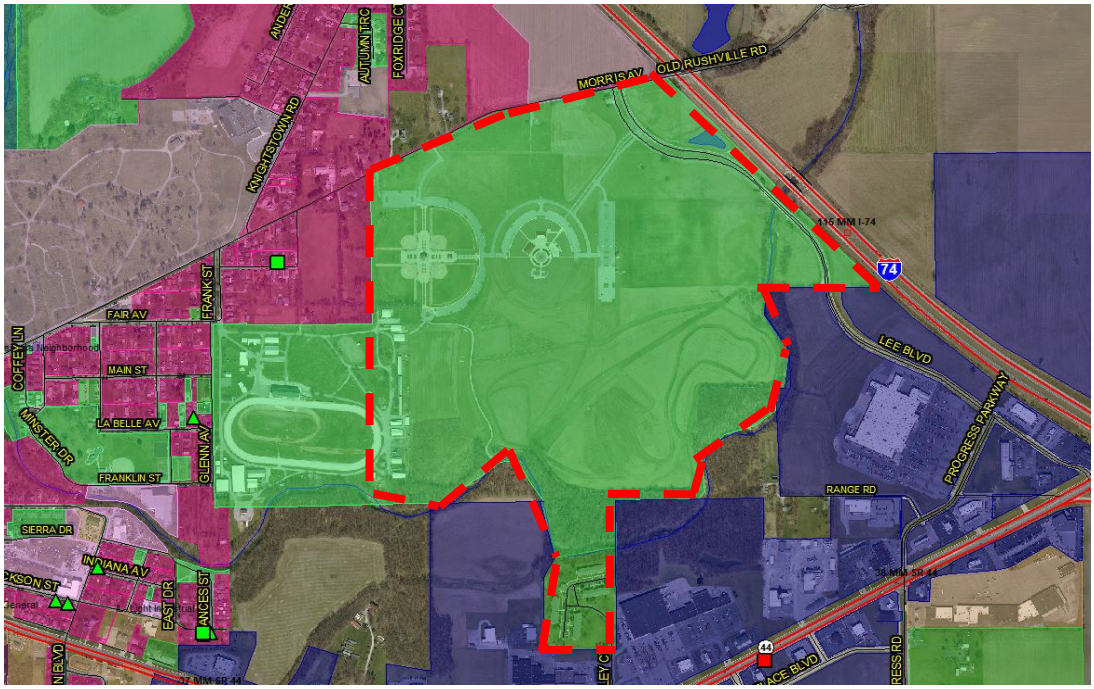
CITY OF SHELBYVILLE

Adam M. Rude
Director

Allan Henderson
Deputy Director

PLAN COMMISSION

MEETING DATE: 6/24/2019

Case Number & Name:	PC 2019-10; Parks and Recreation Maintenance Facility			
Petitioner's Name:	Shelbyville Parks Board			
Owner's Name:	Shelbyville Parks and Recreation			
Petitioner's Representative:	Jenny Meltzer			
Address of Property:	1021 Morris Ave.			
Subject Property Zoning Classification:	Parks and Open Space			
Comprehensive Future Land use:	Parks and Recreation			
	North	**East**	**South**	**West**
Surrounding Properties' Zoning Classifications:	Single Family Residential	Business Highway	Business Highway	Single Family Residential
Surrounding Properties' Comprehensive Future Land Use	Commercial	Conservation	Gateway/Mixed Use	Single Family Residential
History:	The site is the location of Blue River Memorial Park. The Park Board has slowly expanded recreational amenities at this facility and requires a maintenance building to continue to provide a high level of service.			
Vicinity Map:				
Action Requested:	Site Development Plan approval for a new maintenance building.			

1. This petition is to construct a maintenance building in Blue River Memorial Park. The building will be located south of the ball fields and be accessed by an asphalt drive from the existing parking lot. The maintenance facility will be approximately 6,000 feet with a small outdoor storage area to the south of the building.

2. The Zoning Ordinance (Section 9.05 (F) (5)) requires the Plan Commission make Findings of Fact that the Site Development Plan:
   a. **Is consistent with the City of Shelbyville Comprehensive Plan;**
      The planning staff has determined the subject petition is consistent with the City's Comprehensive Plan. The site has always been used for recreation and based on the future land use map will remain in parks and open space.

   b. **Meets the Technical Review Committee's expectations for best practices and quality design;**
      The Technical Review Committee reviewed the site development plan against their applicable standards. All members in attendance at the Technical Review Committee meeting on May 28, 2019 provided guidance on ensuring the site plan and building would meet the City of Shelbyville requirements. Comment sheets are attached for reference.

   c. **Satisfies the applicable requirements of Article 2: Zoning Districts;**
      The PK – Parks and Open Space zoning district allows for recreational use and supporting accessory structures.

   d. **Satisfies the applicable requirements of Article 5: Development Standards;**

      <u>Entrance and Driveway Standards – UDO 5.15</u>
      5.15 requires access roads be at least twenty (20) feet wide, but not exceed thirty-six (36) feet in over-all width. In addition, access roads shall consist of asphalt, concrete, pavers, or other durable paving material. The proposed access drive is twenty-five (25) feet wide and will be asphalt. The entrance and drive standards are being met.

      <u>Environmental Standards UDO 5.16</u>
      5.16 requires any part or portion of a non-farm parcel that is not used for structures, loading or parking spaces, sidewalks, or accessory uses shall be landscaped or left in a natural state that complies with the applicable weed and nuisance ordinances of the City of Shelbyville. If landscaped, it shall be planted with an all season ground cover and with trees and shrubs in accordance with the requirements of this Ordinance and in keeping with natural surroundings. No landscaping plans has been submitted. Environmental standards are not being met.

      <u>Fence, Hedge and Wall Standards – UDO 5.20</u>
      5.20 requires fences, hedges, and walls not to exceed eight (8) feet in height in any side or rear yard and shall not extend past the front facade of the primary structure. There will be a split-face block wall with gates enclosing the outdoor storage area. Drawing C101 indicates

that a six (6) foot high split face block fence with two eight (8) foot wide gates will be installed at the drive entrance on the back of the building.

Height Standards – UDO 5.23

5.23 limits the height of primary structures to (35') thirty five feet in the Parks and Open Space District. The height of the building will be 18 feet.

Landscaping Standards – UDO 5.32, 5.35, 5.36,

5.32 requires foundation plantings to be planted along all four (4) sides of the foundation excluding drive-throughs, loading docks, and the front door. 5.35 requires parking lots to be separated from all planned public rights-of-way (consistent with the Shelbyville Official Thoroughfare Plan) by a landscaping area that is a minimum of ten (10) feet in width. Lots include parking spaces, interior drives, and loading areas. 5.36 requires landscape materials consistent with the requirements of the Unified Development Ordinance are required when an improvement location permit is filed for a new primary structure. Landscaping plans have not been provided.

Lighting Standards – UDO 5.38

UDO 5.38 requires lighting fixtures on facades to be located, aimed, and shielded so that light is directed only onto the building façade. Drawing C104 indicates the Wall Pak lighting will be places on each of the four (4) facades and shall be 90 degree cut-off fixture directed downward.

Setback Standards – UDO 5.55

5.55 requires a minimum front yard setback of 30 feet for primary structures when adjacent to a collector road and side yard and rear yard setbacks of 10 feet. The setback standards are being met.

e. Satisfies the applicable requirements of Article 6: Design Standards

Article 6: Design Standards provides the standards for all subdivisions and generally apply to the construction of public improvements. Article 6: Design Standards do not apply to the construction of a maintenance facility in the PK – Parks and Open Space district.

f. Satisfies any other applicable provisions of the Unified Development Ordinance.

At this time, all other applicable provisions of the Unified Development Ordinance appear to be satisfied by the submitted site plans.

STAFF RECOMMENDATION: Approval, subject to the following condition:

1. The spirit and intent of the Landscape Standards are met with foundation and parking lot standard plantings.

Site Development Plan: PC 2019-10; Parks and Recreation Maintenance Facility

Staff Prepared

Motion:
(I) would like to make a motion to approve the site development plan as presented to this body, with the conditions outlined in the planning staff's report, pursuant to the planning staff's report and Findings of Fact.

1. ☐ The site development plan is consistent with the *City of Shelbyville Comprehensive Plan* as outlined in the planning staff's report.
   ☐ The site development plan is **not** consistent with the *City of Shelbyville Comprehensive Plan*, as outlined in the planning staff's report.
2. ☐ The site development plan meets the Technical Review Committee's expectations for best practices and quality design, as outlined in the planning staff's report, as outlined in the planning staff's report.
   ☐ The site development plan **does not** meet the Technical Review Committee's expectations for best practices and quality design, as outlined in the planning staff's report, as outlined in the planning staff's report
3. ☐ The site development plan satisfies the applicable requirements of Article 2*: Zoning Districts*, as outlined in the planning staff's report.
   ☐ The site development plan **does not** satisfy the applicable requirements of Article 2:.Zoning Districts, as outlined in the planning staff's report.
4. ☐ The site development plan satisfies the applicable requirements of Article 5: *Development Standards*, as outlined in the planning staff's report.
   ☐ The site development plan **does not** satisfy the applicable requirements of Article 5:.Development Standards, as outlined in the planning staff's report.
5. ☐ The site development plan satisfies the applicable requirements of Article 6: *Design Standards*, as outlined in the planning staff's report.
   ☐ The site development plan **does not** satisfy the applicable requirements of Article 6: Design Standards, as outlined by the planning staff's report.
6. ☐ This site development plan satisfies all other applicable provision of the *Unified Development Ordinance*, as outlined by the planning staff's report.
   ☐ The site development plan **does not** satisfy all other applicable provision of the Unified Development Ordinance, as outlined in the planning staff's report.

Additional Conditions Imposed by the Shelbyville Plan Commission:

1.

2.

Shelbyville Plan Commission

By: _____ Attest: _____

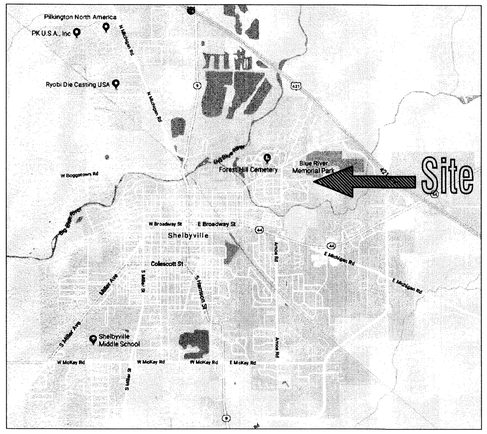
Chairperson Secretary

BUILDING PLANS FOR:

SHELBYVILLE PARKS & REC. DEPT. - MAINTENANCE BUILDING

BLUE RIVER PARK, 1021 MORRIS AVE.

SHELBYVILLE, IN 46176



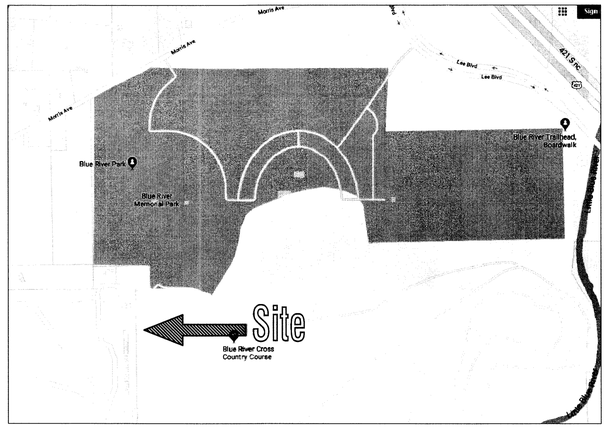
VICINITY MAP

OWNER:

SHELBYVILLE PARKS & REC. DEPT.
945 S. TOMPKINS ST.
SHELBYVILLE, IN 46176
CONTACT: TERRY PIERCE
PHONE: 317.392.5128

PREPARED BY:

SPACE and SITES, LLC
ENGINEERING, BUILDING DESIGN
6 East Taylor St. Shelbyville, IN 46176
PH 317.392.4444 FAX 317.392.0709
www.spaceandsites.com
e-mail: spaceandsites@sbcglobal.net



LOCATION MAP

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
	COVER
C100	PROPOSED SITE/UTILITY PLAN
C101	PROPOSED DRAINAGE PLAN
C102	PROPOSED EROSION CONTROL PLAN
C103	EROSION CONTROL DETAILS
C104	PROPOSED SITE LIGHTING PLAN
C105	(SWPPP) STORM WATER POLLUTION PREVENTION PLAN
G100	PROPOSED LIFE SAFETY PLAN
S100	PROPOSED FOUNDATION PLAN
S101	PROPOSED FOUNDATION DETAILS
A100	PROPOSED FLOOR PLAN
A200	PROPOSED EXTERIOR ELEVATIONS
M100	PROPOSED MECHANICAL PLAN
E100	PROPOSED ELECTRICAL PLAN
E101	PROPOSED LIGHTING PLAN
P100	PROPOSED PLUMBING PLAN
P101	PROPOSED PLUMBING DETAILS

FOR BID PURPOSES ONLY

REVISIONS		
SHEET NO.	DATE	DESCRIPTION
NOTED	4/17/19	O.H. DOOR, WALL TO CEILING
NOTED	6/10/19	EXTERIOR ELEV., ELECT. PANEL, PLUMBING, NOTES

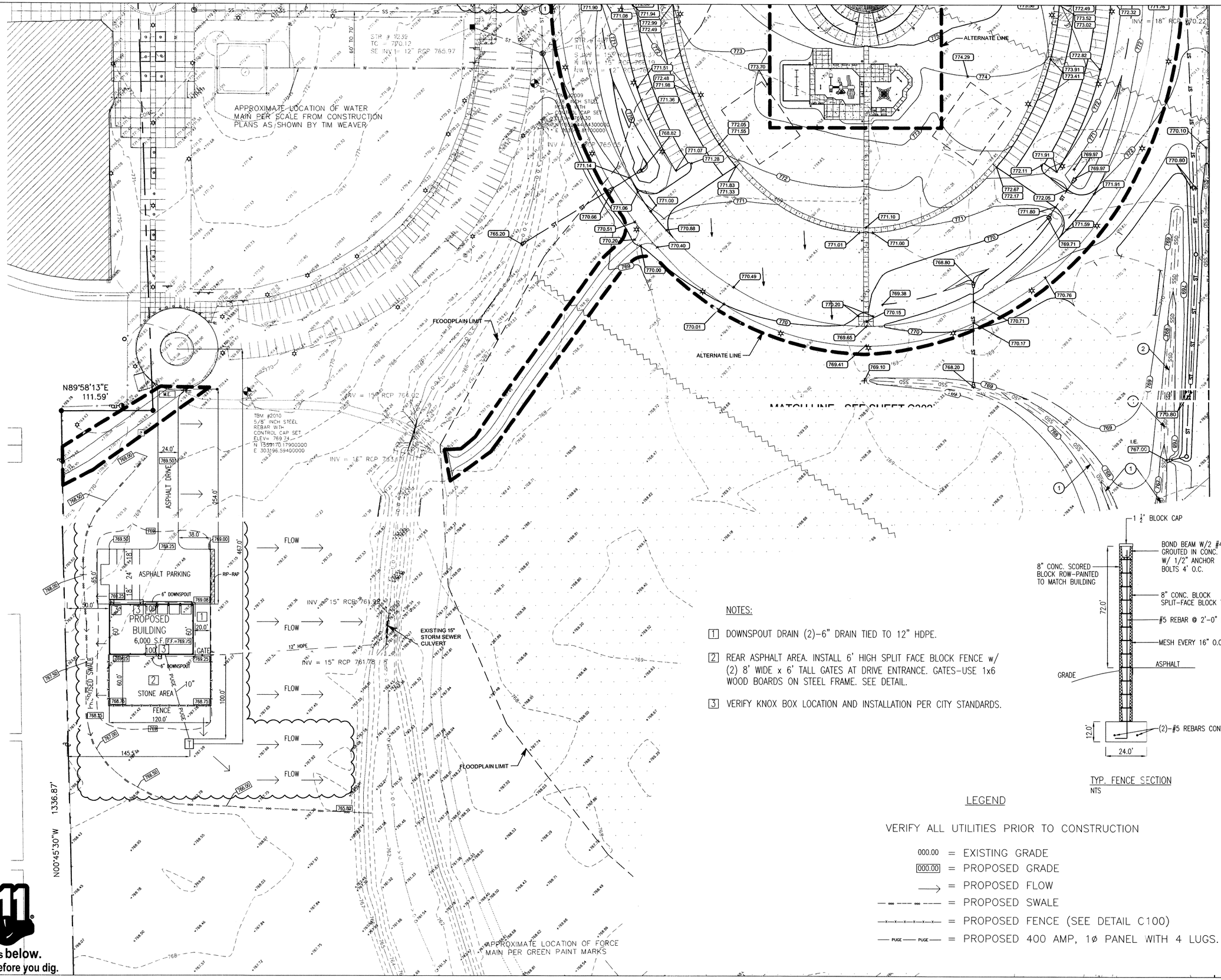
SHELBY COUNTY BUILDERS ASSOCIATION SCBA

GENERAL NOTES:

1.) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE CITY, COUNTY, AND STATE AGENCIES PRIOR TO CONSTRUCTION.

2.) CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY UTILITY CONFLICTS ARE DISCOVERED OR IF UTILITY LOCATIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS.

3.) CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH CITY AND ALL RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION.



NOTES:

1. DOWNSPOUT DRAIN (2)–6" DRAIN TIED TO 12" HDPE.
2. REAR ASPHALT AREA. INSTALL 6' HIGH SPLIT FACE BLOCK FENCE w/ (2) 8' WIDE x 6' TALL GATES AT DRIVE ENTRANCE. GATES–USE 1x6 WOOD BOARDS ON STEEL FRAME. SEE DETAIL.
3. VERIFY KNOX BOX LOCATION AND INSTALLATION PER CITY STANDARDS.

TYP. FENCE SECTION
NTS

LEGEND

VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION

- 000.00 = EXISTING GRADE
- [000.00] = PROPOSED GRADE
- ⟶ = PROPOSED FLOW
- — ∞ — — ∞ — = PROPOSED SWALE
- —X—X—X—X—X— = PROPOSED FENCE (SEE DETAIL C100)
- — PUGE — PUGE — = PROPOSED 400 AMP, 1Ø PANEL WITH 4 LUGS.

NORTH

SCALE: 1" = 50'

FOR BID PURPOSES ONLY

Know what's below. Call before you dig.

