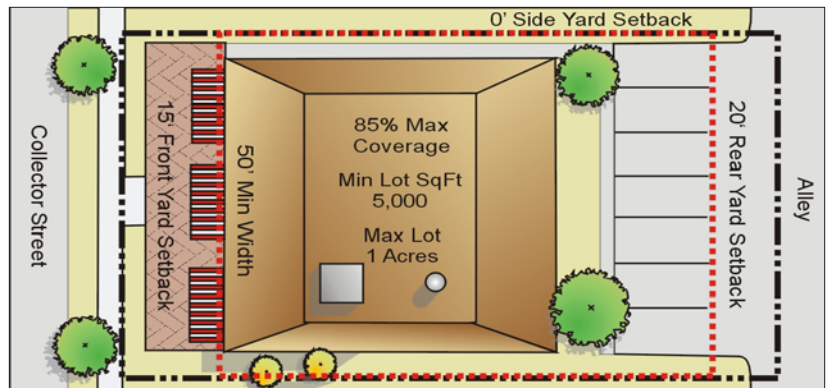
- 1

**Maximum Height:**

- 35 feet for primary structures
- 25 feet for accessory structures

**CROSS-REFERENCES**

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<b>Temporary Use &amp; Structure</b>		<b>Satellite Dish</b> .....	6-57
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<b>Residential</b>		Part 3 .....	6-60
Part 1 .....	6-20	<b>Landscaping</b> .....	6-61
Part 2 .....	6-20	<b>Buffering &amp; Screening</b>	
<b>Home Occupation</b> .....	6-21	Part 1 .....	6-64
<b>Environmental</b> .....	6-26	Part 2 .....	6-66
<b>Flood Hazard Area</b> .....	6-29	<b>Exterior Lighting</b> .....	6-68
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*Illustrative Layout (Does not reflect all requirements established by this Ordinance).*

**2.12 Central Business - BC**

**Central Business (BC)**

**Intent**

The "BC" district is intended to provide areas for the combination of land uses common to traditional central business districts. This zoning district is intended to accommodate the current uses and structures within Shelbyville's traditional downtown and permit the continued, contextually appropriate development of the area. Shelbyville should use this zoning district to protect the existing downtown area and its historic structures from incompatible uses and inappropriate site designs. This zoning district should also be used to provide for cohesive and appropriate infill development in and around the downtown area.

**A. Permitted Uses**

**Agricultural Uses**

- farmer’s market (for sale of products grown off-site)

**Residential Uses**

- dwelling, single family, two-family, or multi-family (on upper floors of other uses)

**Institutional/Public Uses**

- lodge or private club
- community center
- funeral home
- hospital/medical center
- medical or health clinic
- government office
- police, fire, or rescue station
- post office
- museum or gallery
- library
- trade or business school

**Park Uses**

- park and/or playgrounds

**Commercial Uses**

- hotel
- motel
- restaurant
- recreation uses (small scale)
- conference center
- personal service uses
- office uses
- retail uses (small scale)
- retail uses (medium scale)
- data processing center

**B. Special Exception Uses**

**Residential Uses**

- residential facility for the mentally ill
- residential facility for the developmentally disabled type I
- residential facility for the developmentally disabled type II
- assisted living facility
- retirement facility
- nursing home
- bed & breakfast facility
- boarding house

**Institutional/Public Uses**

- church or other place of worship
- day-care center
- institutional facility for the developmentally disabled
- institutional facility for the mentally ill
- penal or correctional institution
- parking lot or parking garage (as a primary use)
- school (P-12)
- university or college

**Communication/Utility Uses**

- utility substation
- wireless telecommunications facility
- communications service exchange
- water tower

**Park Uses**

- athletic fields, courts, & areas

**Commercial Uses**

- drive-up/drive thru facility (as an accessory use)
- bus/mass transit terminal
- circus or carnival
- recreation uses (medium scale)
- health spa
- retreat center
- liquor store
- retail uses (large scale)

**Industrial Uses**

- warehouse & distribution facility

**Notes**

1. *Use Matrix: The Use Matrix at the end of this Article (p 2-34) provides detailed use listings for all zoning districts.*
2. *Planned Developments: Any zoning district may be rezoned to "PUD", consistent with Article 5, Planned Unit Developments, of this Ordinance.*
3. *Subdivisions Permitted: The subdivision of land in this district shall be consistent with the provisions of the Shelbyville Subdivision Control Ordinance, unless such land is located outside of the Shelbyville City Limits in which case all applicable regulations of Shelby County shall apply.*
4. *Accessory Uses: Accessory Uses are described by Chapter 6.3 of this Ordinance.*

**C. Lot & Yard Standards**

**Minimum Lot Area:**

- consistent with all lots legally established at the effective date of this Ordinance

**Maximum Lot Area:**

- consistent with all lots legally established at the effective date of this Ordinance

**Minimum Lot Width:**

- consistent with all lots legally established at the effective date of this Ordinance

**Minimum Lot Frontage:**

- consistent with all lots legally established at the effective date of this Ordinance

**Maximum Lot Depth:**

- consistent with all lots legally established at the effective date of this Ordinance