SPACE and SITES, LLC
BUILDING DESIGN, PLANNING
6 East Taylor St. Shelbyville, IN 46176
PH 317.392.4444 FAX 317.392.0709
www.spaceandsites.com
e-mail: spaceandsites@sbcglobal.net

REVISION	DATE
REVISED SITE	6/10/19

SYMBOL | CHECKED TN | CERT. - | SCALE 1"=50' | DRAWN RC

SEAL

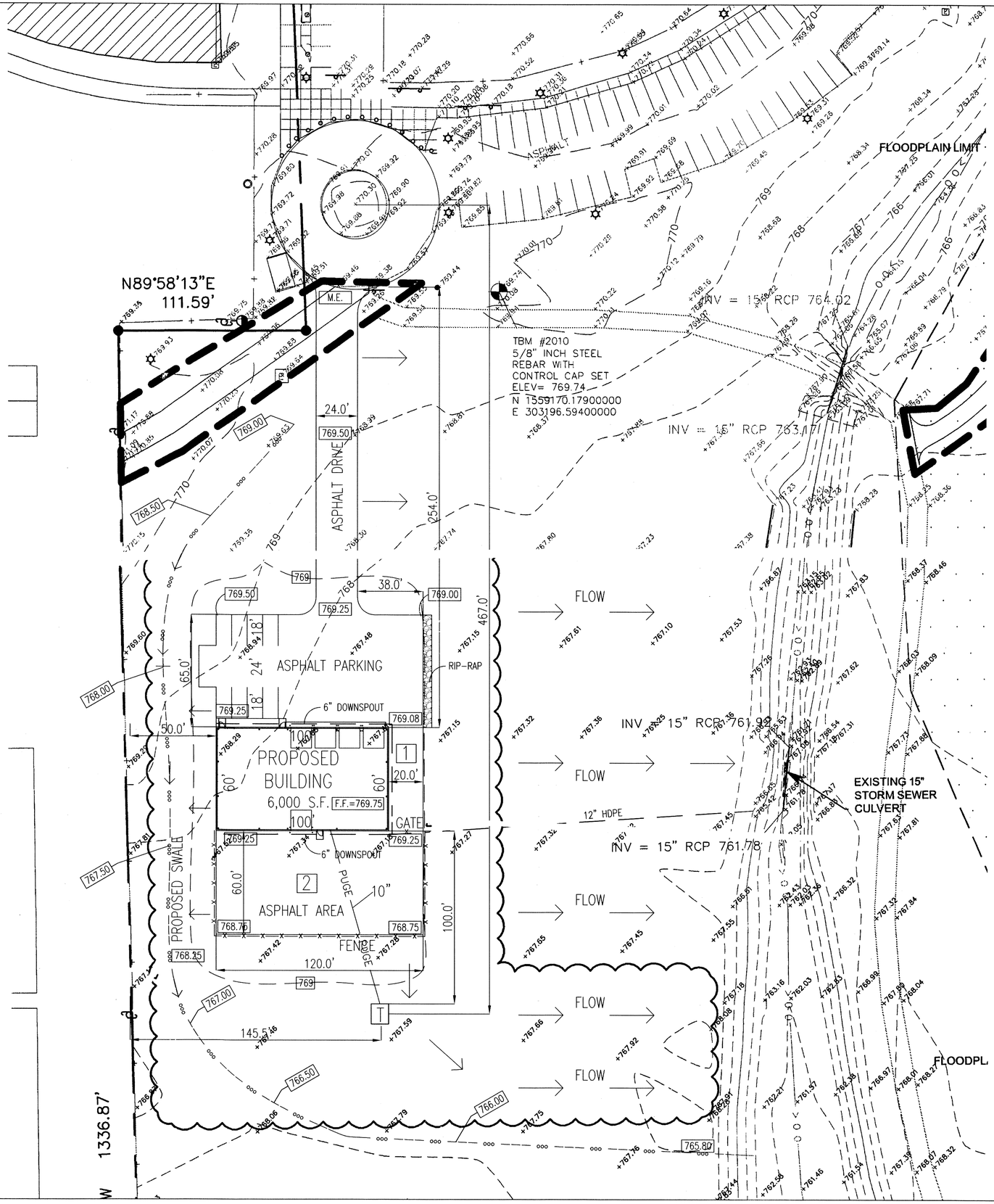
SHEET NAME: PROPOSED SITE/UTILITY PLAN

PROJECT NAME: SHELBYVILLE PARKS & REC. DEPT. MAINTENANCE BUILDING, BLUE RIVER PARK 1021 MORRIS AVE., SHELBYVILLE, IN 46176

DATE: MAY 13, 2019

PROJECT NO.: 18015

SHEET NO. C100



NORTH

SCALE: 1" = 30'

PER CITY SPECS.

ASPHALT OVER STONE

d=17 1/2"

1 1/2" HMA SURFACE TYPE C (165 #/SY)
3" HMA INTERMEDIATE TYPE C (330 #/SY) OVER
5" HMA BASE TYPE C (550 #/SY)

8" COMPACTED INDOT NO. 53 CRUSHED AGGREGATE BASE (2 LIFTS)

NOTES:

[1] DOWNSPOUT DRAIN (2)-6" DRAIN TIED TO 12" HDPE.

[2] REAR ASPHALT AREA. INSTALL 6' HIGH SPLIT FACE BLOCK FENCE w/ (2) 8' WIDE x 6' TALL GATES AT DRIVE ENTRANCE. GATES-USE 1x6 WOOD BOARDS ON STEEL FRAME. SEE DETAIL.

LEGEND

VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION

000.00 = EXISTING GRADE
[000.00] = PROPOSED GRADE
⟶ = PROPOSED FLOW
— ∘∘∘ — = PROPOSED SWALE
—x—x—x—x— = PROPOSED FENCE (SEE DETAIL C100)
—— PUGE —— = PROPOSED 400 AMP, 1Ø PANEL WITH 4 LUGS.

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SYMBOL	REVISION	DATE
	REVISED SITE	6/10/19

CHECKED: TN
CERT.: -
SCALE: 1"=30'
DRAWN: RC
SEAL

SHEET NAME: PROPOSED DRAINAGE PLAN

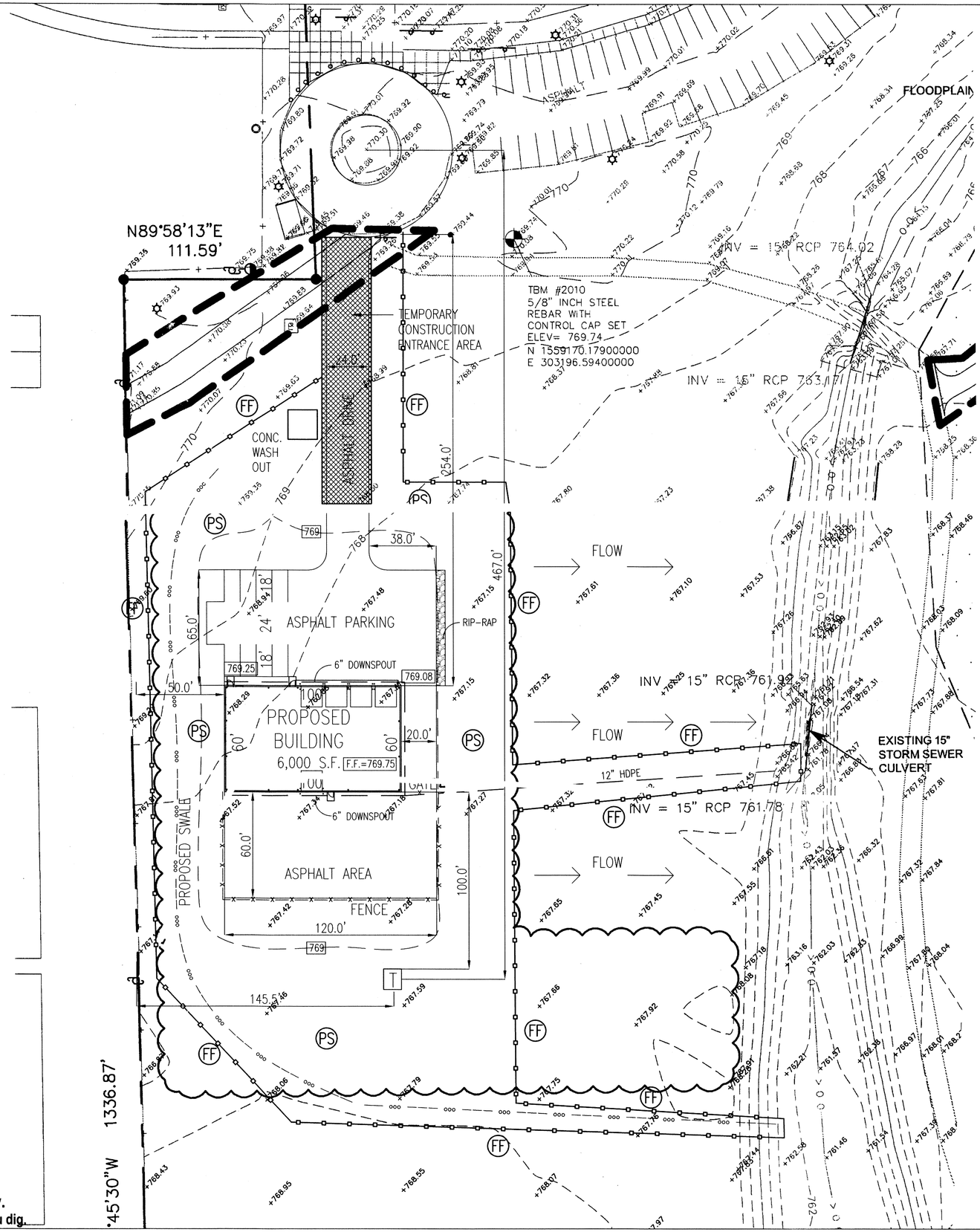
PROJECT NAME: SHELBYVILLE PARKS & REC. DEPT.
MAINTENANCE BUILDING, BLUE RIVER PARK
1021 MORRIS AVE., SHELBYVILLE, IN 46176

DATE: MAY 13, 2019

PROJECT NO.: 18015

SHEET NO.
C101

SHELBY COUNTY BUILDERS ASSOCIATION



NORTH

SCALE: 1" = 30'

EROSION CONTROL LEGEND:

- (FF) = FILTER FENCE
- = EROSION CONTROL BLANKETS
- (PS) = DENOTES AREA TO BE PERMENATELY SEEDED
- = INDICATES CONSTRUCTION ENTRANCE AREA
- (IP) = INDICATES INLET PROTECT FILTER MESH
- CONC. WASH OUT = INDICATES CONCRETE WASH OUT BASIN

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SYMBOL	REVISION	DATE
	REVISED SITE	6/10/19

CHECKED: TN | CERT.: - | SCALE: 1"=30' | DRAWN: RC

SEAL

SHEET NAME: PROPOSED EROSION CONTROL PLAN

PROJECT NAME: SHELBYVILLE PARKS & REC. DEPT.
MAINTENANCE BUILDING, BLUE RIVER PARK
1021 MORRIS AVE., SHELBYVILLE, IN 46176

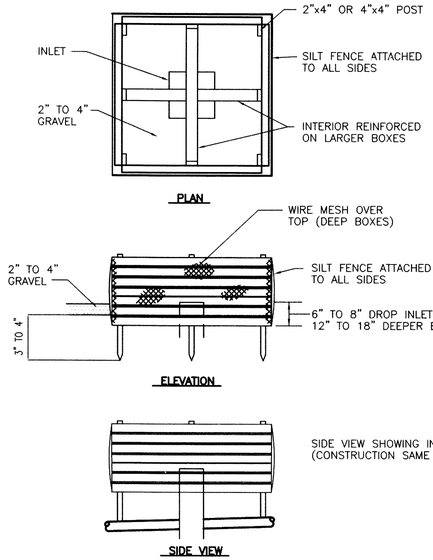
DATE: MAY 13, 2019

PROJECT NO.: 18015

SHEET NO.

C102

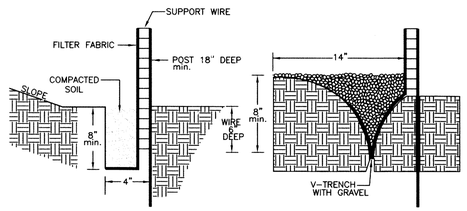
SHELBY COUNTY BUILDERS ASSOCIATION



NOTE:

NO HOLES NEEDED ON BOXES MADE OF BOARDS SPACED 2" APART.
2" HOLES APPROX. 6" VERTICAL-6" HORIZONTAL ON PLYWOOD BOXES.
SILT FENCE FABRIC ATTACHED TO ALL SIDES OF BOX (COARSE WEAVE).
DIMENSIONS OF BOX WILL VARY ACCORDING TO THE SIZE OF INLET AND DEPTH BASE.
USE WIRE MESH OVER TOP OF DEEP HOLES.
SLIT BOXES TO BE LOCATED AT EACH CATCH BASIN.

FILTER FENCE PROTECTION DETAIL



FILTER FENCE SHALL BE NUTEC 3NWS-6 OR EQUAL.

FILTER FENCE INSTALLATION DETAIL

FINISH GRADING AND SEEDING

1. OVER THE APPROVED ROUGH GRADE (SEE SECTION E), SPREAD 4" MINIMUM OF TOPSOIL OR APPROVED FILL TO SUCH DEPTH AS WILL FINISH TO THE REQUIRED FINISH GRADES AND CONTOURS AFTER ROLLING AND NATURAL SETTLEMENT. NEW GRADES SHALL SLOPE UNIFORMLY BETWEEN LEVELS ESTABLISHED ON THE PLANS AND INTERSECTIONS OF NEW GRADES WITH EXISTING GRADES SHALL BE UNIFORM AND SMOOTH.
2. FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE SPREAD UNIFORMLY OVER THE AREA TO BE SEEDED. THEY SHALL BE MIXED INTO THE TOP 2" OF SOIL WITH A DISK HARROW, ROTARY TILLER OR OTHER APPROVED EQUIPMENT. FERTILIZER SHALL BE SPREAD AT THE RATE OF 800 POUNDS PER ACRE AND AGRICULTURAL LIMESTONE AT THE RATE OF 1/2 TON PER ACRE UNLESS OTHERWISE SPECIFIED.
3. TEMPORARY SEEDING IN THE AREAS WHERE STRIPPING, CUTS OR FILLS HAVE BEEN GRADED SHALL BE SEEDED FOR SILT AND EROSION PROTECTION WITH ONE OF THE FOLLOWING METHODS:

A.EARLY SPRING MIX:	100% OATS
SEEDING RATE:	50 LBS./ACRE
B.SPRING OR LATE FALL MIX:	100% ANNUAL RYE
SEEDING RATE:	50 LBS./ACRE
C.FALL MIX:	100%PERENNIAL RYE
SEEDING RATE	50 LBS./ACRE

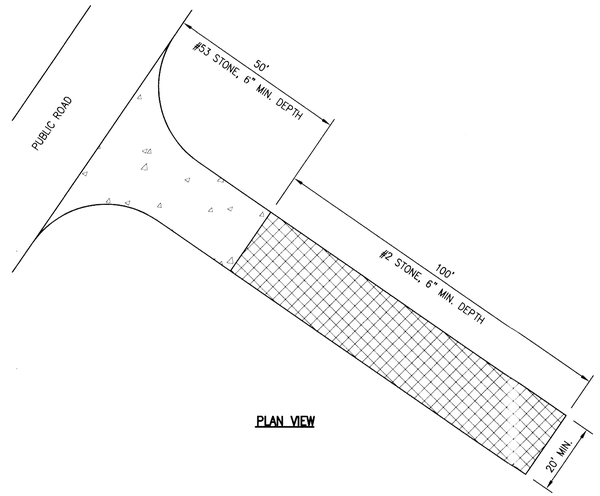
STRAW OR MULCH AS APPROVED BY THE ENGINEER SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.

Notes:

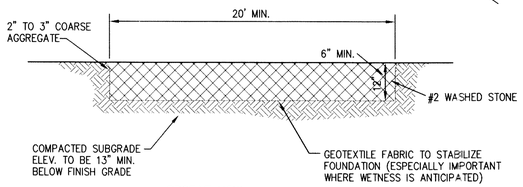
- Erosion and Sediment Control:
  - Ensure that all exposed soils are protected/seeded as soon as possible
  - Provide a concrete wash out area
  - All mud, dirt & debris that is tracked onto the road ways will need to be cleaned off immediately to prevent further tracking
  - Install straw bales or rock check dams in drainage swale during construction activities if necessary

Reminders

- Weekly or after rain events of .5 inches or greater, the project site owner or representative shall inspect all erosion control measures and perform and document necessary maintenance. Inspection and maintenance reports should be generated as conducted and available upon request.
- The site will be subject to periodic erosion and sediment control inspection by representatives from the City's MS4 Director to ensure compliance. The MS4 Director will notify the developer/owner in writing when inadequacies are observed, describing items to address and actions to be taken.
- Establish permanent seeding as soon as possible.
- All mud, dirt & debris that is tracked onto the road ways will need to be cleaned off immediately to prevent further tracking.



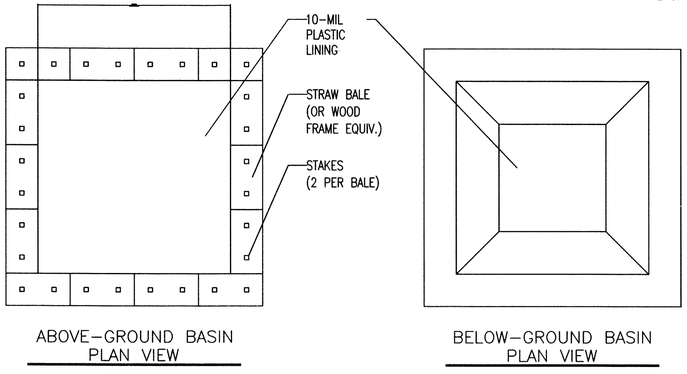
PLAN VIEW



PROFILE VIEW

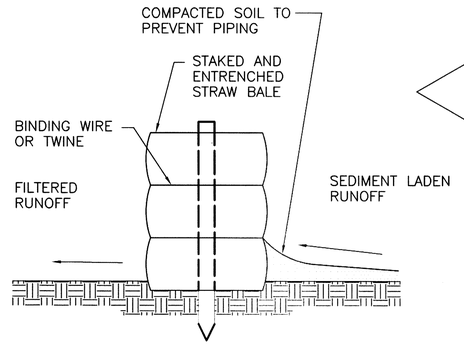
NOTE:
1. STONE SIZE SHALL CONFORM TO ASTM D48 SIZE #1 (2" TO 3" DIA)
2. PERIODIC STONE TO DRESSING AND WASHING AS REQUIRED.

TEMPORARY CONSTRUCTION ENTRANCE DETAIL

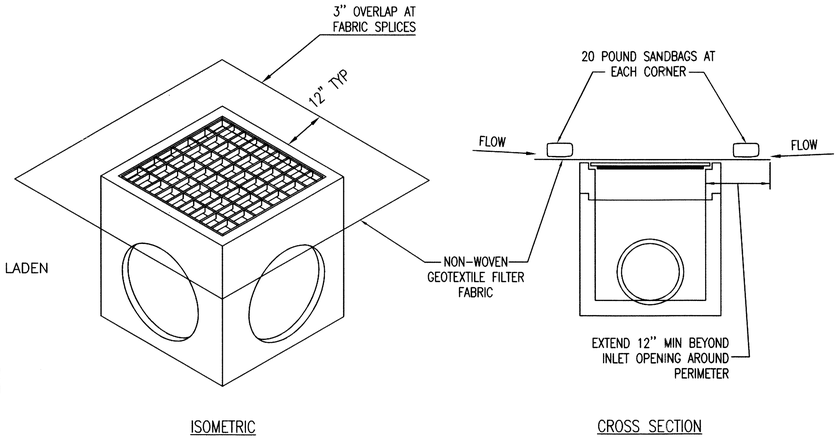


CONCRETE WASHOUT
NTS

NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. "CONCRETE WASHOUT" SIGN TO BE LOCATED ADJACENT TO WASHOUT FACILITY.
3. REMOVABLE RAIN COVER REQUIRED DURING WET WEATHER SEASON.



STRAW BALE BARRIER DETAIL
PIPE INLET PROTECTION
NTS



NOTES:

1. DAILY INSPECTION SHALL BE MADE BY THE CONTRACTOR AND SILT ACCUMULATION MUST BE REMOVED WHEN DEPTH REACHES 2".
2. CONTRACTOR SHALL MONITOR THE PERFORMANCE OF INLET PROTECTION DURING EACH RAINFALL EVENT AND IMMEDIATELY CLEAN THE INLET PROTECTION IF EXCESSIVE PONDING OCCURS.
3. INLET PROTECTIONS SHALL BE REMOVED AS SOON AS THE SOURCE OF SEDIMENT IS STABILIZED.