**Maximum Lot Coverage:**

- 100% (of the lot area may be covered by structures and other hard surfaces)

**Minimum Front Yard Setback and Build-to Line:**

- 0 feet when adjacent to an Arterial Street
- 0 feet when adjacent to a Collector Street
- 0 feet when adjacent to a Local Street

**Minimum Side Yard Setback:**

- the average setback for other "BC" zoned properties fronting the same street and within the same block as the subject property

**Minimum Rear Yard Setback:**

- the average setback for other "BC" zoned properties fronting the same street and within the same block as the subject property

**Minimum Living Area per Dwelling:**

- 600 square feet

**Minimum Ground Floor Living Area:**

- Not Applicable

**Maximum Primary Structures per Lot:**

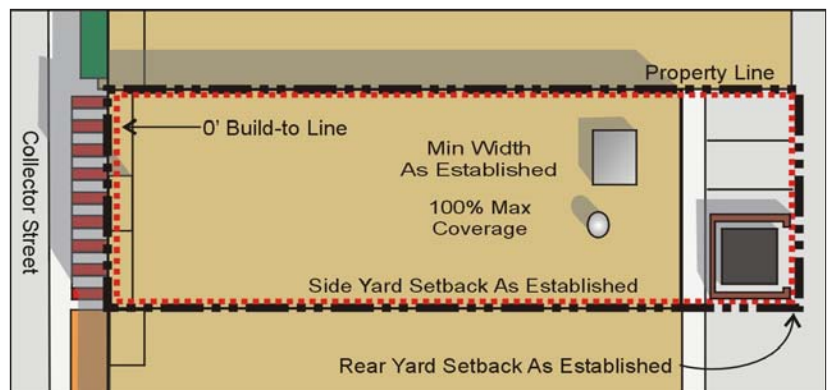
- 1

**Maximum Height:**

- 60 feet for primary structures
- 25 feet for accessory structures

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*Illustrative Layout (Does not reflect all requirements established by this Ordinance).*

## 2.13 Professional Business - BP

### Professional Business (BP)

#### **Intent**

The "BP" district is intended to provide areas exclusively for professional offices. This district may be used to establish business or technology centers or as a transitional use between residential and general commercial or industrial uses. Shelbyville should strive to protect this district from incompatible land uses, such as general industrial and large-scale retail uses. This district should also be used to provide high-quality business parks for technology businesses.

#### **A. Permitted Uses**

##### **Institutional/Public Uses**

- day-care center
- medical or health clinic
- government office
- police, fire, or rescue station
- trade or business school
- university or college

##### **Park Uses**

- nature preserve/center
- park and/or playgrounds

##### **Commercial Uses**

- conference center
- office uses
- retail uses (small scale)
- call center
- data processing center

##### **Industrial Uses**

- research and development facility

#### **B. Special Exception Uses**

##### **Institutional/Public Uses**

- lodge or private club
- church or other place of worship
- hospital/medical center
- institutional facility for the developmentally disabled
- institutional facility for the mentally ill
- post office
- museum or gallery
- library
- parking lot or parking garage (as a primary use)
- school (P-12)

##### **Communication/Utility Uses**

- utility substation
- wireless telecommunications facility
- communication service exchange
- water tower

##### **Park Uses**

- athletic fields, courts, & areas

##### **Commercial Uses**

- hotel
- drive-up/drive thru facility (as an accessory use)
- retreat center

#### **Notes**

1. *Use Matrix:* The Use Matrix at the end of this Article (p. 2-34) provides detailed use listings for all zoning districts.
2. *Planned Developments:* Any zoning district may be rezoned to "PUD", consistent with Article 5, Planned Unit Developments of this Ordinance.
3. *Subdivisions Permitted:* The subdivision of land in this district shall be consistent with the provisions of the Shelbyville Subdivision Control Ordinance, unless such land is located outside of the Shelbyville City Limits in which case all applicable regulations of Shelby County shall apply.
4. *Accessory Uses:* Accessory Uses are described by Chapter 6.3 of this Ordinance.

**C. Lot & Yard Standards**

**Minimum Lot Area:**

- 15,000 square feet

**Maximum Lot Area:**

- none

**Minimum Lot Width:**

- 75 feet (measured at the front building setback line)

**Minimum Lot Frontage:**

- 50 feet (on a public street, with access from that street)

**Maximum Lot Depth:**

- none

**Maximum Lot Coverage:**

- 75% (of the lot area may be covered by structures and other hard surfaces)

**Minimum Front Yard Setback:**

- 50 feet when adjacent to an Arterial Street
- 30 feet when adjacent to a Collector Street
- 20 feet when adjacent to a Local Street

**Minimum Side Yard Setback:**

- 10 feet

**Minimum Rear Yard Setback:**

- 20 feet

**Minimum Living Area per Dwelling:**

- not applicable

**Minimum Ground Floor Living Area:**

- not applicable

**Maximum Primary Structures per Lot:**

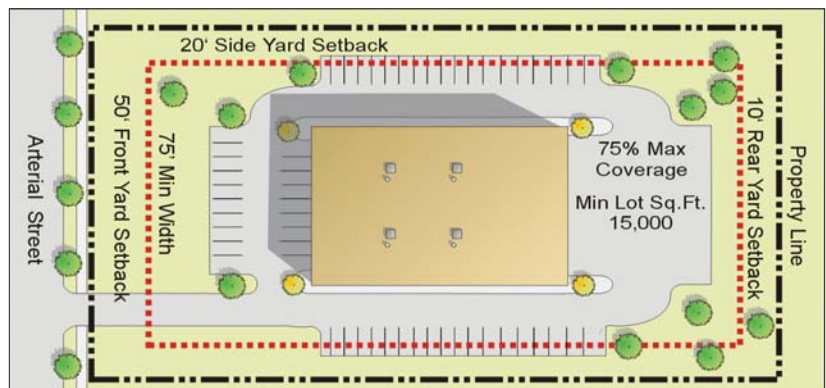
- 1

**Maximum Height:**

- 45 feet for primary structures
- 25 feet for accessory structures

# CROSS-REFERENCES

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<i>Part 1</i> .....	6-20	<b>Landscaping</b> .....	6-61
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<b>Home Occupation</b> .....	6-21	<i>Part 1</i> .....	6-64
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Illustrative Layout (Does not reflect all requirements established by this Ordinance).

**2.14 General Business - BG**

**General Business (BG)**

**Intent**

The "BG" district is intended to provide an area for a variety of general commercial uses, including those that are not specifically associated with the central, neighborhood, professional, or highway-related business areas. Shelbyville should strive to use this district to provide a variety of goods and services that are accessible to the City's neighborhoods and complimentary to its other types of business districts.

**See Also:**

*Ordinance No. 2001-2397, Regulation of Large Retail Establishments*

**A. Permitted Uses**

**Institutional/Public Uses**

- lodge or private club
- church or other place of worship
- day-care center
- funeral home
- hospital/medical center
- medical or health clinic
- government office
- police, fire, or rescue station
- parking lot or parking garage (as a primary use)
- school (P-12)
- trade or business school

**Communication/Utility Uses**

- utility substation
- communication service exchange

**Park Uses**

- nature preserve/center

**Commercial Uses**

- auto-oriented uses (small scale)
- auto-oriented uses (medium scale)
- hotel
- motel
- restaurant
- drive-up/drive thru facility (as an accessory use)
- recreation uses (small scale)
- recreation uses (medium scale)
- conference center
- personal service uses
- office uses
- retail uses (small scale)
- retail uses (medium scale)
- retail uses (large scale)
- liquor store
- data processing center

**B. Special Exception Uses**

**Agricultural Uses**

- farmers market (for products grown off-site)

**Residential Uses**

- assisted living facility
- retirement facility
- nursing home
- bed & breakfast facility
- group home/residential treatment center

**Institutional/Public Uses**

- institutional facility for the developmentally disabled
- institutional facility for the mentally ill
- government facility
- post office
- museum or gallery
- library
- university or college

**Communication/Utility Uses**

- wireless telecommunications facility
- water tower

**Commercial Uses**

- bus/mass transit terminal
- fireworks sales
- health spa
- retreat center

**Industrial Uses**

- warehouse & distribution facility

**Notes**

1. *Use Matrix: The Use Matrix at the end of this Article (p 2-34) provides detailed use listings for all zoning districts.*
2. *Planned Developments: Any zoning district may be rezoned to "PUD", consistent with Article 5, Planned Unit Developments, of this Ordinance.*
3. *Subdivisions Permitted: The subdivision of land in this district shall be consistent with the provisions of the Shelbyville Subdivision Control Ordinance, unless such land is located outside of the Shelbyville City Limits in which case all applicable regulations of Shelby County shall apply.*
4. *Accessory Uses: Accessory Uses are described by Chapter 6.3 of this Ordinance.*

**C. Lot & Yard Standards**

**Minimum Lot Area:**

- 15,000 square feet

**Maximum Lot Area:**

- none

**Minimum Lot Width:**

- 75 feet (measured at the front building setback line)

**Minimum Lot Frontage:**

- 50 feet (on a public street, with access from that street)

**Maximum Lot Depth:**

- none

**Maximum Lot Coverage:**

- 85% (of the lot area may be covered by structures and other hard surfaces)

**Minimum Front Yard Setback:**

- 50 feet when adjacent to an Arterial Street
- 30 feet when adjacent to a Collector Street
- 20 feet when adjacent to a Local Street