FILTER MESH INLET PROTECTION
NTS

NORTH

SCALE: 1" = 20'

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REVISION | DATE | SYMBOL | CHECKED TN | CERT. - | SCALE 1"=20' | DRAWN RC

SEAL

FOR BID PURPOSES ONLY

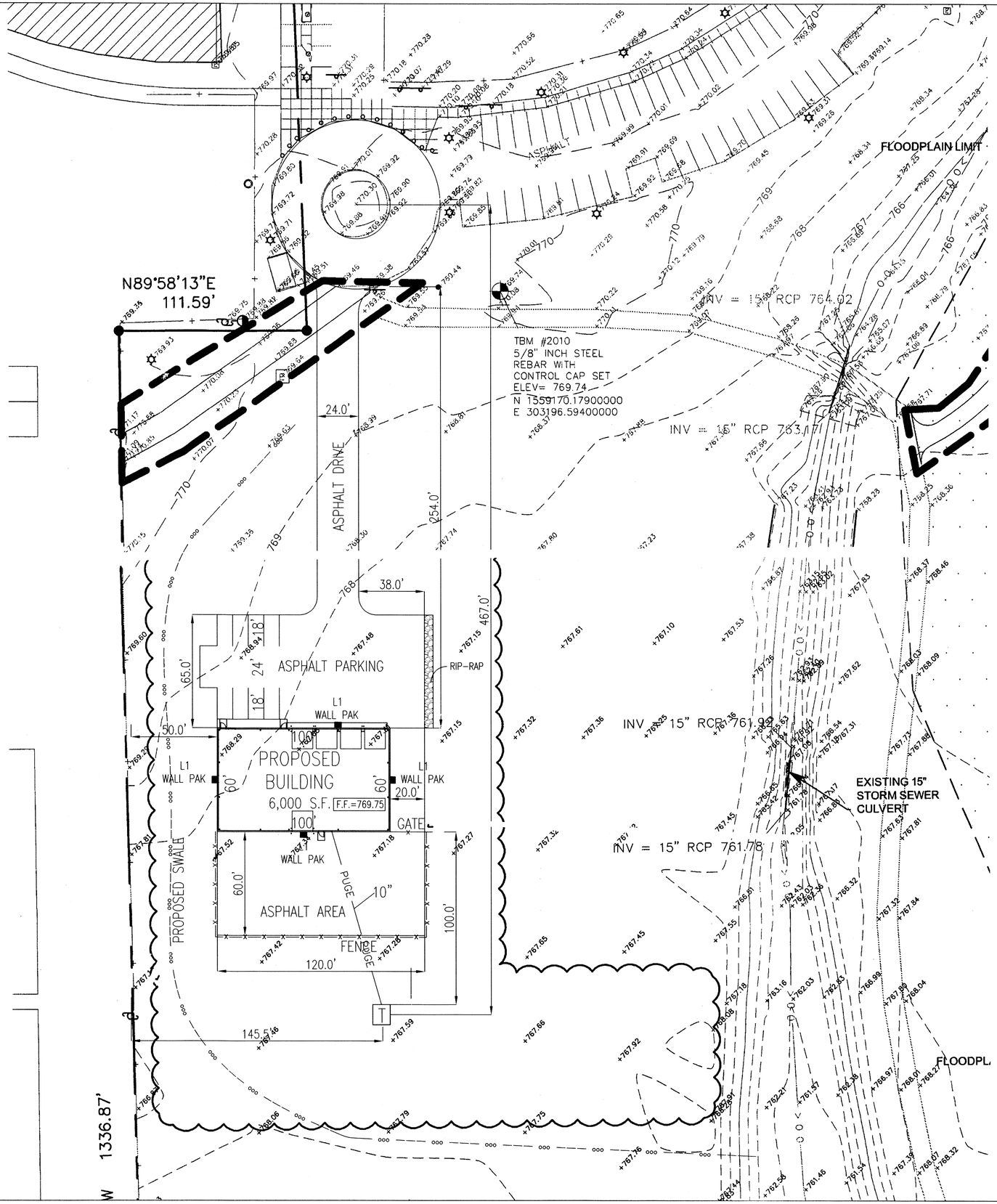
SHEET NAME: EROSION CONTROL DETAILS

PROJECT NAME: SHELBYVILLE PARKS & REC. DEPT.
MAINTENANCE BUILDING, BLUE RIVER PARK
1021 MORRIS AVE., SHELBYVILLE, IN 46176

DATE: MAY 13, 2019

PROJECT NO.: 18015

SHEET NO.
C103



NORTH

SCALE: 1" = 30'

Project Name:	Part Number:	Type:

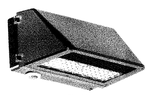
FULL CUTOFF WALL PACK - 75W LED

OUTDOOR

ILP
407-478-3755
www.ilp-inc.com

FEATURES

- Bronze die-cast aluminium housing
- Custom and factory select colors available (Contact factory for pricing)
- Hinged full cutoff front frame
- ½" Coin plugs with o-rings for conduit or optional photocell
- Forward throw optic lens
- Cast-in template for mounting directly over a 4" recessed outlet box
- 3000K, 4000K and 5000K color options
- ETL Listed for wet locations
- IDA Dark Sky Approved
- Motion and daylight harvest available
- 5 Year warranty
- DesignLights Consortium® Qualified Luminaire



SUITABLE APPLICATIONS

- Parking Lots
- Loading Dock Areas
- Exterior Wall Lighting
- Building Entrance Ways

LED SYSTEMS INFO

	4000K				5000K		
	T2	T3	T4		T2	T3	T4
Calculated L_{70} (TM-21)	>100K	>100K	>100K		>100K	>100K	>100K
Delivered Lumens	8,767 lm	8,606 lm	8,344 lm		9,313 lm	9,141 lm	8,863 lm
Total Input Watts	74 W	74 W	74 W		74 W	74 W	74 W
Luminaire Efficacy Rating (LER)	119 lm/W	117 lm/W	113 lm/W		126 lm/W	124 lm/W	120 lm/W
Correlated Color Temperature (CCT)	4000K	4000K	4000K		5000K	5000K	5000K
Color Rendering Index (CRI)	>70	>70	>70		>70	>70	>70
BUG Rating	B2 U0 G2	B2 U0 G2	B2 U0 G2		B2 U0 G2	B2 U0 G2	B2 U0 G2
Maximum Ambient Temperature	120°F	120°F	120°F		120°F	120°F	120°F
Universal Driver	120-277 V	120-277 V	120-277 V		120-277 V	120-277 V	120-277 V

LED System data above based on WPCM-75WLED-UNV-40 and WPCM-75WLED-UNV-50
LED Lumen maintenance estimates based on TM-21 projections for the light source at 25°C ambient.

ORDERING GUIDE:

Series	Watts	Driver	Color	Optics
☐ WPCM Full Cutoff Wall Pack	☐ 75WLED	☐ UNIV 120-277V Driver	☐ 60 ☐ 40 ☐ 30	☐ T2 ☐ T3 ☐ T4

Options	
☐ WPC25WG	Wire Guard 5.5 Construction
☐ DD	Dual Driver
☐ PCxxx*	Photocell (xxx = Voltage)
☐ SP1	10kA Max Line-to-Ground Surge Protector
☐ SP2	20kA Max Line-to-Ground Surge Protector
☐ FUSE/SXXX	Single-line Voltage Fuse (120, 277, 347)
☐ FUSE/DXXX	Single-line Voltage Fuse (208, 240, 480)
☐ WLOS	Wet Location Rated Occupancy Sensor
☐ USBD	User Select Bi-Level Dim w/ Occ. Sensor
☐ BDxx	Preset Bi-Level Dim Sensor (xx=% eg. 26, 36)
☐ BDxxPC	Preset Bi-Level Dim Sensor w/ Photocell (xx=% eg. 26, 36)
☐ SP480V2	20kA Max 480V Surge Protector
☐ FWLBCP65	5W LED Factory Installed Battery Backup
☐ FWLBCP67	7W LED Factory Installed Battery Backup
☐ FWLBCP10	10W LED Factory Installed Battery Backup
☐ FWLBCP12	12W LED Factory Installed Battery Backup
☐ LEDBBCT	10W Battery Backup
☐ SD480V	480V Step Down Transformer
☐ SD347V	347V Step Down Transformer

* Photocell option available for field install.

LIGHTING INVENTORY

L1
WALL PAK ■ ILP WPCM 75W LED UNV 40K WALL PACKS

NOTES:

SITE LIGHTING STANDARDS TO MEET CITY OF SHELBYVILLE UNIFIED DEVELOPMENT ORDINANCE 5.38.

ALL LIGHTING FIXTURES SHALL BE 90° CUT-OFF FIXTURE DIRECTED DOWNWARD AT THE GROUND SURFACE.

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FOR BID PURPOSES ONLY

SPACE and SITES, LLC
BUILDING DESIGN, PLANNING
6 East Taylor St. Shelbyville, IN 46176
PH 317.392.4444 FAX 317.392.0709
www.spaceandsites.com
e-mail: spaceandsites@sbcglobal.net

REVISION	SYMBOL	DATE

CHECKED: TN
CERT.: -
SCALE: 1"=30'
DRAWN: RC

SEAL

SHEET NAME: PROPOSED SITE LIGHTING PLAN

PROJECT NAME: SHELBYVILLE PARKS & REC. DEPT.
MAINTENANCE BUILDING, BLUE RIVER PARK
1021 MORRIS AVE., SHELBYVILLE, IN 46176

DATE: JUNE 10, 2019

PROJECT NO.: 18015

SHEET NO.: C104

SHELBY COUNTY BUILDERS ASSOCIATION

STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

ASSESSMENT OF CONSTRUCTION PLAN ELEMENTS:

A1 – Plan Index showing locations of required items:

Plan index is provided on this sheet.

A2 – 11 X 17 inch plot showing building lot numbers/boundaries and road layout/names:

See Sheet C100.

A3 – Narrative describing project nature and purpose:

Constructing a office/shop, asphalt/stone drives, parking areas on 181.47 Ac. (1.8 Ac. used) site.

A4 – Vicinity map showing project location:

Vicinity Map is provided on cover sheet.

A5 – Legal Description of the Project Site:

The legal description of the project is attached on Sheet C100.

The project site is approximately located at Latitude: 39° 31' 43.2" N, Longitude: 85° 45' 19.3" W

A6 – Location of all lots and proposed site improvements:

Lot boundaries, numbers, structures, and proposed site improvements are shown on the plan. See plans.

A7 – Hydrologic unit code:

Unit Code: 05120204030060 – Little Blue River–Rays Crossing.

A8 – Notation of any State or Federal water quality permits:

No state or Federal Water Quality Permits are anticipated with this project.

A9 – Specific points where Storm water discharge will leave the site:

Proposed sheet drains East to existing swale that drains park, to Little Blue River.

A10 – Location and name of all wetlands, lakes, and water courses on and adjacent to the site:

Little Blue River is approximately .20 mi. to the South of site.

A11 – Identify all Receiving Waters:

Stormwater runoff exit site via ditch/swale to Little Blue River.

A12 – Identification of potential discharges to groundwater:

Slight potential for groundwater infiltration through stone. No sinkholes or uncapped abandoned wells located on the project site or downstream of the project site and could potentially be impacted by stormwater discharge.

A13 – 100 Year Floodplains, floodways, and floodway fringes:

The proposed building is not located in a special flood hazard zone "X" as per firm map #18145C0119C effective date November 5, 2014. The accuracy of this flood hazard statement shown on this plot plan is subject to map scale uncertainty and to any other uncertainty in location or elevation on the referenced flood insurance rate map.

A14 – Pre-construction and post construction estimate of Peak Discharge at controlling events:

Pre–Construction 0 Yr. 12Hr 0 cfs
Post–Construction 0 Yr. 3Hr 0 cfs

A15 – Adjacent land use, including upstream watershed:

North: R1 – Single Family Residential
South: BH – Business Highway
West: R1 – Single Family Residential
East: BH – Business Highway

Little Blue River Water Shed

A16 – Locations and approximate boundaries of all disturbed areas:

The proposed disturbed areas are shown on plans. See plans for additional information.

A17 – Identification of existing vegetative cover:

The existing vegetative cover types in proposed areas is crops. See plans for additional information.

A18 – Soils map including descriptions and limitations:

A soil map/soil type table has been added to this sheet. Obtained from USDA Web Soil Survey.

A19 – Locations, size and dimensions of proposed Storm water systems:

Proposed sheet drains & 12" HDPE for downspouts runs East to existing swale that drains park, to Little Blue River.

A20 – Plan for any off–site construction activities associated with this project:

No off–site construction intended for proposed project site. If off–site construction is needed contractor will file amended NOI Rule 5 Permit.

A21 – Locations of proposed soil stockpiles, borrow and/or disposal areas:

If need for stockpile arises; please contact Shelby County Soil and Water District.

A22 – Existing site topography at an interval appropriate to show detailed drainage patterns:

Stormwater runoff is collected in a series of existing ditches/swales on the property then runs out to South of property to Little Blue River.

A23 – Proposed final topography at an interval appropriate to show detailed drainage patterns:

Proposed site will have very limited changes to topography. See plans for details. See sheet C102.

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ASSESSMENT OF STORM WATER POLLUTION PREVENTION – CONSTRUCTION COMPONENT (SECTION B)

B1 – Description of potential pollutant sources associated with the construction activities:

The main source of pollution during construction will be silt, construction materials, and petroleum products used in construction equipment. Erosion and sediment control measures will be put in place before construction begins to minimize the possibility of silt entering stormwater. The contractor is to cover all material storage areas before any expected rainfall event to prevent pollution of stormwater from construction material. The contractor is to maintain a fueling and servicing area to minimize the danger of pollutants entering stormwater from construction equipment. Instructions for the fueling and servicing area are provided in Section B13 – Material Handling and Spill Prevention.

B2 – Sequence describing Storm water quality measure implementation relative to land disturbing activities:

See General Erosion & Sediment Control Staging Notes for detailed information. See sheet C105 & C106.

B3 – Stable construction entrance locations and specifications:

See Erosion Control Plans, Details, and Specifications for detailed information. See sheet C105 & C106.

B4 – Sediment control measures for sheet flow areas:

See Erosion Control Plans, Details, and Specifications for detailed information. See sheet C105 & C106.

B5 – Sediment control measures for concentrated flow areas:

See Erosion Control Plans, Details, and Specifications for detailed information. See sheet C105 & C106.

B6 – Storm sewer inlet protection measure locations and specifications:

See Erosion Control Plans, Details, and Specifications for detailed information. See sheet C105 & C106.

B7 – Runoff control measures:

See Erosion Control Plans, Details, and Specifications for detailed information. See sheet C105 & C106.

B8 – Storm water outlet protection specifications:

See Erosion Control Plans, Details, and Specifications for detailed information. See sheet C105 & C106.

B9 – Grade Stabilization structure locations and specifications:

See Erosion Control Plans, Details, and Specifications for detailed information. See sheet C105 & C106.

B10 – Location, dimensions, specifications and construction details of each Storm water quality measure:

See Erosion Control Plans, Details, and Specifications for detailed information. See sheet C105 & C106.

B11 – Temporary surface stabilization methods appropriate for each season:

See Erosion Control Plans, Details, and Specifications for detailed information. See sheet C105 & C106.

B12 – Permanent surface stabilization specifications:

See Erosion Control Plans, Details, and Specifications for detailed information. See sheet C105 & C106.

B13 – Material handling and spill prevention plan:

Material handling and storage associated with construction activity shall meet the Spill Prevention and Spill Response Requirements in 327 IAC 2–6.1. Full emergency plan shown below. All material should be handled in accordance with guidelines set forth in material safety data sheets provided by manufacture.

B14 – Monitoring and maintenance guidelines for each proposed pollution prevention measure:

The details for each Erosion and Sediment Control Practice used within these plans lists the specific guidelines for the maintenance of each type of practice used.

B15 – Erosion & Sediment control specifications for individual building lots:

No individual building lots for this project.

SOIL MAP

OcA–Ockley loam, 0 to 2 percent slopes

Wc–Westland clay loam, 0 to 1 percent slopes

ASSESSMENT OF STORM WATER POLLUTION PREVENTION – POST CONSTRUCTION COMPONENT (SECTION C)

C1 – Description of pollutants and their sources associated with the proposed land use.

The majority of the post construction potential pollutant sources for this project are oil, grease, antifreeze, brake fluid, brake dust, rubber fragments, gasoline, and other hydrocarbons from vehicles, and fertilizer. Other potential pollutants could include sediment from wearing of the road surface and washing or falling off of vehicles. trash from littering and other types of improper disposal and storage, and elevated receiving water temperatures from stormwater runoff contact with impervious surfaces.

C2 – Sequence describing storm water quality measure implementation.

The water quality treatment system will include a series of existing swales on the property then runs out to South of property to Little Blue River. For additional information on the sequence and implementation of the water quality measures, refer back to the Erosion & Sediment Control Staging Notes.

C3 – Description of proposed post construction storm water quality measures.

This project was designed to minimize pollutants and the impact on the receiving waters and the surrounding environment. All stormwater associated with this project is collected through the proposed storm sewer system that drain into swales and rentention ponds which will treat the stormwater runoff prior leaving the site. The swales and retention ponds was designed to be used as the water quality measure for the project.

C4 – Location, dimensions, specifications and construction details of each Storm water quality measure.

See plans for detailed information. See sheet C105.

C5 – Description of maintenance guidelines for proposed post construction water quality measures.

The proposed detention pond and swales will be maintained and monitored during this project by the contractor and the current owner. The owner of this project will be responsible for the detention pond once construction is complete, as it currently is required. Storm sewer inlets and pipes will also need to be inspected on a regular basis and cleaned as necessary.

For guidelines, the tables below provides a list of maintenance and Inspection Activities for the contractor, pond owner, and project owner.

MAINTENANCE & INSPECTION

1. The inlet protection will need to be monitored and cleaned once a month or after each storm event.
2. The Contractor is responsible for all installation and maintenance of erosion control.

MAINTENANCE / INSPECTION SCHEDULE	
ITEM DESCRIPTION	INTERVAL
Inspection of Embankment	Annual Inspection and/or after major storm event
Inspection of Outlet Structures / Riprap	Monthly Inspection and/or after major storm event
Inspection of Stormwater Inlets	Inspect Monthly
Condition of Embankment	Annual Inspection and/or after major storm event

MAINTENANCE / INSPECTION SCHEDULE		
ITEM DESCRIPTION	SATISFACTORY/ UNSATISFACTORY	ACTION TAKEN/ COMMENTS
1. CONDITION OF EMBANKMENT		
Healthy vegetation with at least 85% ground cover.		
No signs of erosion on embankment		
No animal burrows		
Embankment is free of cracking, bulging or sliding		
Embankment is free of leaks or seeps		
No slope protection failure		
2. CONDITION OF OUTLET STRUCTURES		
Low flow outlet free of obstruction		
Flared End Section not blocked or damaged		
Outlet pipe is not blocked and is in good condition		
Outlet channels are stable and free of scouring		
Riprap is good condition and not sediment laden		
3. CONDITION OF INLET STRUCTURES		
No riprap failures		
No evidence of slope erosion or scouring		
Inlet storm pipes are in good condition		
Inlet storm pipes are not clogged and are operational		
Endwalls/Headwalls/End Sections are in good condition		
Inlet grates are free of obstructions		
Inlet bottoms are free of debris and sediment		

SEEDING SCHEDULE:

1. FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE SPREAD UNIFORMLY OVER THE AREA TO BE SEEDED. THEY SHALL BE MIXED INTO THE TOP 2" OF SOIL WITH A DISK HARROW, ROTARY TILLER, OR OTHER APPROVED EQUIPMENT. FERTILIZER SHALL BE SPREAD AT THE RATE OF 800 POUNDS PER ACRE, AND AGRICULTURAL LIMESTONE AT THE RATE OF 1/2 TON PER ACRE UNLESS OTHERWISE SPECIFIED.

2. TEMPORARY SEEDING: THE AREAS WHERE STRIPPING, CUTS OR FILLS HAVE BEEN GRADED SHALL BE SEEDED FOR SILT AND EROSION PROTECTION WITH ONE OF THE FOLLOWING METHODS:

   A. EARLY SPRING MIX: SEEDING RATE: 100% OATS 50 LBS./ACRE
   B. SPRING OR LATE FALL MIX: SEEDING RATE: 100% ANNUAL RYE 50 LBS./ACRE
   C. FALL MIX: SEEDING RATE: 100% PERENNIAL RYE 50 LBS./ACRE

STRAW OR MULCH AS APPROVED BY THE ENGINEER SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.

3. HYDRO–SEEDING: HYDRO–SEEDING SHALL BE AS PER I.D.O.H SPECIFICATIONS, SECTION 621, DATED 1988. FERTILIZER SHALL BE 12–12–12 APPLIED AT THE RATE OF 400 POUNDS PER ACRE. SEED MIXTURE SHALL BE 60 POUNDS PER ACRE OF PERENNIAL RYE GRASS AND 60 POUNDS PER ACRE OF KENTUCKY 31 FESCUE OR ALTA FESCUE.

EROSION CONTROL SPECIFICATIONS

A. SCOPE OF WORK

1. The work required under this section includes erosion and sediment control measures for construction activities as required by local, state and federal jurisdictions including by not limited to County Soil & Water Conservation District, Local MS4, Indiana Department of Environmental Management and the Environmental Protection Agency.

B. MATERIALS

1. Materials required for this section are provided under the Stormwater Pollution Prevention Plans, Erosion & Sediment Control Notes, and Details.