**Minimum Side Yard Setback:**

- 10 feet

**Minimum Rear Yard Setback:**

- 20 feet

**Minimum Living Area per Dwelling:**

- not applicable

**Minimum Ground Floor Living Area:**

- not applicable

**Maximum Primary Structures per Lot:**

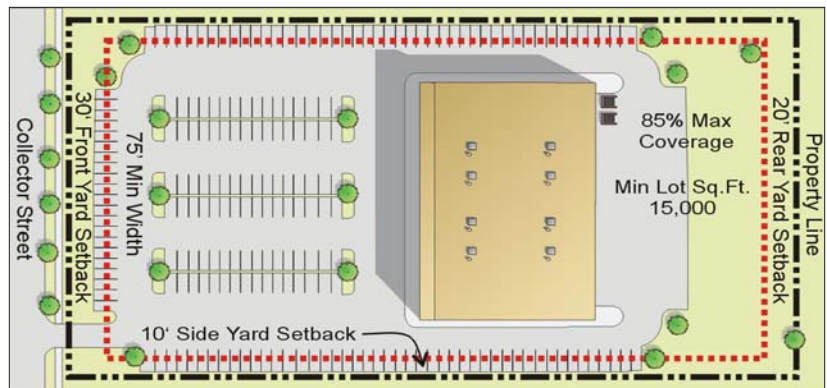
- 1

**Maximum Height:**

- 45 feet for primary structures
- 25 feet for accessory structures

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*Illustrative Layout (Does not reflect all requirements established by this Ordinance).*

**2.15 Highway Business - BH**

Highway Business (BH)

**Intent**

The "BH" district is intended to provide areas for business that either services travelers or requires immediate access to high-volume streets for the delivery of goods and services. Shelbyville should strive to provide specific areas for highway-serving businesses and prevent these uses from conflicting with industrial, residential, and other commercial uses. This district should be integrated into the community at its entrances and in centers along major transportation routes.

**See Also:**

*Ordinance No. 2001-2397, Regulation of Large Retail Establishments*

**A. Permitted Uses**

**Institutional/Public Uses**

- medical or health clinic
- police, fire, or rescue station
- public parking lot or parking garage

**Communication/Utility Uses**

- utility substation
- wireless telecommunications facility
- communication service exchange
- water tower

**Park Uses**

- nature preserve/center

**Commercial Uses**

- auto-oriented uses (small scale)
- auto-oriented uses (medium scale)
- auto-oriented uses (large scale)
- hotel
- motel
- restaurant
- drive-up/drive thru facility (as an accessory use)
- recreation uses (small scale)
- conference center
- retail uses (small scale)
- retail uses (medium scale)
- retail uses (large scale)

**B. Special Exception Uses**

**Agricultural Uses**

- farm equipment sales and service
- farmer's market (for sale of products grown off-site)
- commercial greenhouse
- agricultural product sales, distribution, & storage facility

**Residential Uses**

- boarding house

**Institutional/Public Uses**

- church or other place of worship
- hospital or medical center
- government office
- government facility
- museum or gallery

**Commercial Uses**

- mobile/manufactured home sales
- truck stop
- bus/mass transit terminal
- kennel
- fireworks sales
- recreation uses (medium scale)
- personal service uses

**Industrial Uses**

- warehouse & distribution facility
- wholesale facility
- truck freight terminal
- truck sales & service center
- agricultural products terminal

**Notes**

1. *Use Matrix: The Use Matrix at the end of this Article (p 2-34) provides detailed use listings for all zoning districts.*
2. *Planned Developments: Any zoning district may be rezoned to "PUD", consistent with Article 5, Planned Unit Developments, of this Ordinance.*
3. *Subdivisions Permitted: The subdivision of land in this district shall be consistent with the provisions of the Shelbyville Subdivision Control Ordinance, unless such land is located outside of the Shelbyville City Limits in which case all applicable regulations of Shelby County shall apply.*
4. *Accessory Uses: Accessory Uses are described by Chapter 6.3 of this Ordinance.*

**C. Lot & Yard Standards**

**Minimum Lot Area:**

- 15,000 square feet

**Maximum Lot Area:**

- none

**Minimum Lot Width:**

- 80 feet (measured at the front building setback line)

**Minimum Lot Frontage:**

- 50 feet (on a public street, with access from that street)

**Maximum Lot Depth:**

- none

**Maximum Lot Coverage:**

- 85% (of the lot area may be covered by structures and other hard surfaces)

**Minimum Front Yard Setback:**

- 50 feet when adjacent to an Arterial Street
- 30 feet when adjacent to a Collector Street
- 20 feet when adjacent to a Local Street

**Minimum Side Yard Setback:**

- 10 feet

**Minimum Rear Yard Setback:**

- 20 feet

**Minimum Living Area per Dwelling:**

- not applicable

**Minimum Ground Floor Living Area:**

- not applicable

**Maximum Primary Structures per Lot:**

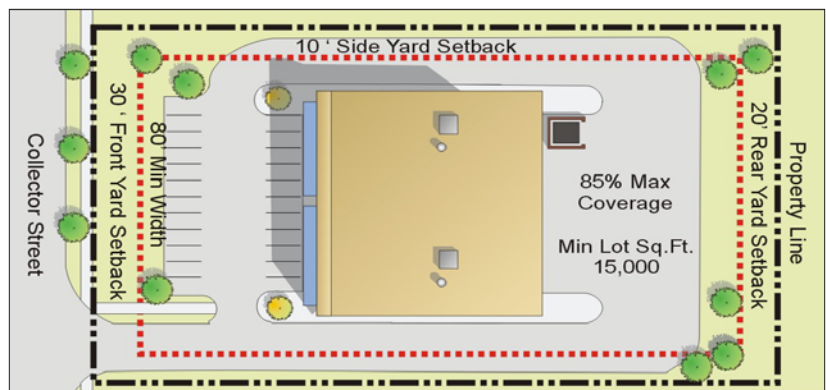
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**Maximum Height:**