C. GENERAL

1. This plan is designed as an attempt to prevent any and all sediment from leaving the construction site by way of erosion. If erosion of sediment from the site is taking place, the owner shall take preventative action immediately. The Engineer shall be consulted in the event this happens.
2. Temporary seeding is to be applied within 7 days if no work is anticipated in an area of disturbed soil within 15 days.
3. Permanent seeding is to be applied immediately to areas that have achieved final and finished grade.
4. Preserve existing vegetation on the site whenever and wherever possible to prevent topsoil erosion.
5. All sediment capturing measures are to be implemented prior to the disturbance of the construction area they are intended to service.
6. All erosion control measures proposed are to be properly maintained to continue their effectiveness.
7. If grading occurs during December, January or February dormant seeding procedures shall be used.
8. During dry weather, keep lawns watered with sprinklers or other approved methods. Reseed any areas not germinating or damaged at intervals as may be required according to seasonal condition and/or construction activity. Water grass and execute necessary weeding until full stand of grass has been obtained.
9. The implementation and maintenance of the erosion control is the sole responsibility of the contractor and/or owner.
10. It shall be the Contractor's and/or Owner's responsibility to minimize sedimentation (from on–site construction activities) from being deposited onto adjacent properties and receiving streams/ditches in strict compliance with the United States Environmental Protection Agency (U.S. EPA) and the Indiana Department of Environmental Management (IDEM) Storm Water Phase II criteria. It shall also be the Contractor's and/or owner's responsibility to obtain any approvals required from the local authority having jurisdiction and to submit a complete Notice of Intent form to the Indiana Department of Environmental Management (IDEM) prior to the start of any construction activity.
11. Provide 12" Minimum of INDOT #2 crushed stone on filter fabric construction entrance(s) to site from street/roads. See details for additional information.
12. Contractor shall at all times insure that erosion control measures protecting existing drainage facilities be in place prior to the commencement of any phase of construction or land alteration activity.
13. As soon as areas are brought to finish grade or new drainage facilities are constructed, contractor shall construct the applicable erosions control measures required by and delineated on the approved plan.
14. During site construction activity, the contractor shall:
    a. Construct all perimeter silt barriers.
    b. Install and maintain clean crushed stone at all construction entrances/exits to the site and any areas used for parking.
    c. Prevent construction silts from leaving the site at all times and place excavated materials away from any direct drainage flow runoff from the site.
15. Temporary vegetation shall be installed within 7 days following completion of any phase of grading.
16. Contractor shall inspect all erosion control measures daily and repair as necessary to prevent erosion. Siltation shall be removed from areas where failures have occurred and corrective action shall be taken within 24 hours to maintain all erosion control.
17. Perimeter siltation barriers shall be maintained at all times.
18. At such time that rough grading of the site is complete and drainage diverts to inlets, inlet erosion control measures shall be installed at all inlet structures to keep piping systems free of siltation.
19. Erosion control measures, construction entrances and siltation barriers shall remain in place until a good stand of grass has been obtained and/or paving operations are complete. After this has been accomplished, all silt in pipes, detention facilities and swales shall be removed within 10 days so that finished grades are met.
20. Once construction is complete and prior to the contractor handing over the project to the owner, the contractor shall clean all debris, pollutants, and sediment from the detention pond and forebay.

SPILL PREVENTION PLAN

All fueling and servicing of vehicles on site will be conducted near the construction entrance/staging area. This area shall be contained with a row of staked straw bales around the perimeter. Secondary containment in the form of drip pans or drop cloths shall be used to contain any spills. The contractor shall maintain a supply of oil–absorbent material to clean up any small spills that may occur. Any spillage will be removed immediately. Used absorbent material shall be removed from the site and disposed of in accordance with the laws of the State of Indiana. Contaminated soils will be placed on heavy plastic and covered or place into approved containers to prevent contact with storm water. All fuel tanks will be in the containment area. Oils, other vehicle fluids, paints and solvent will be stored in the construction trailer. Any spill in excess of two gallons will be reported to a representative of the contractor.

If a release containing a hazardous substance in an amount equal to or in excess of a reporting quantity established under either 40 CFR 117 or 40 CFR 302 occurs during a 24–hour period, the contractor will immediately notify the permittee who shall then do the following: notify the National Response Center (NRC) (800–424–8802) and the Indiana State Emergency Management Agency (317–232–3986); as well as the Local/County Emergency management, the Local Fire Department (911), and Shelbyville Engineering Department. Also, the engineer will prepare a revision to this document to identify measures to prevent the reoccurrence of such release.

Concrete trucks will wash out at the designated area near the construction entrance. The contractor shall take care to insure that no waste materials are discharged into the waters of the state. Each contractor is responsible to provide litter control for trash generated by his crew. All trash including but not limited to; solid waste, paint cans, oil cans, used oil and filters will be contained and disposed of by the contractor in accordance with the laws and regulations of the State of Indiana and Local/County requirements.

The contractor shall furnish and maintain sanitary facilities for the project. The facilities shall be cleaned as necessary and the waste materials shall be disposed of in accordance with the laws and regulations of the State of Indiana and Local/County requirements.

EROSION CONTROL CONSTRUCTION SEQUENCE SCHEDULING	
CONSTRUCTION PHASE (SPECIFIC ACTIVITIES OR EROSION CONTROL PRACTICES)	CONSTRUCTION SCHEDULE CONSIDERATIONS
PRE–CONSTRUCTION ACTIONS (EVALUATION/PROTECTION OF IMPORTANT SITE CHARACTERISTICS)	BEFORE CONSTRUCTION, EVALUATE, MARK, AND PROTECT IMPORTANT TREES AND ASSOCIATED ROOTING ZONES, UNIQUE AREAS (e.g., WETLANDS) TO BE PRESERVED, ON–SITE SEPTIC SYSTEM ABSORPTION FIELDS, AND VEGETATION SUITABLE FOR FILTER STRIPS, ESPECIALLY IN PERIMETER AREAS.
CONSTRUCTION ACCESS * (CONSTRUCTION ENTRANCES, CONSTRUCTION ROUTES, EQUIPMENT PARKING AREAS)	STABILIZE BARE AREAS IMMEDIATELY WITH GRAVEL AND TEMPORARY VEGETATION AS WORK TAKES PLACE
SEDIMENT BARRIERS AND TRAPS * (BASIN TRAPS, SILT FENCES, OUTLET PROTECTION)	INSTALL PRINCIPAL BASINS AFTER CONSTRUCTION SITE IS ASSESSED. INSTALL ADDITIONAL TRAPS AND BARRIERS AS NEEDED DURING GRADING.
RUNOFF CONTROL * (DIVERSIONS, PERIMETER DIKES, WATER BARS, OUTLET PROTECTION)	INSTALL PRACTICES AFTER PRINCIPAL SEDIMENT TRAPS ARE INSTALLED BUT BEFORE SITE GRADING. INSTALL ADDITIONAL RUNOFF CONTROL MEASURES DURING GRADING AS NEEDED.
RUNOFF CONVEYANCE SYSTEMS * (STABILIZED STREAMBANKS, STORM DRAINS,INLET AND OUTLET PROTECTION, CHANNELS)	WHERE NECESSARY, STABILIZE STREAMBANKS AS EARLY AS POSSIBLE. INSTALL PRINCIPAL CONVEYANCE SYSTEM WITH RUNOFF CONTROL MEASURES. INSTALL REMAINDER OF SYSTEM AFTER GRADING.
LAND CLEARING AND GRADING * (CUTTING/FILLING, GRADING DRAINS, SEDIMENT TRAPS, BARRIERS, DIVERSIONS, SURFACE ROUGHENING)	BEGIN MAJOR CLEARING AND GRADING AFTER INSTALLING THE KEY SEDIMENT AND RUNOFF MEASURES. CLEAR BORROW AND DISPOSAL AREAS AS NEEDED. INSTALL ADDITIONAL CONTROL MEASURES AS GRADING PROGRESSES.
SURFACE STABILIZATION * (TEMPORARY AND PERMANENT SEEDING, MULCHING, SODDING, RIP–RAP)	APPLY TEMPORARY OR PERMANENT STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK IS DELAYED OR COMPLETED.
BUILDING CONSTRUCTION * (BUILDING, UTILITIES, PAVING)	INSTALL NECESSARY EROSION AND SEDIMENT CONTROL PRACTICES AS WORK TAKES PLACE.
LANDSCAPING AND FINAL STABILIZATION * (TOPSOIL, TREES, AND SHRUBS, PERMANENT SEEDING, MULCHING, SODDING, RIP–RAP)	STABILIZE ALL OPEN AREAS INCLUDING BORROW AND SPOIL AREAS. REMOVE TEMPORARY CONTROL MEASURES AND STABILIZE.

*MAINTENANCE––(1)INSPECT PRACTICES AT LEAST ONCE A WEEK, & (2) MAKE REPAIRS IMMEDIATELY AFTER PERIODS OF RAINFALL.

GENERAL EROSION AND SEDIMENT CONTROL STAGING NOTES

1. The Contractor shall schedule and hold a pre–construction meeting with the Shelby County Soil and Water District prior to any construction activities.
2. All erosion and sediment control practices shall be in accordance with the Indiana Stormwater Quality Manual, Indiana Department of Environmental Management, and the Shelbyville Stormwater Design Manual and Standards.
3. The Notice of Intent (NOI) and public notice for the project, along with the Governing Municipality Erosion County Permit, shall be posted on a sign installed at or near the site construction entrance. The NOI shall list the contact information for the site contact person. The sign and information shall be maintained and remain legible throughout construction.
4. A copy of this Erosion and Sediment Control Plan and the Erosion and Sediment Control Report shall be available at the project site throughout the entire construction period.
5. The contractor shall control waste, garbage, debris, wastewater, and other substances on the site so they will not be transported from the site by the action of wind, storm water runoff, or other forces. Proper disposal or management of all wastes and unused building material appropriate to the nature of the waste or material is required.
6. Public or Private roadways shall be kept clear of accumulated sediment. All sediment that is cleared must be returned to the likely point of origin or other suitable location. Clearing of large amounts of sediment shall not include flushing the area with water.
7. Minimize the exposure of bare earth by limiting the work area to that necessary to perform the work, and by proper scheduling of manpower and equipment.
8. All erosion and sediment control measures shall be inspected, cleaned, and maintained following each storm event of 0.5 inches or greater.
9. Wherever possible, maintain existing vegetative cover. Use non–vegetative material including mulch, erosion blankets, or stone to control erosion from disturbed areas.
10. A log shall be maintained of all inspections (weekly, and following storm events), maintenance and repair of erosion and sediment control measures. The log shall be maintained on site and be available upon request to the owners representatives and the operating authorities having jurisdiction over the site.
11. The following erosion control measures shall be in place prior to any land disturbing activities:
    11.1 Create a stabilized construction entrance.
    11.2 Install Temporary Inlet Protection Measures on existing storm inlets.
    11.3 Install Temporary Silt Fence and/or Silt Sock Protection as shown on approved plans.
    11.4 Install Temporary Concrete Washout.
12. Once land disturbing activities begin, the following practices shall be provided:
    12.1 Once earth disturbing activities begin, the adjacent roadways, drives, parking lots, etc., shall be continuously monitored for sediment tracking. If sediment is found, immediate action is required to clean the offsite areas and the current erosion control practices will need to be inspected and modified accordingly to prevent any further sediment from leaving the project site.
    12.2 Once the new storm structures/pipe are in place, the appropriate type of inlet protection measures shall be placed.
    12.3 Continued monitoring of all exposed areas shall be preformed in order to verify the surrounding areas are not becoming sediment laden from construction activities onsite.
    12.4 As the construction occurs, disturbed areas shall be stabilized as soon as they are at finished grade or will be left bare for more than 15 days.
    12.5 Provide final grade stabilization upon final grading of all areas including erosion control blanketing, seeding and sodding as appropriate.
    12.6 Storm sewers shall be jet/vacuumed to remove silted materials in the event they become silted from construction activities onsite.
13. Whenever possible, erosion and sediment control measures shall be constructed and installed prior to performing other earth disturbing activities.
14. Minimize erosion from exposed areas by providing and maintaining temporary or pavement stabilization measures. Erosion control measures to protect exposed areas shall be installed at the end of the day's work or within 24 hours of the completion of the earth disturbing activity, as applicable for the type of measure.
15. All disturbed areas shall be seeded and/or stabilized upon completion of the earth disturbing activities.
16. All graded areas (lawns, banks, mounds, etc.) with slopes equal to or steeper than 6h:1v shall be stabilized with an erosion control blanket unless noted otherwise. All constructed swales channels shall be stabilized with an erosion control blanket to the top of the bank. Soil stockpiles shall be seeded and mulched to minimize erosion.
17. All other lawn and planting areas shall be seeded and stabilized with an anchored, crimped or tackified mulch and seed mixture.
18. Areas to be paved shall be stabilized with a temporary stone cover. The temporary stone stabilization shall be equivalent to the proposed stone sub–base material. Adequate sub–base depths shall be maintained during construction, verified and restored, if necessary, prior to final paving. Stone stabilization shall be installed per the paving specifications and details.
19. Install pipe and grate inlet protection measures and pipe outlet protection as new pipes or pipe extensions are installed. limit excavation to the work that can be performed that day. Trenches shall be seeded and mulched as part of the backfill operation.
20. Install inlet protection measures to prevent debris and sediment from entering storm system. Check weekly and after each storm event for debris and sediment. Clear blockages as identified. Torn, damaged or ineffective measures shall be replaced.
21. Soil stockpiles shall have appropriate perimeter protection to prevent sedimentation of the surrounding acres. Any stockpile that will not be disturbed for 15 days or longer shall be seeded and protected with mulch or erosion control blanket.
22. All disturbed areas where work will potentially cease for 15 days or longer shall be seeded and stabilized immediately upon completion of the activity.
23. Erosion and sediment control measures shall be maintained until the site has a 70% vegetative stand.
24. Once construction is complete and prior to the contractor handing over the project to the owner, the contractor shall clean all debris, pollutants, and sediment from the detention pond and forebay.

SHELBY COUNTY BUILDERS ASSOCIATION

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PH 317.392.4444 FAX 317.392.0709
www.spaceandsites.com
e–mail: spaceandsites@sbcglobal.net

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			TN	RC
			CERT.	
			BC	
			SCALE	
			–	

SEAL

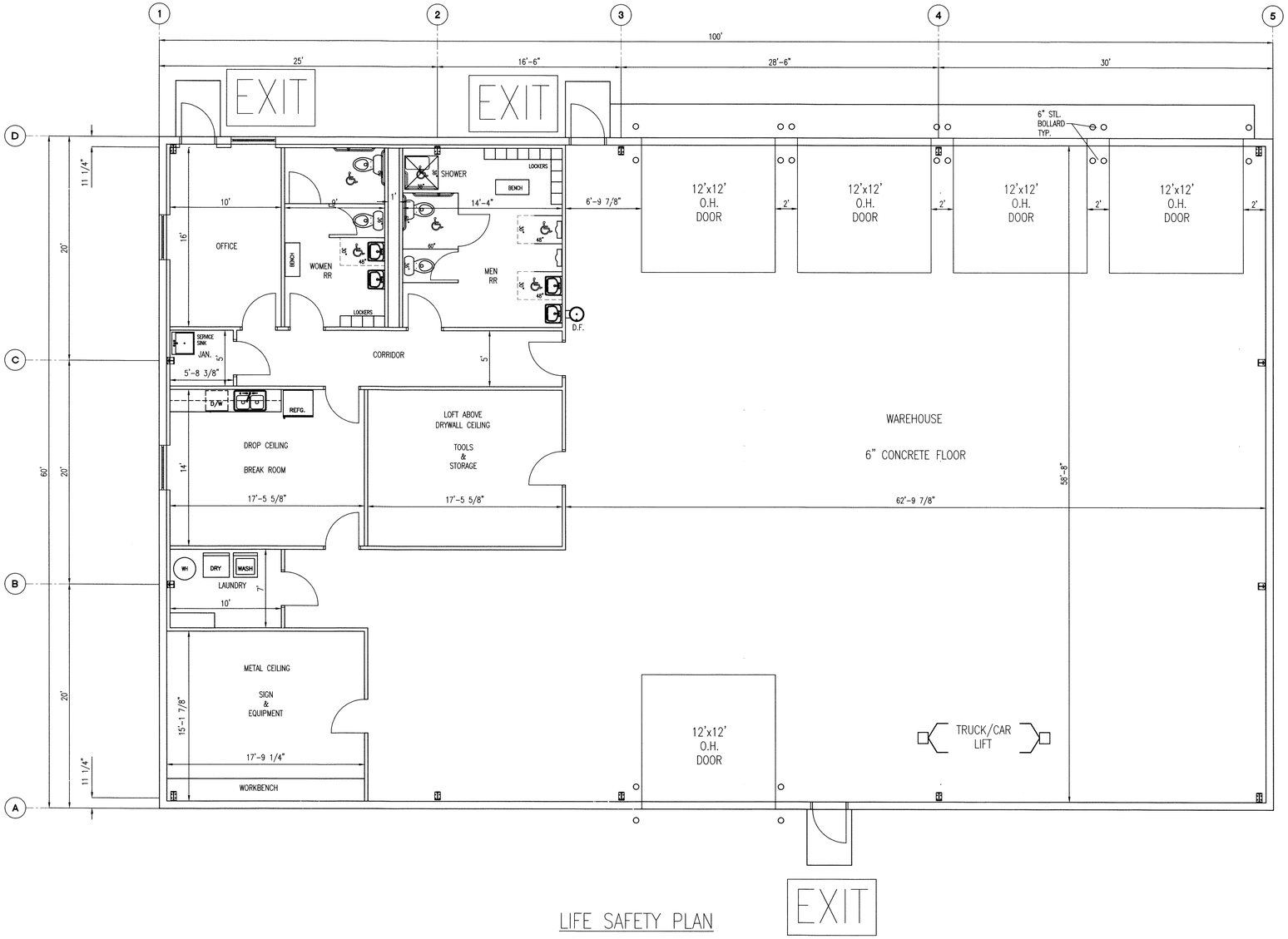
SHEET NAME (SWPPP)
STORM WATER POLLUTION PREVENTION PLAN

PROJECT NAME
SHELBYVILLE PARKS & REC. DEPT.
MAINTENANCE BUILDING, BLUE RIVER PARK
1021 MORRIS AVE., SHELBYVILLE, IN 46176

DATE: MAY 24, 2019

PROJECT NO.: 18015

SHEET NO.
C105



LIFE SAFETY PLAN

NORTH

SCALE: 3/16" = 1'-0"

INDIANA BUILDING CODE:	2014 EDITION INDIANA
PLUMBING CODE:	2012 EDITION INDIANA
ELECTRICAL CODE:	2009 EDITION INDIANA
MECHANICAL CODE:	2014 EDITION INDIANA
ENERGY CONSERVATION CODE:	2010 ASHRAE 90.1, 2007 EDITION, AS AMENDED

CODE ANALYSIS

TENANT SPACE USE: OFFICE, MAINTENANCE, STORAGE

OCCUPANCY TYPE: B, S-2,

CONSTRUCTION TYPE: II-B,

BUILDING AREA: TOTAL=6,000 S.F.

FIRE SUPPRESSION SYSTEM: N/A

REQUIRED EXITS AND EXITS PROVIDED: 2 REQUIRED, 3 PROVIDED

BUILDING OCCUPANT LOAD:
FACTORY: 200 GROSS PER S.F. = 7 OCCUPANTS
STORAGE: 300 GROSS PER S.F. = 4 OCCUPANTS
TOTAL OCCUPANTS = 87 OCCUPANTS

PLUMBING FIXTURES:
WATER CLOSET- 1 PER 100 REQUIRED - 4 PROVIDED
LAVATORIES- 1 PER 100 REQUIRED - 4 PROVIDED
DRINKING FOUNTAINS- 1 PER 400 REQUIRED - 1 PROVIDED
SERVICE SINK- 1 REQUIRED - 1 PROVIDED

FOR BID PURPOSES ONLY

GENERAL NOTES:
1. ALL CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PER THEIR WORK.
2. ALL CONTRACTORS ARE TO CLEAN UP JOB SITE PER THEIR WORK.
3. ALL CONTRACTORS ARE TO VERIFY ALL APPLICABLE LOCAL CODES OR ORDINANCES PER THEIR WORK.
4. NOTIFY OWNER OF ANY CHANGES REQUIRED PER THESE GENERAL NOTES.
5. ALL WORK SHALL BE PERFORMED AS WORKMANSHIP REQUIRED FOR THIS PROJECT.
6. ALL INTERIOR FINISHES AND MATERIALS SELECTED BY OWNER AND BUILDER.
7. ALL ELECTRICAL AND HVAC LOCATIONS SELECTED BY OWNER AND BUILDER.
8. ALL TRUSSES AND LAMINATED BEAMS TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
9. ALL STEEL TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
10. WINDOW SELECTION BY OWNER AND BUILDER.
11. PROVIDE SMOKE DETECTORS AND FIRE EXTINGUISHERS AS REQUIRED BY STATE AND LOCAL CODES.
12. DOOR SELECTION BY OWNER AND BUILDER (SIZE AND TYPE).

SPACE and SITES, LLC
BUILDING DESIGN, PLANNING
6 East Taylor St. Shelbyville, IN 46176
PH 317.392.4444 FAX 317.392.0709
www.spaceandsites.com
e-mail: spaceandsites@sbcglobal.net

REVISION	SYMBOL	DATE
REVISED-OCCUPANCY TYPES, AREAS		3/22/19

CHECKED	SCALE
TN	3/16"=1'
CERT.	DRAWN
-	RC

SEAL

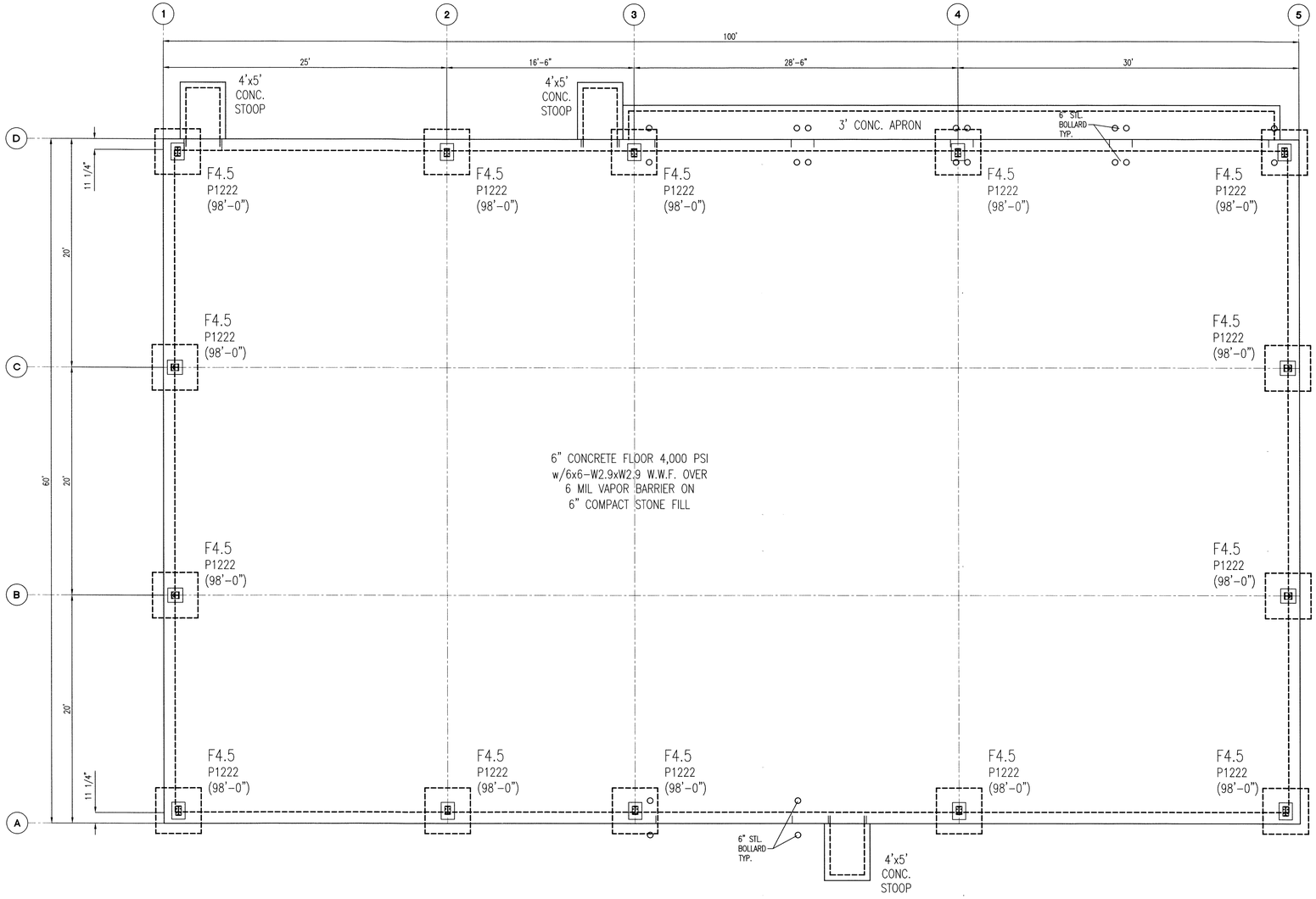
SHEET NAME
LIFE SAFETY PLAN

PROJECT NAME
SHELBYVILLE PARKS & REC. DEPT.
MAINTENANCE BUILDING, BLUE RIVER PARK
1021 MORRIS AVE., SHELBYVILLE, IN 46176

DATE: MAY 13, 2019

PROJECT NO.: 18015

SHEET NO.
G100



PROPOSED FOUNDATION PLAN

NORTH

SCALE: 3/16" = 1'-0"

NOTES:

ALL WORK SHALL BE PREFORMED BY QUALIFIED PERSONNEL PER THEIR TRADE WITH QUALITY WORKMANSHIP AND PER CODES THAT APPLY THAT MAY OR MAY NOT BE SHOWN ON PLANS.

BLOCK WALLS TO HAVE #5 REBARS 32" O.C. w/DURAWALL @ 16" O.C., (2) BOND BEAMS, ABOVE WINDOWS AND TOP COURSE, FOAM CORES, SEAL AND PAINT BLOCK

NOTE:

FOUNDATION FOR BIDDING PURPOSES ONLY.
ACTUAL SIZE PER STEEL MANUFACTURE REACTIONS.

FOR BID PURPOSES ONLY

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3. ALL CONTRACTORS ARE TO VERIFY ALL APPLICABLE LOCAL CODES OR ORDINANCES PER THEIR WORK.
4. NOTIFY OWNER OF ANY CHANGES REQUIRED PER THESE GENERAL NOTES.
5. OWNER SHALL APPROVE ALL SHOP DRAWINGS REQUIRED OF THIS PROJECT.
6. ALL INTERIOR FINISHES AND MATERIALS SELECTED BY OWNER AND BUILDER.
7. ALL CABINETS AND COUNTERTOPS SELECTED BY OWNER AND BUILDER.
8. ALL TRUSSES AND LAMINATED BEAMS TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
9. ALL STEEL TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
10. WINDOW SELECTION BY OWNER AND BUILDER.
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REVISION	DATE

SYMBOL	CHECKED	SCALE
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SEAL

SHEET NAME
PROPOSED FOUNDATION PLAN

PROJECT NAME
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MAINTENANCE BUILDING, BLUE RIVER PARK
1021 MORRIS AVE., SHELBYVILLE, IN 46176

DATE: MAY 13, 2019

PROJECT NO.: 18015

SHEET NO.
S100

GENERAL NOTES:

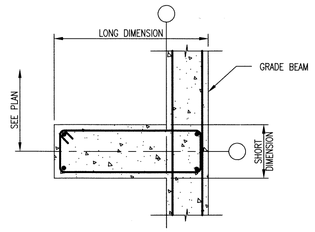
1. THE STRUCTURAL DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF STRUCTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, AND MAJOR STRUCTURAL ELEMENTS. AS SCOPE DOCUMENTS, THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE IN DETAIL ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE STRUCTURAL REQUIREMENTS. BASED ON THE GENERAL SCOPE INDICATED AND DESCRIBED, THE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE PROJECT. ALL REQUESTS FOR INTERPRETATION (RFI) ARE TO BE SUBMITTED IN WRITING.
2. WALSH ENGINEERING SERVICES, P.C. REVIEW OF SHOP DRAWINGS IS TO VERIFY THE CONTRACTOR'S INTERPRETATION AND COMPLIANCE TO THE CONTRACT DOCUMENTS. WALSH ENGINEERING SERVICES, P.C. IS NOT RESPONSIBLE FOR QUANTITIES, DIMENSIONS, FIT, ERECTION REQUIREMENTS OR SEQUENCES AND EXISTING OR AS-BUILT CONDITIONS. ALLOW TWO WEEKS FOR SHOP DRAWING REVIEW.
3. THE PURPOSE OF WALSH ENGINEERING SERVICES, P.C. SITE VISITATIONS IS TO BECOME FAMILIAR WITH THE PROGRESS, QUALITY OF CONSTRUCTION AND COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE SITE VISITATIONS BY WALSH ENGINEERING SERVICES, P.C. DOES NOT INCLUDE INSPECTIONS OR CONSTRUCTION MANAGEMENT AND PROVIDES NO GUARANTEE OF THE WORK OR MATERIALS.
4. THE INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF WALSH ENGINEERING SERVICES, P.C., AND IS THEREBY PROTECTED UNDER COPYRIGHT LAWS. THE ORIGINAL IDEAS REPRESENTED HEREIN BY THIS INFORMATION SHALL NOT BE USED ALTERED OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF WALSH ENGINEERING SERVICES, P.C. AUTO-CAD DRAWINGS ARE COVERED UNDER COPYRIGHT LAWS. FOR USE OF AUTO-CAD DRAWINGS IN PREPARATION OF SHOP DRAWINGS A FEE IS REQUIRED. CONTACT WALSH ENGINEERING SERVICES, P.C. FOR ADDITIONAL INFORMATION.
5. BUILDING CODES:
   INTERNATIONAL BUILDING CODE, 2012 WITH INDIANA AMENDMENTS
   AMERICAN INSTITUTE OF STEEL CONSTRUCTION, ASD
   AMERICAN CONCRETE INSTITUTE, 318
6. DESIGN LOADS:
   RISK CATEGORY II
7. SECTIONS INDICATED AS TYPICAL MAY NOT BE INDICATED ON PLAN SHEETS. IT IS THE CONTRACTORS' RESPONSIBILITY TO USE TYPICAL SECTIONS WHERE REQUIRED.
8. CONTRACTORS ARE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AND/OR SHORING UNTIL THE PERMANENT BRACING IS IN PLACE.
9. ALL CONTRACTORS ARE REQUIRED TO COORDINATE THEIR WORK WITH ALL DISCIPLINES TO AVOID CONFLICTS. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SIZE AND QUANTITY OF OPENINGS, SLAB REQUIREMENTS AND LINTELS.
10. IF A CONFLICT EXISTS BETWEEN CONTRACT DOCUMENTS, THE MORE STRINGENT CONDITION IS TO BE USED, UNLESS NOTED OTHERWISE.
11. SUPPORTS NOT SHOWN AND REQUIRED FOR NON-STRUCTURAL ITEMS AND THEIR APPURTENANCES ARE TO BE PROVIDED BY THE CONTRACTOR REQUIRING THE NON-STRUCTURAL ITEM.
12. VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY CONSTRUCTION OR FABRICATION. IF CONDITIONS ARE DIFFERENT THAN SHOWN, NOTIFY ENGINEER/ARCHITECT IMMEDIATELY FOR MODIFICATIONS.
13. METAL BUILDING MANUFACTURER SHALL SUBMIT COLUMN LOADING FOR ENGINEER TO REVIEW. PIER AND FOOTING SIZES MAY BE SUBJECT TO CHANGE DUE TO THE LOADING CONDITIONS SUPPLIED BY THE METAL BUILDING MANUFACTURER.

FOUNDATION NOTES:

1. AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE IS 2000 PSF, TO BE VERIFIED BY CONTRACTOR. REFER TO TYPICAL SECTION FOR FOUNDATION SUPPORT AT UNSUITABLE SOIL AREAS. FLOWABLE FILL SHALL HAVE A MINIMUM CONCRETE COMPRESIVE STRENGTH OF f'c=50 PSI.
2. FOOTINGS ARE TO BE PLACED ON UNDISTURBED NATURAL SOIL, ENGINEERED FILL OR FLOWABLE FILL. PREVIOUS UNCONTROLLED FILL MATERIAL IS NOT ACCEPTABLE.
3. ENGINEERED FILL SHALL BE FREE OF ORGANIC MATERIAL, ROCKS LARGER THAN 2 INCHES, AND CLAY SHALL NOT HAVE A PI GREATER THAN 15. FILL SHALL BE COMPACTED TO A MINIMUM 95% OF THE MAXIMUM MODIFIED PROCTOR PER ASTM-D1557, AND PLACED IN 8 INCH LIFTS.
4. GRANULAR MATERIAL IS SOIL WITH A ROUNDED SHAPE, FREE OF ORGANIC AND CLAY MATERIAL CONFORMING TO ASTM C33 SIZE #67 (3/4" MAXIMIMUM SIZE OF AGGREGATE) OR INDOT #8.

CONCRETE NOTES:

1. ALL CONCRETE SHALL HAVE THE FOLLOWING 28 DAY COMPRESSIVE STRENGTHS:
   FOOTINGS 3000 PSI WITH 2% AIR ENTRAINMENT, W/C=.55
   EXTERIOR SLABS 4000 PSI WITH 6% AIR ENTRAINMENT, W/C=.45
   INTERIOR SLABS 4000 PSI WITH 2% AIR ENTRAINMENT, AND W/C=.5
2. ALL REINFORCING STEEL SHALL BE ASTM A-615 GRADE 60. ALL WELDED WIRE FABRIC SHALL BE ASTM A185 WITH YIELD OF 65 KSI.
3. ALL CONCRETE AGGREGATE SHALL CONFORM WITH ASTM C33 WITH NOMINAL MAXIMUM COURSE AGGREGATE SIZE OF 1 INCH AND WITHOUT CHERT WHERE EXPOSED TO PUBLIC VIEW.
4. ALL CONCRETE SHALL USE TYPE I PORTLAND CEMENT. REPLACEMENT OF PORTLAND CEMENT WITH CLASS "C" FLY ASH IS ALLOWED UP TO 20 PERCENT. IN FOOTINGS ONLY, SLAG CAN BE BE USED TO REPLACE PORTLAND CEMENT UP TO 30 PERCENT.
5. PROVIDE SLEEVES FOR ALL OPENINGS IN GRADE BEAMS, TO SEPARATE PIPE FROM CONCRETE.
6. CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS, AND ACI 347, GUIDE TO FORMWORK FOR CONCRETE.
7. ALL REINFORCEMENT SHALL BE PLACED PER THE CONCRETE REINFORCING STEEL INSTITUTE, MANUAL OF STANDARD PRACTICE.
8. PROVIDE 1" DEEP BY 1/4" WIDE CONTROL JOINTS AT 10 FEET MAXIMUM IN SLABS ON GRADE, FILL JOINT WITH MASTERSEAL CR190 OR EQUAL. CONTRACTOR TO LOCATE AT A MINIMUM ON GRID LINES AND IN A 1 TO 1.5 MAXIMUM RECTANGLE. CUT AS SOON AS CONCRETE WILL SUPPORT EQUIPMENT.
9. PROVIDE 3/4" CHAMFERS ON ALL EXPOSED EDGES OF CONCRETE.
10. MINIMUM CONCRETE COVER OVER REINFORCEMENT IS AS FOLLOWS, UNLESS NOTED OTHERWISE:
    CONCRETE CAST AGAINST EARTH 3"
    CONCRETE EXPOSED TO EARTH OR WEATHER 2"
    INTERIOR CONCRETE SLABS 3/4"
11. EXPANSION JOINT MATERIAL IS TO COMPLY WITH ASTM D1751 (ASPHALT-SATURATED CELLULOSE FIBER).
12. UNLESS NOTED OTHERWISE ALL LAPS SHALL BE 72 BAR DIAMETERS..



G TYPICAL EXTERIOR METAL BUILDING COLUMN PIER PLAN DETAIL
scale: 1/2"=1'-0"

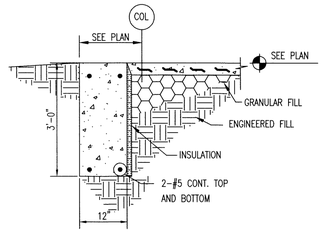
PIER SCHEDULE		
MARK	SIZE	REINFORCEMENT
P1222	1'-10" x 1'-4"	4-#6 HOOKED VERTICAL DOWELS AND #3 TIES @ 12"

FOOTING SCHEDULE		
MARK	SIZE	REINFORCEMENT
F2	2'-0"x2'-0"x1'-0"	#5 @ 12" EACH WAY
F3.5	3'-6" X 3'-6" X 1'-0"	#5 @ 12" EACH WAY
F4.5	4'-6" X 4'-6" X 1'-0"	#5 @ 12" EACH WAY

LEGEND

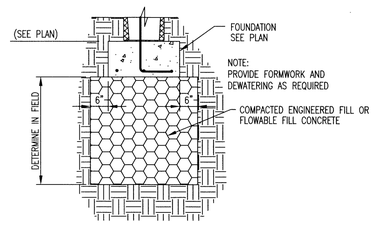
ENGINEERED FILL OR UNDISTURBED FILL
WELDED WIRE FABRIC
GRANULAR FILL
NORMAL WEIGHT CONCRETE
SAWN LUMBER OR OPENING
LIGHT WEIGHT CONCRETE OR GROUT
EXPANSION JOINT MATERIAL OR INSULATION

UNO	UNLESS NOTED OTHERWISE
TYP	TYPICAL
VIF	VERIFY IN FIELD
CONT	CONTINUOUS
(100'-8")	TOP OF FOOTING REFERENCED FROM NOMINAL FIRST FLOOR
114'-8"	TOP OF SLAB REFERENCED FROM NOMINAL FIRST FLOOR
2	INDICATES A REFERENCED PLAN NOTE
1 / S3.1	INDICATES DIRECTION CUT; INDICATES SECTION NUMBER; INDICATES SHEET NUMBER WHERE SHOWN
	INDICATES ITEMS WITHIN CLOUD ARE REVISED



D TYPICAL EXTERIOR WALL SECTION
scale: 1/2"=1'-0"

E NOT USED
scale: 1/2"=1'-0"



F TYPICAL FOUNDATION SUPPORT AT UNSUITABLE SOIL AREAS
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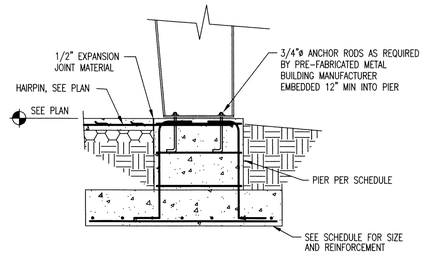
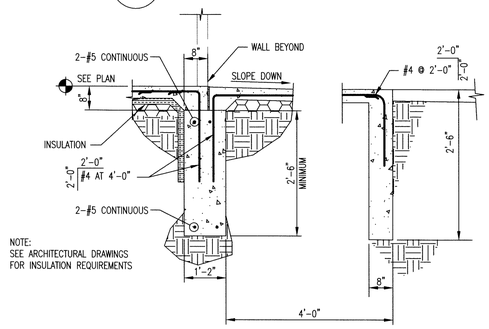
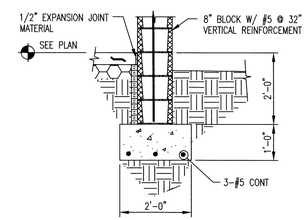


A TYPICAL EXTERIOR COLUMN SECTION
scale: 1/2"=1'-0"



NOTE:
SEE ARCHITECTURAL DRAWINGS FOR INSULATION REQUIREMENTS

B TYPICAL ENTRY SECTION
scale: 1/2"=1'-0"



C TYP. SECTION
scale: 1/2"=1'-0"

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NORTH
SCALE: 1/2" = 1'-0"