- 45 feet for primary structures
- 25 feet for accessory structures

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*Illustrative Layout (Does not reflect all requirements established by this Ordinance).*

**2.16 Light Industry - IL**

Light Industrial (IL)

**Intent**

The "IL" district is intended to provide areas for light industrial, warehousing, research, and distribution facilities. This district is intended to include industrial uses that are completely enclosed within structures and do not involve the outdoor storage of any materials or include the release of detectable emissions. Shelbyville should strive to protect this district from retail commercial, residential, and general industrial uses.

**A. Permitted Uses**

**Agricultural Uses**

- farm (general)
- commercial greenhouse
- agricultural product sales, distribution, & storage facility

**Residential Uses**

- dwelling, farm

**Institutional Uses**

- airport
- government facility
- police, fire, or rescue station
- parking lot or parking garage (as a primary use)
- trade or business school
- university or college

**Communication/Utility Uses**

- utility substation
- sewage treatment plant
- wireless telecommunications facility
- communication service exchange
- water tower

**Park Uses**

- nature preserve/center

**Commercial Uses**

- call center
- data processing center

**Industrial Uses**

- light industrial assembly and distribution
- warehouse and distribution facility
- research and development facility
- wholesale facility
- light industrial processing & distribution
- contractor's warehouse/storage facility
- mini-storage facility

**B. Special Exception Uses**

**Institutional/Public Uses**

- heliport
- day-care center
- hospital/medical center
- medical or health clinic
- penal or correctional institution

**Commercial Uses**

- hotel
- kennel
- retreat center
- conference center

**Industrial Uses**

- truck freight terminal
- truck sales & service center
- power generation facility
- agricultural products terminal
- boat/RV storage facility

**Notes**

1. *Use Matrix: The Use Matrix at the end of this Article (p. 2-34) provides detailed use listings for all zoning districts.*
2. *Planned Developments: Any zoning district may be rezoned to "PUD", consistent with Article 5, Planned Unit Developments, of this Ordinance.*
3. *Subdivisions Permitted: The subdivision of land in this district shall be consistent with the provisions of the Shelbyville Subdivision Control Ordinance, unless such land is located outside of the Shelbyville City Limits in which case all applicable regulations of Shelby County shall apply.*
4. *Accessory Uses: Accessory Uses and standards are provided by Chapter 6.3 of this Ordinance.*

**2.16 Light Industry - IL (cont.)**

Light Industry (IL)

**C. Lot & Yard Standards**

**Minimum Lot Area:**

- 10,000 square feet

**Maximum Lot Area:**

- none

**Minimum Lot Width:**

- 80 feet (measured at the front building setback line)

**Minimum Lot Frontage:**

- 50 feet (on a public street, with access from that street)

**Maximum Lot Depth:**

- none

**Maximum Lot Coverage:**

- 85% (of the lot area may be covered by structures and other hard surfaces)

**Minimum Front Yard Setback:**

- 50 feet when adjacent to an Arterial Street
- 50 feet when adjacent to a Collector Street
- 50 feet when adjacent to a Local Street

**Minimum Side Yard Setback:**

- 25 feet

**Minimum Rear Yard Setback:**

- 25 feet

**Minimum Living Area per Dwelling:**

- not applicable

**Minimum Ground Floor Living Area:**

- not applicable

**Maximum Primary Structures per Lot:**

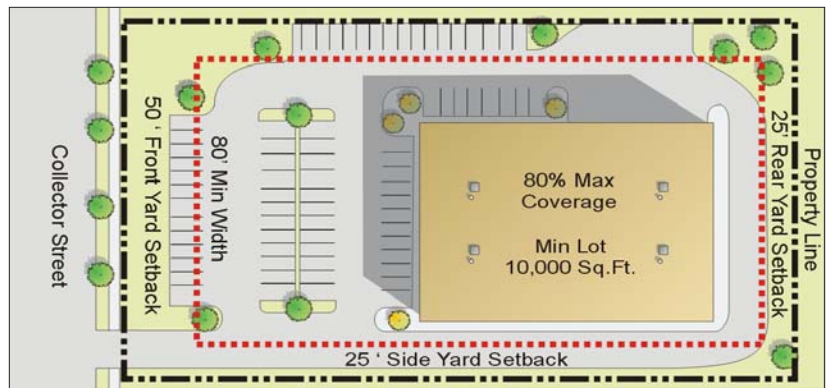
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**Maximum Height:**

- 50 feet for primary structures
- 25 feet for accessory structures

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*Illustrative Layout (Does not reflect all requirements established by this Ordinance).*

## 2.17 General Industry - IG

### General Industry (IG)

#### **Intent**

The "IG" district is intended to provide areas for general industrial use under conditions that minimize conflicts with other land uses. Shelbyville should strive to protect these districts from commercial and residential land uses. This district should be used in combination with the "IL" district to provide ample employment centers and opportunities for economic development.