REVISION	SYMBOL	DATE
REVISED DETAIL		6/10/19

CHECKED	SCALE
TN	1/2"=1'
CERT.	DRAWN
-	RC

SEAL

FOR BID PURPOSES ONLY

SHEET NAME
PROPOSED FOUNDATION DETAILS

PROJECT NAME
SHELBYVILLE PARKS & REC. DEPT.
MORRIS AVE.
SHELBYVILLE, IN 46176

DATE: MAY 13, 2019

PROJECT NO.: 18015

SHEET NO.
S101

GENERAL NOTES:
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2. ALL CONTRACTORS ARE TO CLEAN UP JOB SITE PER THEIR WORK.
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5. OWNER SHALL APPROVE ALL SHOP DRAWINGS REQUIRED OF THIS PROJECT.
6. ALL INTERIOR FINISHES AND MATERIALS SELECTED BY OWNER AND BUILDER.
7. ALL PLUMBING, HVAC AND ELECTRICAL PER MEP DRAWINGS.
8. ALL TRUSSES AND LAMINATED BEAMS TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
9. ALL STEEL TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
10. WINDOW SELECTION BY OWNER AND BUILDER.
11. PROVIDE SMOKE DETECTORS AND FIRE EXTINGUISHERS AS REQUIRED BY STATE AND LOCAL CODES.
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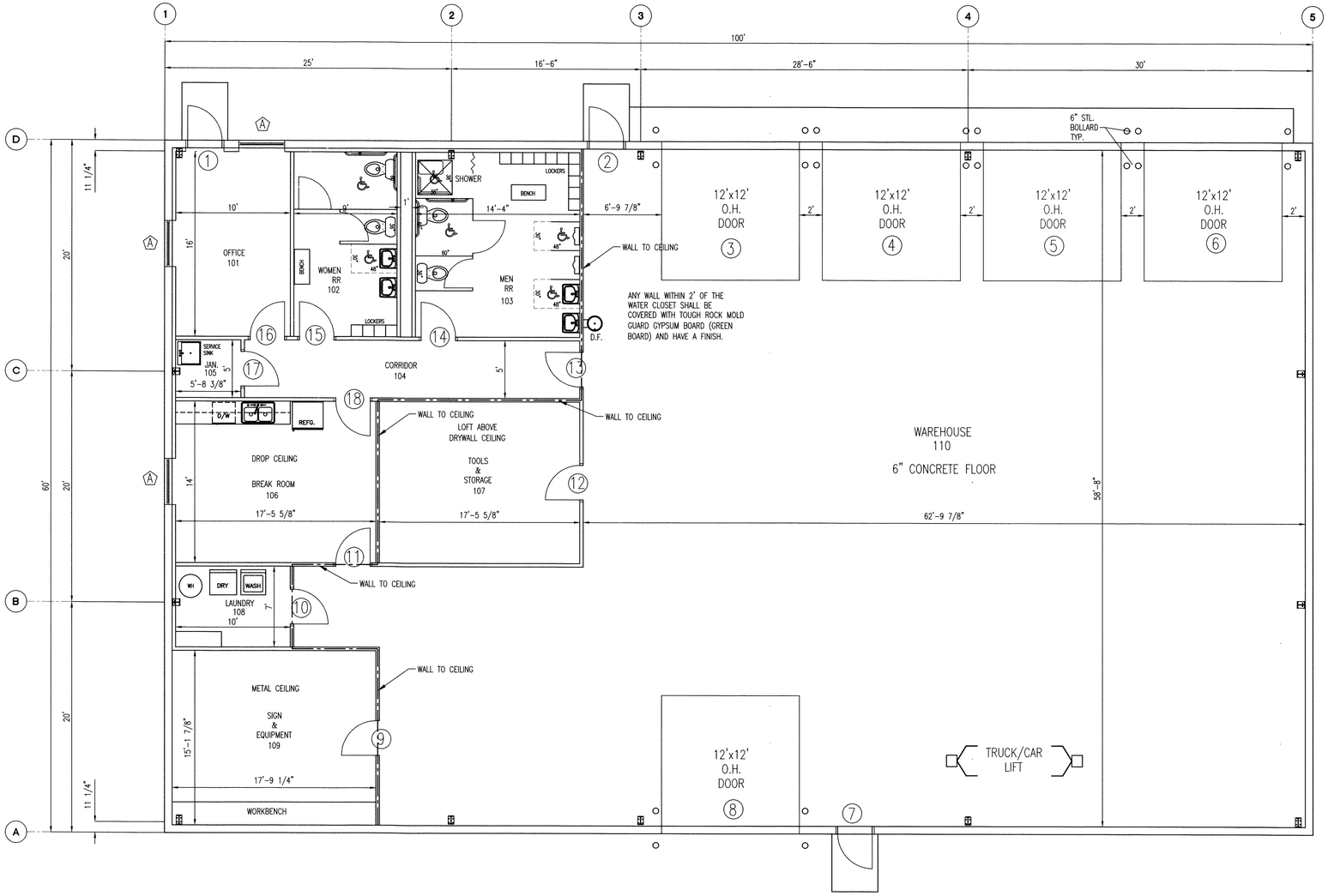


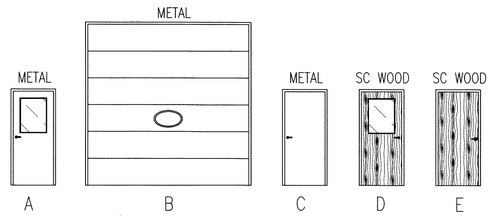
PROPOSED FLOOR PLAN

NOTES:

ALL INTERIOR FRAMING TO BE 3 5/8" METAL STUDS w/ 5/8" TYPE "X" DRYWALL, FINISH AND PAINT. ALSO TO HAVE SOUND BATTS.

ANY WALL WITHIN 2' OF THE WATER CLOSET SHALL BE COVERED WITH TOUGH ROCK MOLD GUARD GYPSUM BOARD (GREEN BOARD) AND HAVE A FINISH.

ALL WORK SHALL BE PREFORMED BY QUALIFIED PERSONNEL PER THEIR TRADE WITH QUALITY WORKMANSHIP AND PER CODES THAT APPLY THAT MAY OR MAY NOT BE SHOWN ON PLANS.



DOOR ELEVATIONS

WINDOW ELEVATIONS

NORTH

SCALE: 3/16" = 1'-0"

ROOM FINISH SCHEDULE					
#	ROOM	WALL	FLOOR	CEILING	Ht.
101	OFFICE	DRYWALL/PAINT	VCT	SUSPENDED	8'
102	WOMEN RR	DRYWALL/FRP	VCT	SUSPENDED	8'
103	MEN RR	DRYWALL/FRP	VCT	SUSPENDED	8'
104	CORRIDOR	DRYWALL/PAINT	VCT	SUSPENDED	8'
105	JANITOR	DRYWALL/PAINT	SEALED CONC.	SUSPENDED	8'
106	BREAK ROOM	DRYWALL/PAINT	VCT	SUSPENDED	8'
107	TOOL/STORAGE	METAL LINER	SEALED CONC.	DRYWALL/PAINT	8'
108	LAUNDRY	DRYWALL/PAINT	SEALED CONC.	SUSPENDED	8'
109	SIGN/EQUIPMENT	METAL LINER	SEALED CONC.	METAL CEILING	8'
110	WAREHOUSE	METAL LINER	SEALED CONC.	LINER	8'

DOOR SCHEDULE					
#	SIZE	TYPE	MATERIAL	REMARKS:	ELEV
1	3'0"x7'0"	ENTRY	METAL	1/2 GLASS	A
2	3'0"x7'0"	ENTRY	METAL	1/2 GLASS	A
3	12'x12'	OVERHEAD	METAL	ELECT. OPENER, WINDOW	B
4	12'x12'	OVERHEAD	METAL	ELECT. OPENER, WINDOW	B
5	12'x12'	OVERHEAD	METAL	ELECT. OPENER, WINDOW	B
6	12'x12'	OVERHEAD	METAL	ELECT. OPENER, WINDOW	B
7	3'0"x7'0"	ENTRY	METAL	1/2 GLASS	A
8	12'x12'	OVERHEAD	METAL	NO WINDOW	B
9	3'0"x7'0"	PASSAGE	METAL		C
10	3'0"x7'0"	PASSAGE	METAL		C
11	3'0"x7'0"	PASSAGE	SC WOOD	1/2 GLASS	D
12	3'0"x7'0"	PASSAGE	METAL		C
13	3'0"x7'0"	PASSAGE	METAL	1/2 GLASS	A
14	3'0"x7'0"	PASSAGE	SC WOOD		E
15	3'0"x7'0"	PASSAGE	SC WOOD		E
16	3'0"x7'0"	PASSAGE	SC WOOD		E
17	3'0"x7'0"	PASSAGE	METAL		C
18	3'0"x7'0"	PASSAGE	SC WOOD	1/2 GLASS	D

ALL DOORS TO HAVE METAL FRAMES.
VERIFY HARDWARE, LOCKS, ETC. WITH OWNER.

WINDOW SCHEDULE					
#	SIZE	TYPE	MATERIAL	REMARKS:	QTY.
A	48"x32"	FIXED	ALUMN./GLASS	–	3

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7. ALL ELECTRICAL AND HVAC LOCATIONS BY OWNER AND BUILDER.
8. ALL STEEL TO BE GALVANIZED BEAMS AND COLUMNS CERTIFIED BY MANUFACTURER/SUPPLIER.
9. ALL TRUSSES TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
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REVISION	DATE
REVISED-O.H. DOOR SIZE, WALL TO CEILING	4/17/19

CHECKED	SYMBOL
TN	
CERT.	
-	
SCALE	
3/16"=1'	
DRAWN	
RC	

SEAL

SHEET NAME
PROPOSED FLOOR PLAN

PROJECT NAME
SHELBYVILLE PARKS & REC. DEPT.
MAINTENANCE BUILDING, BLUE RIVER PARK
1021 MORRIS AVE., SHELBYVILLE, IN 46176

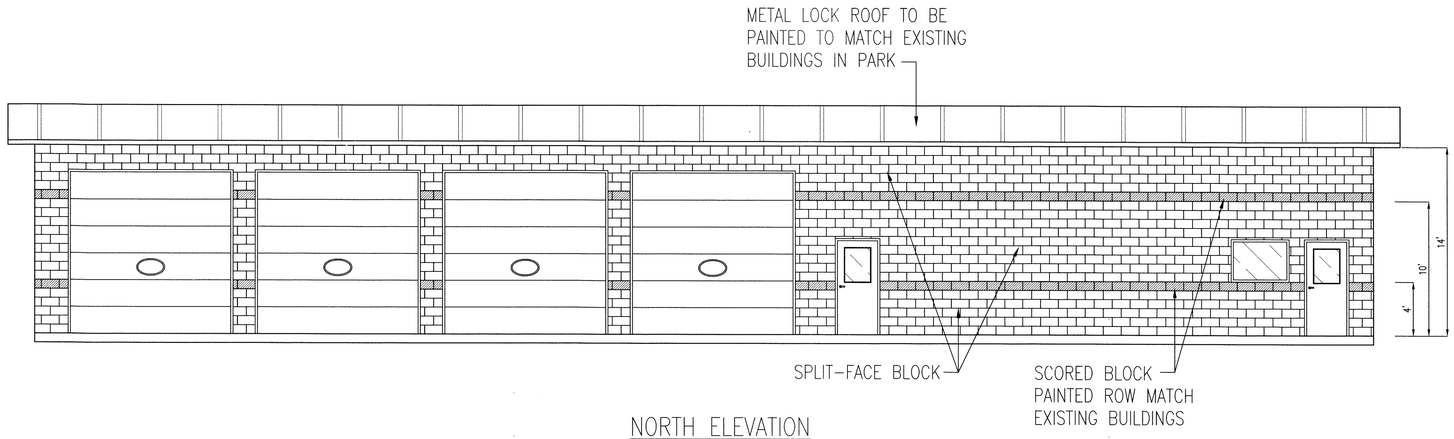
DATE: MAY 13, 2019

PROJECT NO.: 18015

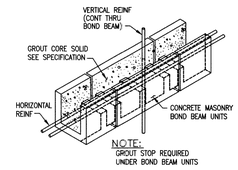
SHEET NO.
A100

NORTH

SCALE: 1/8" = 1'-0"

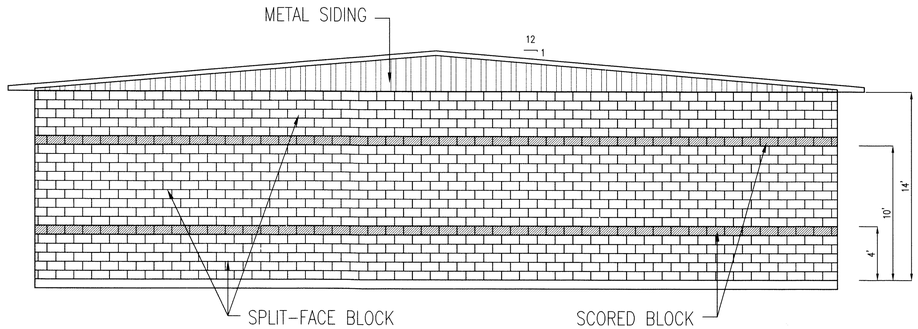


NORTH ELEVATION



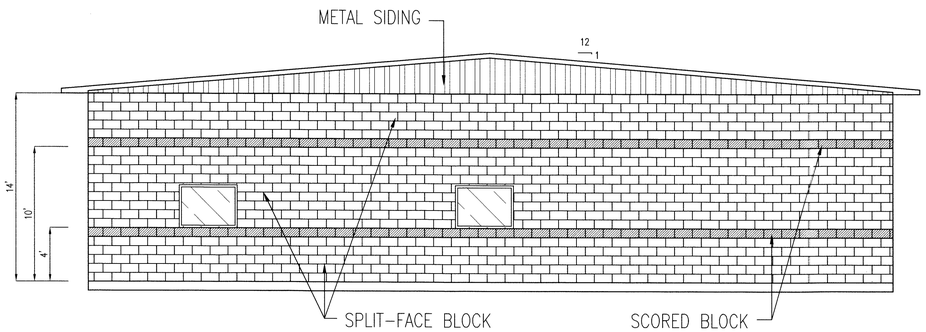
1/A200 TYPICAL BOND BEAM
scale: NTS

G.C. TO VERIFY STEEL BUILDINGS MANUFACTURING ROOF DESIGN WILL ALLOW 3 PSF FOR SOLAR PANEL INSTALLATION BY OTHERS.

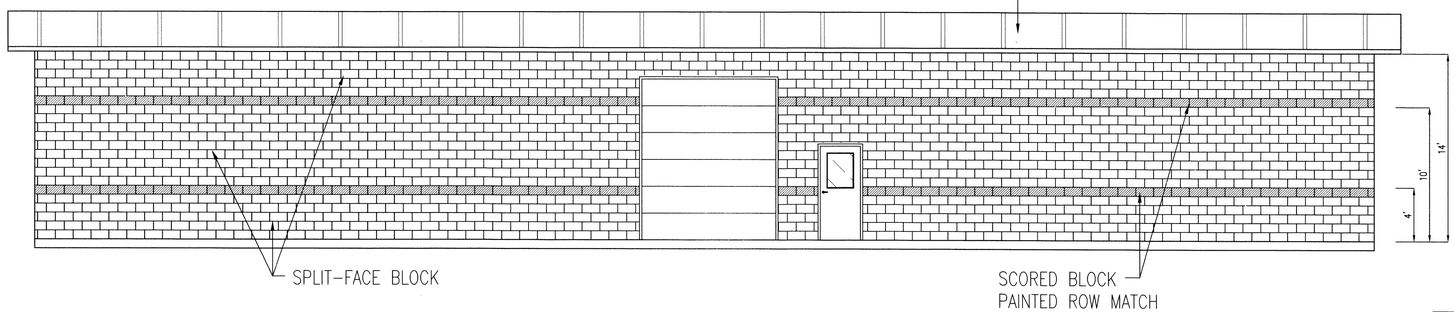


EAST ELEVATION

BLOCK WALLS TO HAVE #5 REBARS 32" O.C. w/DURAWALL @ 16" O.C., (2) BOND BEAMS, ABOVE WINDOWS AND TOP COURSE, FOAM CORES, SEAL AND PAINT BLOCK



WEST ELEVATION



SOUTH ELEVATION

NOTES:

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GENERAL NOTES:
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2. ALL CONTRACTORS ARE TO CLEAN UP JOB SITE PER THEIR WORK.
3. ALL CONTRACTORS ARE TO VERIFY ALL APPLICABLE LOCAL CODES OR ORDINANCES PER THEIR WORK.
4. NOTIFY OWNER OF ANY CHANGES REQUIRED PER THESE GENERAL NOTES.
5. OWNER SHALL APPROVE ALL SHOP DRAWINGS REQUIRED OF THIS PROJECT.
6. ALL INTERIOR FINISHES AND MATERIALS SELECTED BY OWNER AND BUILDER.
7. ALL ELECTRICAL AND HVAC LOCATIONS BY OWNER AND BUILDER.
8. ALL TRUSSES AND LAMINATED BEAMS TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
9. ALL PLUMBING FIXTURES AND TRIM SELECTED BY OWNER/SUPPLIER.
10. WINDOW SELECTION BY OWNER AND BUILDER.
11. PROVIDE SMOKE DETECTORS AND FIRE EXTINGUISHERS AS REQUIRED BY STATE AND LOCAL CODES.
12. DOOR SELECTION BY OWNER AND BUILDER (SIZE AND TYPE).

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DATE	SYMBOL	REVISION
6/10/19		REVISED NOTES

CHECKED: TN
CERT.: -
SCALE: 3/16"=1'
DRAWN: RC
SEAL

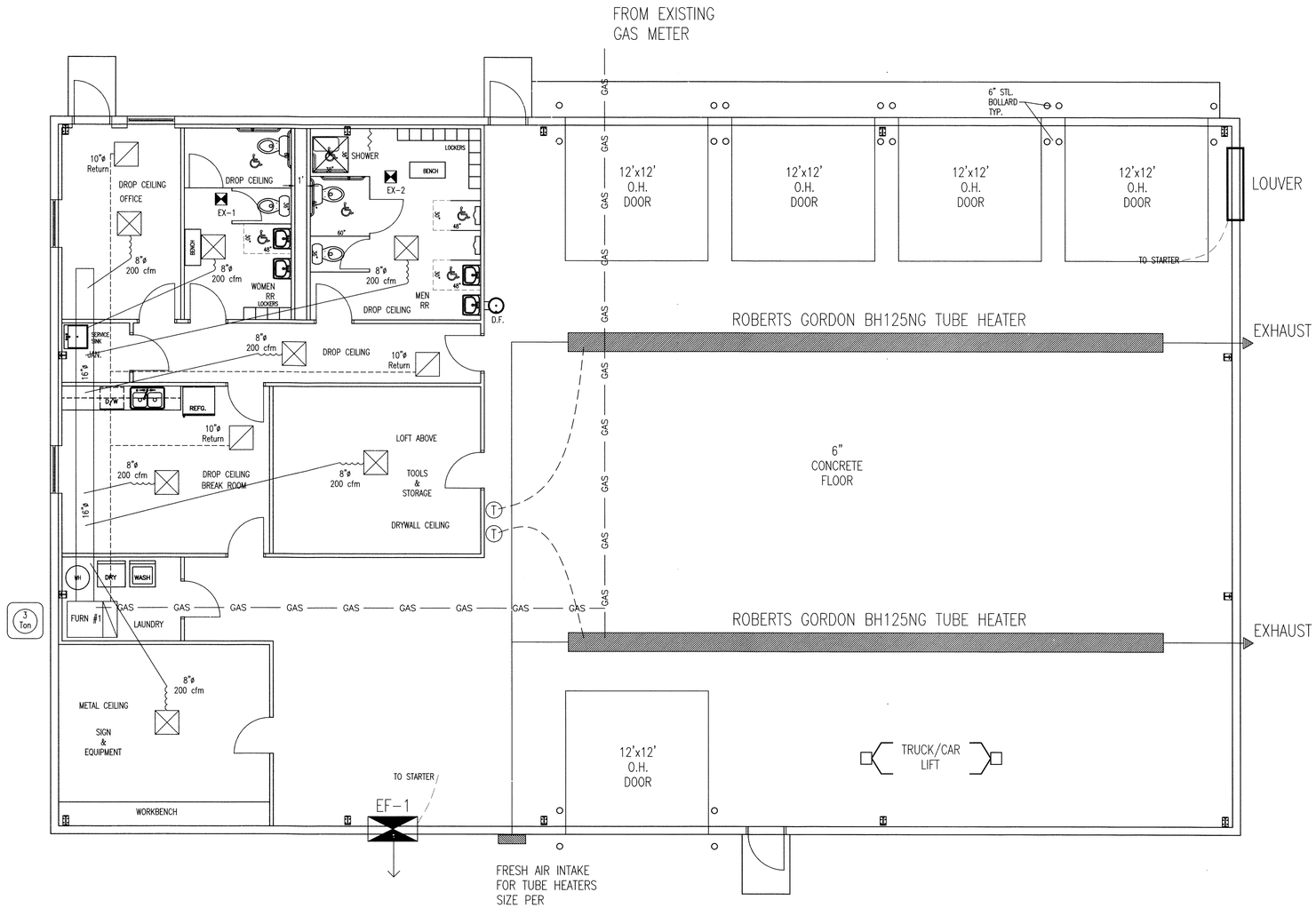
SHEET NAME: PROPOSED EXTERIOR ELEVATIONS

PROJECT NAME: SHELBYVILLE PARKS & REC. DEPT.
MAINTENANCE BUILDING, BLUE RIVER PARK
1021 MORRIS AVE., SHELBYVILLE, IN 46176

DATE: MAY 13, 2019

PROJECT NO.: 18015

SHEET NO.
A200



PROPOSED MECHANICAL PLAN

NOTES:

ALL WORK SHALL BE PREFORMED BY QUALIFIED PERSONNEL PER THEIR TRADE WITH QUALITY WORKMANSHIP AND PER CODES THAT APPLY THAT MAY OR MAY NOT BE SHOWN ON PLANS.

MECHANICAL LEGEND:

FURN #1 — UNIT 1–
YORK–TM9V100C20MP11–96.5%–2 STAGE–VARI. SPEED FURNACE
YORK–YCE36B21S–14.5 SEER –A/C UNIT
YORK–CA36BBCA1 COIL CASE w/TXV
YORK–CRANK CASE HEATER
HONEYWELL– TH6220WF2006/U THERMOSTAT
HONEYWELL– F100F1625 20x25/U MEDIA FILTER

DIFFUSER

RETURN AIR

EX–# — EXHAUST FAN, RESTROOM, 75 CFM, VENT TO OUTSIDE

2– BH–125NG 40FT TUBE HEATERS
2– THERMOSTAT LINE VOLTAGE AND DROPS (POWER BY EC)

1– 24" EXHUST FAN 240 V 1PH (POWER BY EC) (OPENINGS BT GC)

1– 48" X 48" LOUVER 120V TIED TO EXHAUST FAN (POWER BY EC)
(OPENINGS BY GC)

GAS — 1" GAS LINE

FOR BID PURPOSES ONLY

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5. OWNER SHALL APPROVE ALL SHOP DRAWINGS REQUIRED OF THIS PROJECT.
6. ALL INTERIOR FINISHES AND MATERIALS SELECTED BY OWNER AND BUILDER.
7. ALL ELECTRICAL AND MECHANICAL LOCATIONS BY OWNER AND BUILDER.
8. ALL EQUIPMENT AND APPLIANCES SHALL BE CERTIFIED BY MANUFACTURER/SUPPLIER.
9. ALL STEEL TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
10. WINDOW SELECTION BY OWNER AND BUILDER.
11. PROVIDE SMOKE DETECTORS AND FIRE EXTINGUISHERS AS REQUIRED BY STATE AND LOCAL CODES.
12. DOOR SELECTION BY OWNER AND BUILDER (SIZE AND TYPE).

NORTH

SCALE: 3/16" = 1'–0"

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REVISION	DATE

SYMBOL	CHECKED	SCALE
	TN	3/16"=1
	CERT.	DRAWN
	-	RC

SEAL

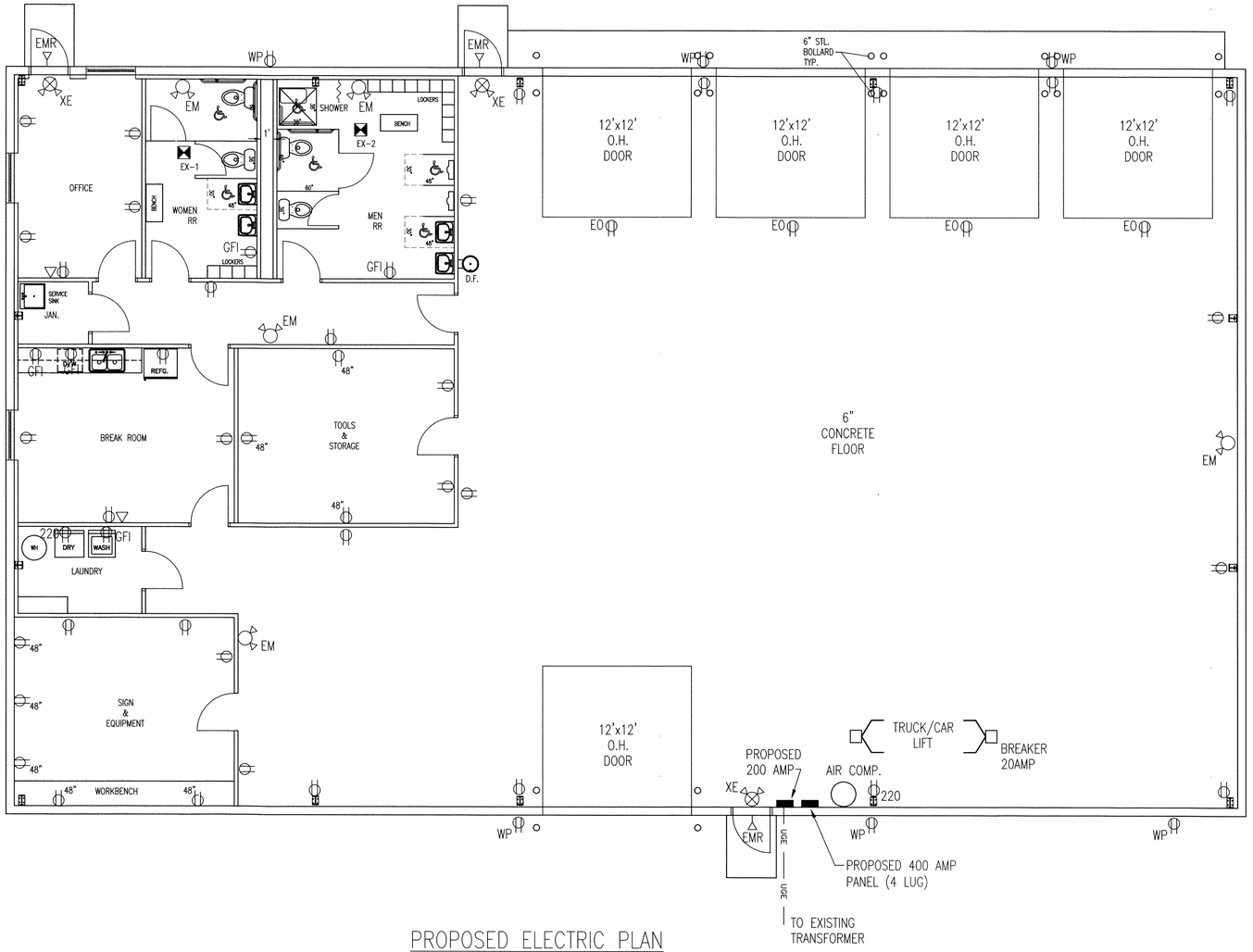
SHEET NAME
PROPOSED MECHANICAL PLAN

PROJECT NAME
SHELBYVILLE PARKS & REC. DEPT.
MAINTENANCE BUILDING, BLUE RIVER PARK
1021 MORRIS AVE., SHELBYVILLE, IN 46176

DATE: MAY 13, 2019

PROJECT NO.: 18015

SHEET NO.
M100



PROPOSED ELECTRIC PLAN

NORTH

SCALE: 3/16" = 1'-0"

LEGEND

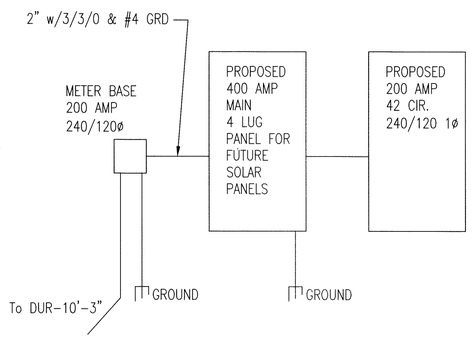
- $ — SINGLE POLE SWITCH
- $3 — 3-WAY SWITCH
- ⏚ — DUPLEX RECEPTACLE
- GFI ⏚ — GROUND FAULT INTERCEPTION
- WP ⏚ — WEATHERPROOF GFI RECEPTACLE
- EO ⏚ — OVERHEAD DOOR RECEPTACLE
- △ — DATA OPENINGS ONLY (WIRES, PLATES, JACKS BY OTHERS)
- A — COLUMBIA– CFP24–5540 FLAT PANEL LED
- B — ILP HHB 135W LED UNV 50FRL HIGH BAY FIXTURES
- XE — EXIT LIGHT W/BATTERY BACK UP W/EMERGENCY HEADS AND REMOTE CAPABILITY
- EMR △ — SINGLE WEATHERPROOF REMOTE HEAD POWERED BY EXIT EMERGENCY
- EM — EMERGENCY LIGHT W/BATTERY BACK UP
- L1 WALL PAK □ — ILP WPCM 75W LED UNV 40K WALL PACKS
- EX-# — EXHAUST FAN–RESTROOM–75 CFM VENT TO OUTSIDE

NOTES:

ALL WORK SHALL BE PREFORMED BY QUALIFIED PERSONNEL PER THEIR TRADE WITH QUALITY WORKMANSHIP AND PER CODES THAT APPLY THAT MAY OR MAY NOT BE SHOWN ON PLANS.

GENERAL ELECTRICAL NOTES:

1. ALL MATERIAL AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE CODES, SPECIFICATIONS, LOCAL ORDINANCES AND INDUSTRY STANDARDS.
2. NATIONAL ELECTRICAL CODE (NEC) AND INDUSTRY INSTALLATION STANDARDS SHALL BE CONSIDERED MINIMUM STANDARDS.
3. ALL CONDUIT AND BOXES SHALL BE PROPERLY SUPPORTED.
4. ALL GRS OR IMC CONDUITS ENTERING BOXES OR ENCLOSURES WITHOUT HUBS SHALL BE EQUIPPED WITH BUSHINGS AND SHALL HAVE LOCKNUTS INSIDE AND OUT OF ENCLOSURE.
5. ALL NECESSARY HANGERS AND/OR MOUNTING ACCESSORIES FOR LIGHTING FIXTURES SHALL BE PROVIDED BY E.C.
6. VERIFY ALL DIMENSIONS FROM ARCHITECTURAL PLANS.
7. DIMENSIONS SHOWN ON OUTLET BOXES SHALL BE FROM THE FINISHED FLOOR TO THE CENTER OF THE BOX.
8. COORDINATE LOCATION OF LIGHTS IN ROOMS CONTAINING EXPOSED DUCTWORK AND PIPING BY OTHER TRADES.
9. VERIFY ELECTRICAL CHARACTERISTICS AND ROUGH-IN REQUIREMENTS FOR ALL EQUIPMENT FURNISHED BY OTHERS AND CONNECTED BY E.C.
10. COORDINATE LOCATION OF MOTOR STARTERS, DISCONNECTS, PANELBOARDS, ETC. IN ROOMS CONTAINING EXPOSED DUCTWORK AND PIPING BY OTHER TRADES.
11. VERIFY HEIGHT AND LOCATION OF OUTLETS BEHIND WATER COOLERS WITH OTHER TRADES, SO THAT OUTLETS ARE CONCEALED.
12. FEFER TO ARCHITECTURAL PLANS FOR DETAILS AND NOTES CONCERNING ITEMS INVOLVING ELECTRICAL WORK.
13. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR CEILING TYPES AND FIXTURE LOCATIONS. ANY CONFLICTS BETWEEN ELECTRICAL PLANS AND REFLECTED CEILING PLANS SHALL BE REPORTED AND RESOLVED PRIOR TO ROUGH-IN.
14. REFER TO ARCHITECTURAL PLANS FOR FINAL DOOR SWING AND LIGHT SWITCH LOCATIONS. ANY CONFLICT BETWEEN ELECTRICAL PLANS AND ARCHITECTURAL PLANS SHALL BE REPORTED AND RESOLVED PRIOR TO ROUGH-IN.
15. REFER TO ARCHITECTURAL PLANS FOR ELEVATIONS OF CASEWORK AND/OR BUILT-IN SHELVING UNITS TO COORDINATE OUTLET ELEVATIONS. ANY CONFLICT BETWEEN ELECTRICAL PLANS AND ARCHITECTURAL PLANS SHALL BE REPORTED AND RESOLVED PRIOR TO ROUGH-IN.
16. ALL FEEDERS AND BRANCH CIRCUITS RAN UNDERGROUND IN PVC CONDUIT SHALL INCLUDE A GROUND CONDUCTOR.
17. ALL DISCONNECT SWITCHES LOCATED OUTDOORS SHALL BE NEMA 3R (UNO)
18. ALL DISCONNECT SWITCHES LOCATED INDOORS SHALL BE NEMA 1, U.N.O.
19. ALL DISCONNECT SWITCHES LOCATED IN CORROSIVE ATMOSPHERES SHALL BE NEMA 4X (U.N.O.).
20. ANY 110V CIRCUITS OVER 120FT USE #10 WIRE.
21. ALL WIRING IN EMT (EXPLODED) AND MC CABLE CONCEALED.



RISER DIAGRAM

GENERAL NOTES:
1. ALL CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PER THEIR WORK.
2. ALL CONTRACTORS ARE TO CLEAN UP JOB SITE PER THEIR WORK.
3. ALL CONTRACTORS ARE TO VERIFY ALL APPLICABLE LOCAL CODES OR ORDINANCES PER THEIR WORK.
4. NOTIFY OWNER OF ANY CHANGES REQUIRED PER THESE GENERAL NOTES.
5. OWNER SHALL APPROVE ALL SHOP DRAWINGS REQUIRED OF THIS PROJECT.
6. ALL INTERIOR WALL PAINT COLORS TO BE SELECTED BY OWNER AND BUILDER.
7. ALL EXTERIOR MISC PAINT LOCATIONS TO BE SELECTED BY OWNER AND BUILDER.
8. ALL TRUSSES AND LAMINATED BEAMS TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
9. ALL STEEL TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
10. WINDOW SELECTION BY OWNER AND BUILDER.
11. PROVIDE SMOKE DETECTORS AND FIRE EXTINGUISHERS AS REQUIRED BY STATE AND LOCAL CODES.
12. DOOR SELECTION BY OWNER AND BUILDER (SIZE AND TYPE).

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REVISION	SYMBOL	DATE
REVISED PANEL		6/10/19

CHECKED TN | CERT. - | SCALE 3/16"=1' | DRAWN RC

SEAL

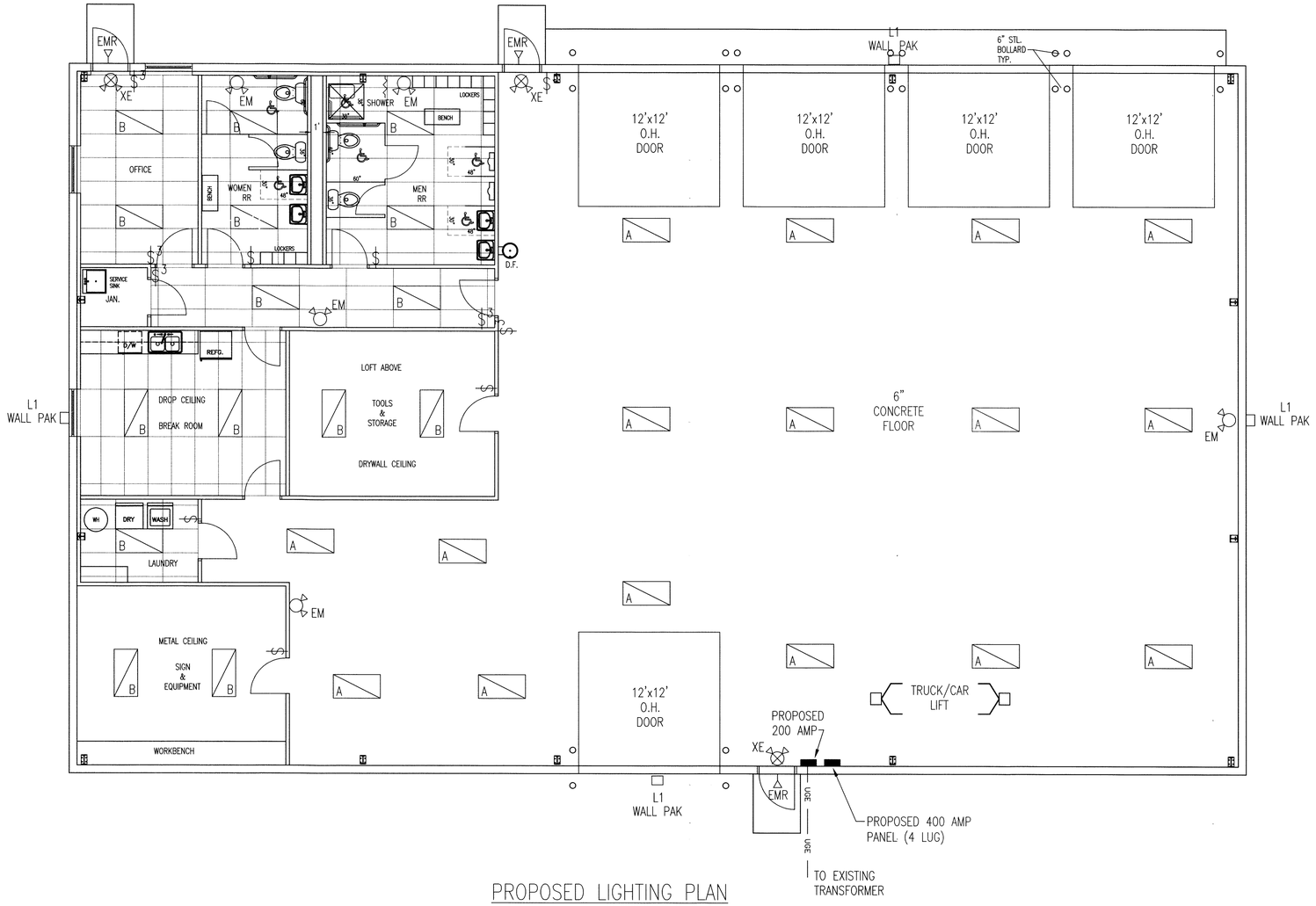
SHEET NAME: PROPOSED ELECTRIC PLAN

PROJECT NAME: SHELBYVILLE PARKS & REC. DEPT.
MAINTENANCE BUILDING, BLUE RIVER PARK
1021 MORRIS AVE., SHELBYVILLE, IN 46176

DATE: MAY 13, 2019

PROJECT NO.: 18015

SHEET NO.
E100



PROPOSED LIGHTING PLAN

NORTH

SCALE: 3/16" = 1'-0"

LEGEND

- $ SINGLE POLE SWITCH
- $3 3-WAY SWITCH
- DUPLEX RECEPTACLE
- GFI GROUND FAULT INTERCEPTION
- WP WEATHERPROOF GFI RECEPTACLE
- EO OVERHEAD DOOR RECEPTACLE
- △ DATA OPENINGS ONLY (WIRES, PLATES, JACKS BY OTHERS)
- A COLUMBIA– CFP24–5540 FLAT PANEL LED
- B ILP HHB 135W LED UNV 50FRL HIGH BAY FIXTURES
- XE EXIT LIGHT W/BATTERY BACK UP W/EMERGENCY HEADS AND REMOTE CAPABILITY
- EMR SINGLE WEATHERPROOF REMOTE HEAD POWERED BY EXIT EMERGENCY
- EM EMERGENCY LIGHT W/BATTERY BACK UP
- L1 WALL PAK ILP WPCM 75W LED UNV 40K WALL PACKS
- EX–# EXHAUST FAN–RESTROOM–75 CFM VENT TO OUTSIDE

NOTES:

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FOR BID PURPOSES ONLY

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7. ALL ELECTRICAL AND MECHANICAL EQUIPMENT SELECTED BY OWNER AND BUILDER.
8. ALL ELECTRICAL AND MECHANICAL DEVICES TO BE IDENTIFIED BY MANUFACTURER/SUPPLIER.
9. ALL STEEL TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
10. WINDOW SELECTION BY OWNER AND BUILDER.
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REVISION	SYMBOL	DATE
REVISED PANEL		6/10/19

CHECKED: TN | CERT.: - | SCALE: 3/16"=1' | DRAWN: RC

SEAL

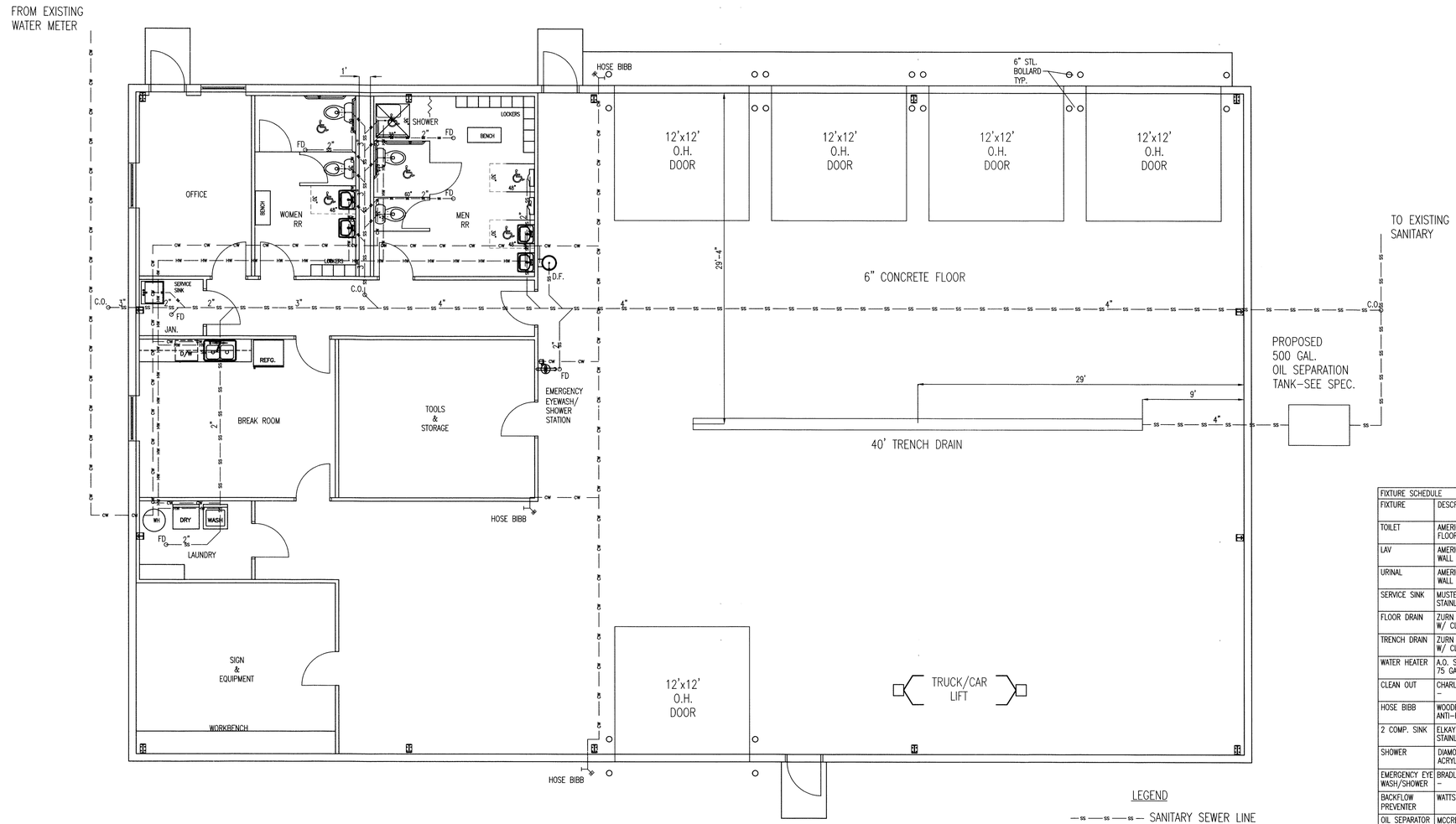
SHEET NAME: PROPOSED LIGHTING PLAN

PROJECT NAME: SHELBYVILLE PARKS & REC. DEPT.
MAINTENANCE BUILDING, BLUE RIVER PARK
1021 MORRIS AVE., SHELBYVILLE, IN 46176