#### **A. Permitted Uses**

##### **Agricultural Uses**

- farm (general)

##### **Residential Uses**

- dwelling, farm

##### **Institutional Uses**

- police, fire, or rescue station
- parking lot or parking garage (as a primary use)

##### **Communication/Utility Uses**

- utility substation
- sewage treatment plant
- wireless telecommunications facility
- communication service exchange
- water tower

##### **Park Uses**

- nature preserve/center

##### **Commercial Uses**

- adult uses

##### **Industrial Uses**

- light industrial assembly and distribution
- warehouse and distribution center
- research and development facility
- light industrial processing and distribution
- general industrial production
- agricultural products terminal

#### **B. Special Exception Uses**

##### **Institutional/Public Uses**

- heliport
- medical or health clinic
- trade or business school

##### **Industrial Uses**

- mineral extraction & processing
- truck freight terminal
- truck sales & service center
- animal & animal products processing
- food & beverage production
- hazardous materials storage
- power generation facility
- waste disposal facility
- concrete/asphalt production facility

#### **Notes**

1. *Use Matrix:* The Use Matrix at the end of this Article (p. 2-34) provides detailed use listings for all zoning districts.
2. *Planned Developments:* Any zoning district may be rezoned to "PUD", consistent with Article 5, Planned Unit Developments of this Ordinance.
3. *Subdivisions Permitted:* The subdivision of land in this district shall be consistent with the provisions of the Shelbyville Subdivision Control Ordinance, unless such land is located outside of the Shelbyville City Limits in which case all applicable regulations of Shelby County shall apply.
4. *Accessory Uses:* Accessory Uses are described by Chapter 6.3 of this Ordinance.

**C. Lot & Yard Standards**

**Minimum Lot Area:**

- 1 acre

**Maximum Lot Area:**

- none

**Minimum Lot Width:**

- 100 feet (measured at the front building setback line)

**Minimum Lot Frontage:**

- 50 feet (on a public street with access from that street)

**Maximum Lot Depth:**

- none

**Maximum Lot Coverage:**

- 85% (of the lot area may be covered by structures and other hard surfaces)

**Minimum Front Yard Setback:**

- 50 feet when adjacent to an Arterial Street
- 50 feet when adjacent to a Collector Street
- 50 feet when adjacent to a Local Street

**Minimum Side Yard Setback:**

- 25 feet

**Minimum Rear Yard Setback:**

- 25 feet

**Minimum Living Area per Dwelling:**

- not applicable

**Minimum Ground Floor Living Area:**

- not applicable

**Maximum Primary Structures per Lot:**

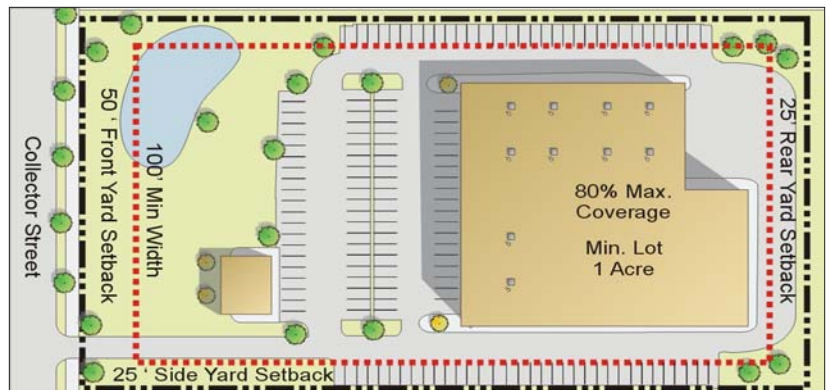
- 1

**Maximum Height:**

- 50 feet for primary structures
- 25 feet for accessory structures

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*Illustrative Layout (Does not reflect all requirements established by this Ordinance).*

## 2.18 Land Use Matrix

<b>Primary Land Use</b> (P - Permitted Use) (S - Special Exception Use)	AG - Agriculture	A/R - Agriculture/Rural Dwelling	R1 - Single-Family Residential	R2 - Two-Family Residential	RM - Multi-Family Residential	RMH - Manufactured Home Park	PK - Park & Open Space	BN - Neighborhood Business	BC - Central Business	BP - Professional Business	BG - General Business	BH - Highway Business	IL - Light Industrial	IG - General Industrial

Agriculture Uses														
<b>farm (general)</b>														
farm dwelling														
grazing & pasture land														
livestock raising & breeding	P	P											P	P
crop production														
crop processing & storage (materials produced on-site)														
<b>farm (confined feeding)</b>	S													
<b>farm equipment sales and service</b>													S	
<b>farmer's market (for sale of products grown off-site)</b>	S	S							P		S	S		
<b>winery</b>	P	P												
<b>animal boarding</b>	P	P												
<b>livestock auction/sales facility</b>	S													
<b>commercial greenhouse</b>												S	P	
<b>agricultural product sales, distribution, &amp; storage facility</b>														
fertilizer sales, distribution, & storage														
seed sales, distribution, & storage	S											S	P	
farm co-op. facility														