DATE: MAY 13, 2019

PROJECT NO.: 18015

SHEET NO.: E101

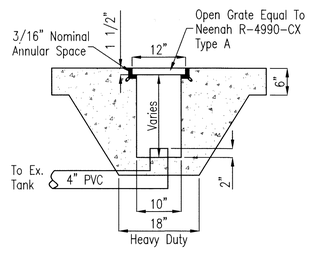


PROPOSED PLUMBING PLAN

LEGEND

—ss—ss—ss— SANITARY SEWER LINE
—cw—cw— COLD WATER LINE
—hw—hw— HOT WATER LINE

FIXTURE SCHEDULE					
FIXTURE	DESCRIPTION	SUPPLY		REMARKS:	QTY.
		HOT	COLD		
TOILET	AMERICAN STANDARD OR EQUAL FLOOR MOUNT, TANK TYPE		3/4	(2) ADA	4
LAV	AMERICAN STANDARD OR EQUAL WALL HUNG, SINGLE FAUCET	1/2	1/2	(2) ADA	4
URINAL	AMERICAN STANDARD OR EQUAL WALL HUNG, SLOAN VALVE		1/2	(1) ADA	2
SERVICE SINK	MUSTEE OR EQUAL STAINLESS STEEL, FAUCET	1/2	1/2		1
FLOOR DRAIN	ZURN OR EQUAL W/ CLEAN OUT			(6)-2", (1)-3"	7
TRENCH DRAIN	ZURN OR EQUAL W/ CLEAN OUT			(1) 40' LENGTH	1
WATER HEATER	A.O. SMITH OR EQUAL 75 GAL., GAS,	1/2	1/2		1
CLEAN OUT	CHARLOTTE OR EQUAL –				2
HOSE BIBB	WOODFORD OR EQUAL ANTI-FREEZE, ANTI-SYPHON		1/2		3
2 COMP. SINK	ELKAY OR EQUAL STAINLESS STEEL, FAUCET	1/2	1/2	DELTA 400 FAUCET, BADGER V DISPOSAL	1
SHOWER	DIAMOND 38"x38" OR EQUAL ACRYLUX, FAUCET	1/2	1/2	ADA, 38"x38"	1
EMERGENCY EYE WASH/SHOWER	BRADLEY OR EQUAL –	1/2	1/2	S19314 SERIES	1
BACKFLOW PREVENTER	WATTS, MODEL 009			1 1/4", 18" A.F.F.	1
OIL SEPARATOR	MCCREARY CONCRETE PRODUCTS 500 GAL. OIL INTERCEPTOR			MCCREARY CONCRETE PRODUCTS, INC. RUSHVILLE, INDIANA 765-932-3058	1
TOILET PARTITIONS	AMERICAN SANITARY PARTITION CORP. OR EQUAL			TYPE: BE-FS	–
DRINKING FOUNTAINS	ELKAY OR EQUAL –		1/2	ADA, EZS8, WALL MOUNT	1
LOCKERS	BY OWNER				



Trench Detail
No Scale

NOTES:

ALL WORK SHALL BE PREFORMED BY QUALIFIED PERSONNEL PER THEIR TRADE WITH QUALITY WORKMANSHIP AND PER CODES THAT APPLY THAT MAY OR MAY NOT BE SHOWN ON PLANS.

ANY WALL WITHIN 2' OF THE WATER CLOSET SHALL BE COVERED WITH TOUGH ROCK MOLD GUARD GYPSUM BOARD (GREEN BOARD) AND HAVE A FINISH.

USE SCH 40 PVC FOR WASTE PLUMBING LINE.

USE WIRSBO PEX FOR WATER LINE.

GENERAL NOTES:
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6. ALL INTERIOR FINISHES AND MATERIALS SELECTED BY OWNER AND BUILDER.
7. ALL ROOF TRUSSES TO BE DESIGNED BY MANUFACTURER/SUPPLIER.
8. ALL TRUSSES AND LAMINATED BEAMS TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
9. ALL STEEL TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
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NORTH

SCALE: 3/16" = 1'-0"

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REVISION	DATE
REVISED SCHEDULE, NOTES	6/10/19

SYMBOL	CHECKED	SCALE
	TN	3/16"=1
	CERT.	DRAWN
	-	RC

SEAL

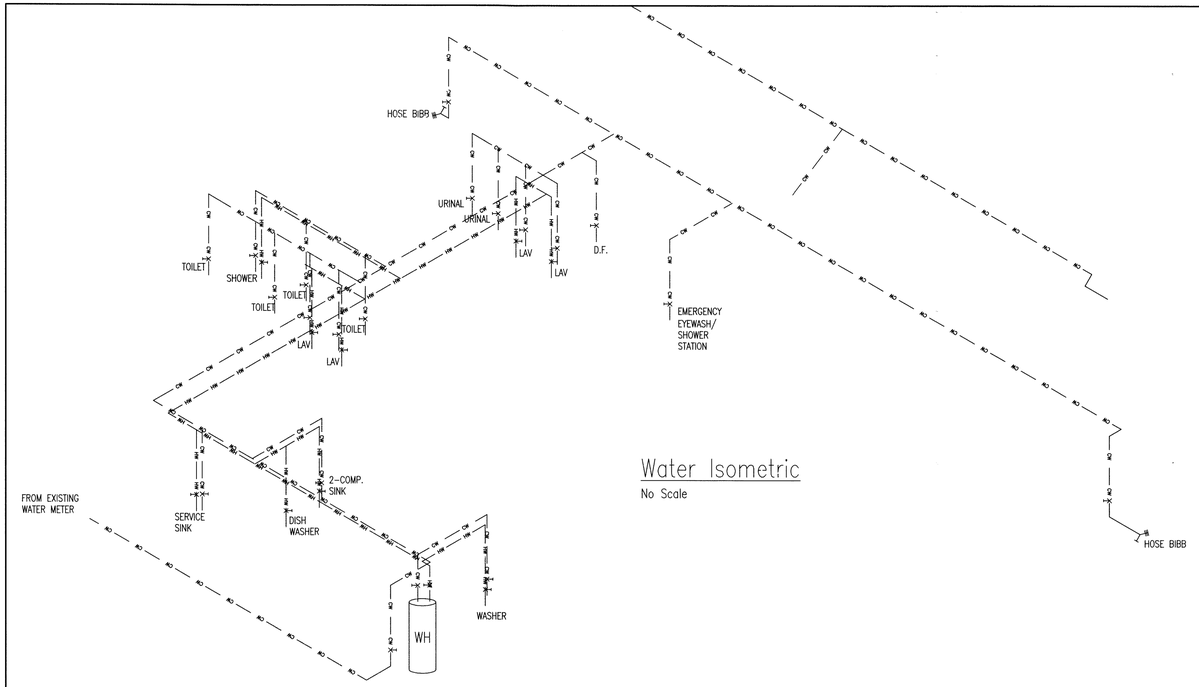
SHEET NAME
PROPOSED PLUMBING PLAN

PROJECT NAME
SHELBYVILLE PARKS & REC. DEPT.
MAINTENANCE BUILDING, BLUE RIVER PARK
1021 MORRIS AVE., SHELBYVILLE, IN 46176

DATE: MAY 13, 2019

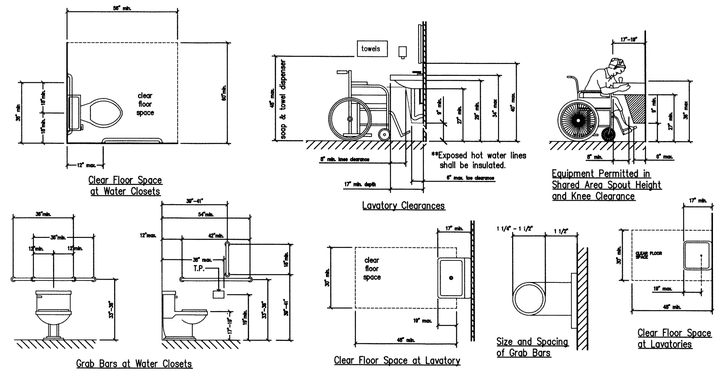
PROJECT NO.: 18015

SHEET NO.
P100



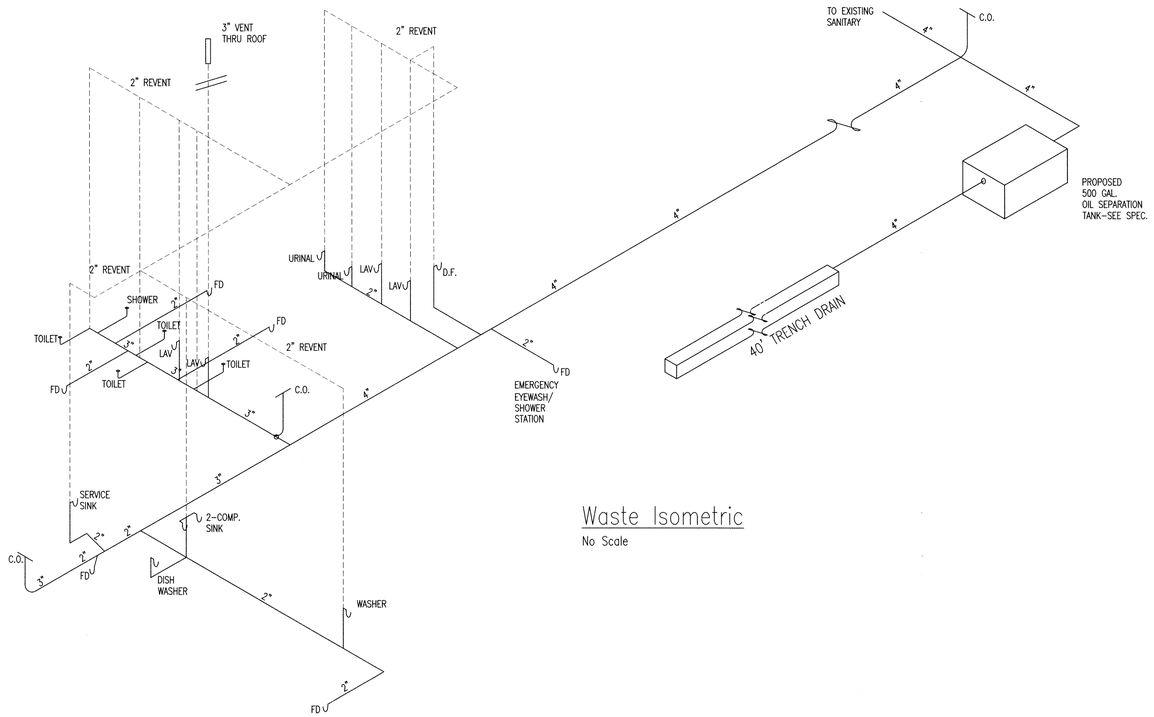
Water Isometric

No Scale



ADA Details

No Scale



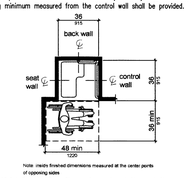
Waste Isometric

No Scale

608 Shower Compartments

608.2 Size and Clearances for Shower Compartments. Shower compartments shall have sizes and clearances complying with 608.2.

608.2.1 Transfer Type Shower Compartments. Transfer type shower compartments shall be 36 inches (915 mm) by 36 inches (915 mm) clear inside dimensions measured at the center points of opposing sides and shall have a 36 inch (915 mm) wide minimum entry on the face of the shower compartment. Clearance of 36 inches (915 mm) wide minimum by 48 inches (1220 mm) long minimum measured from the control wall shall be provided.



Note: Inside finished dimensions measured at the center points of opposing sides

Figure 608.2.1 Transfer Type Shower Compartment Size and Clearance

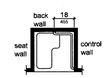


Figure 608.3.1 Grab Bars for Transfer Type Showers

608.3.2 Standard Roll-In Type Shower Compartments. Where a seat is provided in standard roll-in type shower compartments, grab bars shall be provided on the back wall and the side wall opposite the seat. Grab bars shall not be provided above the seat. Where a seat is not provided in standard roll-in type shower compartments, grab bars shall be provided on three walls. Grab bars shall be installed 6 inches (150 mm) maximum from adjacent walls.

608.5.1 Transfer Type Shower Compartments. In transfer type shower compartments, the controls, faucets, and shower spray unit shall be installed on the side wall opposite the seat 38 inches (965 mm) minimum and 48 inches (1220 mm) maximum above the shower floor and shall be located on the control wall 15 inches (380 mm) maximum from the centerline of the seat toward the shower opening.

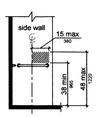


Figure 608.5.1 Transfer Type Shower Compartment Control Location

ADA SHOWER DETAIL

NTS

609 Grab Bars

609.1 General. Grab bars in toilet facilities and bathing facilities shall comply with 609.

609.2 Cross Section. Grab bars shall have a cross section complying with 609.2.1 or 609.2.2.

609.2.1 Circular Cross Section. Grab bars with circular cross sections shall have an outside diameter of 1 1/4 inches (32 mm) minimum and 2 inches (51 mm) maximum.

609.2.2 Non-Circular Cross Section. Grab bars with non-circular cross sections shall have a cross-section dimension of 2 inches (51 mm) maximum and a perimeter dimension of 4 inches (100 mm) minimum and 4.8 inches (120 mm) maximum.

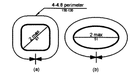


Figure 609.2.2 Grab Bar Non-Circular Cross Section

609.3 Spacing. The space between the wall and the grab bar shall be 1 1/2 inches (38 mm). The space between the grab bar and projecting objects below and at the ends shall be 1 1/2 inches (38 mm) minimum. The space between the grab bar and projecting objects above shall be 12 inches (305 mm) minimum.

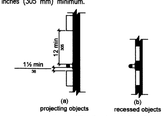


Figure 609.3 Spacing of Grab Bars

609.4 Position of Grab Bars. Grab bars shall be installed in a horizontal position, 33 inches (840 mm) minimum and 36 inches (915 mm) maximum above the finish floor measured to the top of the gripping surface, except that at water closets for children's use complying with 604.9, grab bars shall be installed in a horizontal position 18 inches (455 mm) minimum and 27 inches (685 mm) maximum above the finish floor measured to the top of the gripping surface. The height of the lower grab bar on the back wall of a bathtub shall comply with 607.4.1.1 or 607.4.2.1.

609.5 Surface Hazards. Grab bars and any wall or other surfaces adjacent to grab bars shall be free of sharp or abrasive elements and shall have rounded edges.

609.6 Fittings. Grab bars shall not rotate within their fittings.

609.7 Installation. Grab bars shall be installed in any manner that provides a gripping surface at the specified locations and that does not obstruct the required clear floor space.

609.8 Structural Strength. Allowable stresses shall not be exceeded for materials used when a vertical or horizontal force of 250 pounds (1112 N) is applied at any point on the grab bar, fastener, mounting device, or supporting structure.

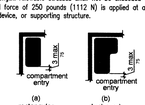


Figure 610.3 Extent of Seat

610.3 Shower Compartment Seats. Where a seat is provided in a standard roll-in shower compartment, it shall be a folding type, shall be installed on the side wall adjacent to the controls, and shall extend from the back wall to a point within 3 inches (75 mm) of the compartment entry. Where a seat is provided in an alternate roll-in type shower compartment, it shall be a folding type, shall be installed on the front wall opposite the back wall, and shall extend from the adjacent side wall to a point within 3 inches (75 mm) of the compartment entry. In transfer-type showers, the seat shall extend from the back wall to a point within 3 inches (75 mm) of the compartment entry. The top of the seat shall be 17 inches (430 mm) minimum and 19 inches (485 mm) maximum above the bathroom finish floor. Seats shall comply with 610.3.1 or 610.3.2.

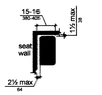


Figure 610.3.1 Rectangular Shower Seat

610.3.1 Rectangular Seats. The rear edge of a rectangular seat shall be 2 1/2 inches (64 mm) maximum and the front edge 15 inches (380 mm) minimum and 16 inches (405 mm) maximum from the seat wall. The side edge of the seat shall be 1 1/2 inches (38 mm) maximum from the adjacent wall.

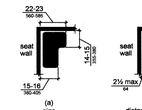


Figure 610.3.2 L-Shaped Shower Seat

610.3.2 L-Shaped Seats. The rear edge of an L-shaped seat shall be 2 1/2 inches (64 mm) maximum and the front edge 15 inches (380 mm) minimum and 16 inches (405 mm) maximum from the seat wall. The rear edge of the "L" portion of the seat shall be 1 1/2 inches (38 mm) maximum from the wall and the front edge shall be 14 inches (355 mm) minimum and 15 inches (380 mm) maximum from the wall. The end of the "L" shall be 22 inches (560 mm) minimum and 23 inches maximum (585 mm) from the main seat wall.

610.4 Structural Strength. Allowable stresses shall not be exceeded for materials used when a vertical or horizontal force of 250 pounds (1112 N) is applied at any point on the seat, fastener, mounting device, or supporting structure.

NORTH

SCALE: 3/16" = 1'-0"

SPACE and SITES, LLC
ENGINEERING, BUILDING DESIGN
6 East Taylor St. Shelbyville, IN 46176
PH 317.392.4444 FAX 317.392.0709
www.spaceandsites.com
e-mail: spaceandsites@sbcglobal.net

FOR BID PURPOSES ONLY

SHELBY COUNTY BUILDERS ASSOCIATION

GENERAL NOTES:
1. ALL CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PER THEIR WORK.
2. ALL CONTRACTORS ARE TO CLEAN UP JOB SITE PER THEIR WORK.
3. ALL CONTRACTORS ARE TO VERIFY ALL APPLICABLE LOCAL CODES OR ORDINANCES PER THEIR WORK.
4. NOTIFY OWNER OF ANY CHANGES REQUIRED PER THESE GENERAL NOTES.
5. OWNER SHALL APPROVE ALL SHOP DRAWINGS REQUIRED OF THIS PROJECT.
6. ALL INTERIOR FINISHES ARE MATERIALS SELECTED BY OWNER AND BUILDER.
7. ALL WOOD TRUSSES TO BE ENGINEERED BY MANUFACTURER AND SEALED.
8. ALL TRUSSES AND LAMINATED BEAMS TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
9. ALL STEEL TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
10. WINDOW SELECTION BY OWNER AND BUILDER.
11. PROVIDE SMOKE DETECTORS AND FIRE EXTINGUISHERS AS REQUIRED BY STATE AND LOCAL CODES.
12. DOOR SELECTION BY OWNER AND BUILDER (SIZE AND TYPE).

REVISION	DATE

SYMBOL	
CHECKED	TN
CERT.	-
SCALE	3/16" = 1'
DRAWN	RC

SEAL

SHEET NAME
PROPOSED PLUMBING DETAILS

PROJECT NAME
SHELBYVILLE PARKS & REC. DEPT.
MAINTENANCE BUILDING, BLUE RIVER PARK
1021 MORRIS AVE., SHELBYVILLE, IN 46176

DATE: MAY 13, 2019

PROJECT NO.: 18015

SHEET NO.
P101