Residential Uses															
<b>dwelling, farm</b>	P	P												P	P
<b>dwelling, single-family (includes manufactured home types I &amp; II)</b>	S	P	P	S											
<b>mobile home/manufactured home</b>						P									
<b>dwelling, single family (on upper floors of other use)</b>								P	P						
<b>dwelling, two-family</b>				P											
<b>dwelling, two-family (on upper floors of other use)</b>								P	P						
<b>dwelling, multi-family</b>					P										
<b>dwelling, multi-family (on upper floors or other use)</b>								P	P						
<b>residential facility for the mentally ill</b>		P	P	P	P			S	S						
<b>residential facility for the developmentally disabled type I</b>		P	P	P	P			S	S						
<b>residential facility for the developmentally disabled type II</b>		S	S	S	P			S	S						
<b>assisted living facility</b>				S	P			S	S		S				
<b>retirement facility</b>				S	P			S	S		S				
<b>nursing home</b>				S	P			S	S		S				
<b>bed and breakfast facility</b>	S	S						S	S		S				
<b>group home/residential treatment center</b>		S			S						S				
<b>boarding house</b>		S			S			S				S			

## 2.18 Land Use Matrix (cont.)

Primary Land Use (P - Permitted Use) (S - Special Exception Use)	AG - Agriculture	A/R - Agriculture/Rural Dwelling	R1 - Single-Family Residential	R2 - Two-Family Residential	RM - Multi-Family Residential	RMH - Manufactured Home Park	PK - Park & Open Space	BN - Neighborhood Business	BC - Central Business	BP - Professional Business	BG - General Business	BH - Highway Business	IL - Light Industrial	IG - General Industrial
------------------------------------------------------------------------	------------------	----------------------------------	--------------------------------	-----------------------------	-------------------------------	------------------------------	------------------------	----------------------------	-----------------------	----------------------------	-----------------------	-----------------------	-----------------------	-------------------------

Institutional/Public Uses														
airport														P
heliport														S
lodge or private club							S		P	S	P			S
church or other place of worship		S	S	S	S	S	S	S	S	S	P	S		
community center				S	S	S	P	S	P					
day-care center			S	S	S	S		P	S	P	P		S	
fairgrounds	S	S					P							
funeral home									P		P			
cemetery	P	P	S	S			S				P			
hospital/medical center									P	S	P	S	S	
medical or health clinic								S	P	P	P	P	S	S
institutional facility for the developmentally disabled					S				S	S	S			
institutional facility for the mentally ill					S				S	S	S			
government office							S		P	P	P	S		
government facility							S				S	S	P	
penal or correctional institution									S				S	
police, fire, or rescue station	S	S	S	S	S	S	S	S	P	P	P	P	P	P
post office									P	S	S			
museum or gallery							S		P	S	S	S		
library							S		P	S	S			
parking lot or garage (as a primary use)							S	S	S	S	P	P	P	P
school (P-12)		S	S	S	S	S	S	S	S	S	P			
trade or business school									P	P	P		P	S
university or college									S	P	S		P	

Communications/Utilities Uses														
utility substation	P	P					S		S	S	P	P	P	P
wellfield or public pumphouse	P	P					S							
sewage treatment plant	S	S											P	P
wireless telecommunications facility	S	S								S	S	P	P	P
communication service exchange									S	S	P	P	P	P
water tower	S	S	S	S	S	S	S	S	S	S	S	P	P	P

Park Uses														
golf course and/or country club		S	S	S	S	S	P							
driving range		S	S	S	S	S	P							
nature preserve/center	P	P	P	P	P	P	P	P		P	P	P	P	P
park and/or playgrounds		P	P	P	P	P	P	P	P	P				
athletic fields, courts, & areas		S	S	S	S	S	P	S	S	S				
campground/RV park							S							

## 2.18 Land Use Matrix (cont.)

<b>Primary Land Use</b> (P - Permitted Use) (S - Special Exception Use)	AG - Agriculture	A/R - Agriculture/Rural Dwelling	R1 - Single-Family Residential	R2 - Two-Family Residential	RM - Multi-Family Residential	RMH - Manufactured Home Park	PK - Park & Open Space	BN - Neighborhood Business	BC - Central Business	BP - Professional Business	BG - General Business	BH - Highway Business	IL - Light Industrial	IG - General Industrial

Commercial Uses														
adult uses														P
advertising structure (off-premise sign)	See Shelbyville Sign Code - Municipal Code Sec. 98.01-98.99													
auto-oriented uses (small scale)														
gas-station												P	P	
car wash														
auto-oriented uses (medium scale)														
auto repair and bodyshop												P	P	
vehicle detailing/accessory shop														
oil change shop														
auto-oriented uses (large scale)														
automobile/motorcycle sales and service													P	
recreational vehicle sales and service														
mobile/manufactured home sales													S	
hotel									P	S	P	P	S	
motel									P		P	P		
restaurant								S	P		P	P		
drive-up/drive thru facility (as an accessory use)								S	S	S	P	P		
truck stop													S	
bus/mass transit terminal									S		S	S		
kennel	S	S										S	S	
fireworks sales											S	S		
circus or carnival							P		S					
recreation uses (small scale)														
billiard room or arcade														
night club								S	P		P	P		
theater														
microbrewery/brew-pub														
bar														
recreation uses (medium scale)														
bowling alley														
banquet or assembly hall												P	S	
miniature golf course									S					
shooting/archery range (indoor)														
skating rink/swimming pool														
recreational uses (large scale)														
riding stable	S	S					S							
seasonal hunting or fishing facility														
shooting range (outdoor)														
health spa	S	S					S		S		S			
retreat center	S	S					S		S	S	S		S	
conference center									P	P	P	P	S	

## 2.18 Land Use Matrix (cont.)

<b>Primary Land Use</b> (P - Permitted Use) (S - Special Exception Use)	AG - Agriculture	A/R - Agriculture/Rural Dwelling	R1 - Single-Family Residential	R2 - Two-Family Residential	RM - Multi-Family Residential	RMH - Manufactured Home Park	PK - Park & Open Space	BN - Neighborhood Business	BC - Central Business	BP - Professional Business	BG - General Business	BH - Highway Business	IL - Light Industrial	IG - General Industrial
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Commercial Uses (continued)														
<b>personal service uses</b>														
barber/beauty shop														
dry cleaners (retail)														
photographic studio														
self-service laundry														
shoe repair/tailor shop								P	P		P	S		
dance or martial arts studio														
gymnastics center														
tanning salon														
fitness center														
<b>office uses</b>														
administrative/professional office														
bank/financial institution														
medical/dental office														
radio/TV station									P	P	P			
veterinary office/animal clinic (without outdoor kennels)														
print shop/copy center														
business/financial services office														
investment firm														
employment service														
<b>retail uses (small scale)</b>														
video store														
art or photo gallery														
bakery (retail)														
deli														
flower shop								P	P	P	P	P		
gift shop														
news dealer/bookstore														
stationary shop														
ice cream shop														
convenience store (without gas station)														
<b>liquor store</b>									S		P			

## 2.18 Land Use Matrix (cont.)

<b>Primary Land Use</b> (P - Permitted Use) (S - Special Exception Use)	AG - Agriculture	A/R - Agriculture/Rural Dwelling	R1 - Single-Family Residential	R2 - Two-Family Residential	RM - Multi-Family Residential	RMH - Manufactured Home Park	PK - Park & Open Space	BN - Neighborhood Business	BC - Central Business	BP - Professional Business	BG - General Business	BH - Highway Business	IL - Light Industrial	IG - General Industrial
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Commercial Uses (continued)														
<b>retail uses (medium scale)</b>														
craft/fabric store														
apparel/footwear store														
record/CD/musical instrument shop														
sporting goods shop														
pharmacy														
grocery store														
garden shop														
jewelry store								S	P		P	P		
variety store														
antique shop														
auto parts sales (without on-site repair)														
building finishes shop (paint, carpet, wallpaper, etc.)														
meat market														
repair services (small appliances, jewelry, alterations, etc.)														
pet store														
<b>retail uses (large scale)</b>														
auction facility (excluding livestock)														
supermarket														
department store														
shopping mall									S		P	P		
hardware store														
home electronics/appliance store														
office supply store														
building supply store														
<b>call center</b>														
											P			
<b>data processing center</b>														
									P	P	P		P	

## 2.18 Land Use Matrix (cont.)

Primary Land Use (P - Permitted Use) (S - Special Exception Use)	AG - Agriculture	A/R - Agriculture/Rural Dwelling	R1 - Single-Family Residential	R2 - Two-Family Residential	RM - Multi-Family Residential	RMH - Manufactured Home Park	PK - Park & Open Space	BN - Neighborhood Business	BC - Central Business	BP - Professional Business	BG - General Business	BH - Highway Business	IL - Light Industrial	IG - General Industrial
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Industrial Uses														
mineral extraction and processing	S	S												S
light industrial assembly & distribution														
packaging facility													P	P
assembly facility														
printing/publishing facility														
warehouse & distribution facility								S		S	S	P	P	
research and development facility									P				P	P
wholesale facility											S		P	
light industrial processing and distribution													P	P
lumber yard														
tool and dye shop														
truck freight terminal											S	S	S	
truck sales & service center											S	S	S	
animal & animal products processing														S
food & beverage production														S
general industrial production														P
manufacturing facility														
fabrication facility														
hazardous materials production														S
bottle gas storage & distribution														
explosive manufacturing and storage														
petroleum and chemical processing and storage														
power generation facility	S	S											S	P
waste disposal facility														
incinerator														
junk/scrap metal yard														
sanitary landfill														
salvage yard														
recycling center														
refuse dump														
inoperable vehicle storage														
agricultural products terminal	S										S	S	P	
contractor's warehouse/storage													P	
concrete/asphalt production facility														S
mini-storage facility													P	
boat/RV storage facility (outdoor)													S	