

CITY OF SHELBYVILLE

Adam M Rude
Director



Allan Henderson
Deputy Director

PLAN COMMISSION

MEETING DATE: 2/24/2019

Case Number & Name:	PC 2019-24; Bible Holiness SDP			
Petitioner's Name:	Shelbyville Bible Holiness Church			
Owner's Name:	Shelbyville Bible Holiness Church			
Petitioner's Representative:	Stephen Servies/ John Sproles			
Address of Property:	2819 E Michigan Road			
Subject Property Zoning Classification:	Institutional District (IS)			
Comprehensive Future Land use:	Single Family Residential			
	North	East	South	West
Surrounding Properties' Zoning Classifications:	Business General	Conservation Agricultural District (Shelby County)	Business General	Business General
Surrounding Properties' Comprehensive Future Land Use	Single family Residential	Single Family Residential	Single Family Residential	Single Family Residential
History:	The Shelbyville Bible Holiness Church received site development plan approval for their main facility in 2013. They then applied for development standard variances for building materials in 2014. The church had plans for future expansion on the south-side of the building and wanted to use vinyl siding, in place of brick, to allow for a more cost effective expansion.			
Vicinity Map:				
Action Requested:	Approval of the Bible Holiness Site Development Plan for a Family/Activity Center.			

1. This petition is to construct a Family/Activity Center at the existing Shelbyville Bible Holiness Church site at 2911 East Michigan Road. The proposal includes a 16,800 sq. ft. facility of classrooms and activity space.
2. The Zoning Ordinance (Section 9.05 (F) (5)) requires the Plan Commission make Findings of Fact that the Site Development Plan:
 - a. **Is consistent with the City of Shelbyville Comprehensive Plan;**
The planning staff has determined the subject petition is consistent with the goals of the Comprehensive Plan. The Comprehensive Plan has identified the area as single family residential. A family/activity center is a compatible use with single family residential.
 - b. **Meets the Technical Review Committee's expectations for best practices and quality design;**
The Technical Review Committee reviewed the site development plan against their applicable standards and all comments have been addressed.
 - c. **Satisfies the applicable requirements of Article 2: Zoning Districts;**
The planning staff has determined the subject petition is consistent with the institutional zoning district. The institutional district is intended to provide areas for varying intensities of institutionally owned lands, including places of worship, museums, schools, and State, County, and City government facilities.
 - d. **Satisfies the applicable requirements of Article 5: Development Standards;**
The structure will be classified as an "Accessory Structure" and has been evaluated against the applicable standards for compliance.

Architectural Standards – UDO 5.08

Facade elements – these only apply to primary structures and do not apply to accessory structures.

Roof elements – two design elements are required. This standard is being met.

Building materials – the exterior materials shall be a combination of brick; wood; stone; tinted and textured concrete masonry units; architectural precast concrete, architectural metal; and other products that replicate the appearance and durability of these materials. The use of smooth faced concrete block, un-textured smooth faced tilt-up concrete panels, and standing seam steel panels shall be prohibited. The Zoning Administrator shall approve or deny the use of all composite and alternative materials. The proposed materials of brick and textured split-face concrete meet this standard.

Entrance and Driveway Standards – UDO 5.15

The new facility is utilizing an existing drive.

Landscaping Standards – UDO 5.31 – 5.37

The Unified Development Ordinance requires the following Landscaping Standards:

- **Non Residential Foundation Plantings:** For facades of primary structure that face a street and are over eighty (80) lineal feet in length, one (1) shrub or ornamental tree for every twenty (20) lineal feet of facade frontage on a street. This provision applies to all facades that face a street. Additionally, one (1) shrub

or ornamental tree per forty (40) feet shall be planted along side and rear facades.

- Façade facing East Michigan Road = 120 feet. Required landscaping 6 shrubs. Provided 7 shrubs, and 7 trees.
- Side and Rear Façades = 140 feet. Required landscaping 11 shrubs. Provided 35 shrubs.
- North façade = 47 feet. Required landscaping 2 shrubs. Provided 2 shrubs.
- East (rear) façade = 131 feet. Required landscaping 4 shrubs. Provided 3 shrubs.
- **Non-Residential Yard Plantings:** Lots over 20,000 square feet shall plant two (2) canopy trees, plus one (1) canopy tree for every additional 25,000 square feet of lot size above 40,000 square feet.
 - Lot size 392,000 square feet
 - Required canopy trees = 16. Provided canopy trees = 16.
- **Parking Lot Perimeter Landscaping:** A minimum of one (1) tree shall be provided for every 600 square feet of landscaped area, with a maximum of one (1) tree for every 400 square feet. Plus one (1) shrub for every 100 square feet of landscaped area. This standard is being met.

Setback Standards – UDO 5.5

All front, rear, and side yard setbacks are being met.

e. Satisfies the applicable requirements of Article 6: Design Standards

Article 6: Design Standards provides the standards for all subdivisions and generally apply to the construction of residential planned unit developments with public improvements. Article 6: Design Standards do not apply to this project.

f. Satisfies any other applicable provisions of the Unified Development Ordinance.

At this time, all other applicable provisions of the Unified Development Ordinance appear to be satisfied by the submitted site plans.

STAFF RECOMMENDATION: APPROVAL W/ THE FOLLOWING CONDITIONS

1. An additional shrub is provided along the eastern façade of the building

Site Development Plan: PC 2019-24; Bible Holiness SDP

Findings of Fact by the Shelbyville Plan Commission

Staff Prepared

Motion:

(I) would like to make a motion to approve the site development plan as presented to this body, with the conditions outlined in the planning staff's report, pursuant to the planning staff's report and Findings of Fact.

1. ☐ The site development plan is consistent with the *City of Shelbyville Comprehensive Plan* as outlined in the planning staff's report.
☐ The site development plan is **not** consistent with the *City of Shelbyville Comprehensive Plan*, as outlined in the planning staff's report.
2. ☐ The site development plan meets the Technical Review Committee's expectations for best practices and quality design, as outlined in the planning staff's report, as outlined in the planning staff's report.
☐ The site development plan **does not** meet the Technical Review Committee's expectations for best practices and quality design, as outlined in the planning staff's report, as outlined in the planning staff's report
3. ☐ The site development plan satisfies the applicable requirements of Article 2: *Zoning Districts*, as outlined in the planning staff's report.
☐ The site development plan **does not** satisfy the applicable requirements of Article 2: *Zoning Districts*, as outlined in the planning staff's report.
4. ☐ The site development plan satisfies the applicable requirements of Article 5: *Development Standards*, as outlined in the planning staff's report.
☐ The site development plan **does not** satisfy the applicable requirements of Article 5: *Development Standards*, as outlined in the planning staff's report.
5. ☐ The site development plan satisfies the applicable requirements of Article 6: *Design Standards*, as outlined in the planning staff's report.
☐ The site development plan **does not** satisfy the applicable requirements of Article 6: *Design Standards*, as outlined by the planning staff's report.
6. ☐ This site development plan satisfies all other applicable provision of the *Unified Development Ordinance*, as outlined by the planning staff's report.
☐ The site development plan **does not** satisfy all other applicable provision of the *Unified Development Ordinance*, as outlined in the planning staff's report.

Additional Conditions Imposed by the Shelbyville Plan Commission:

1.

2.

3.

Shelbyville Plan Commission

By: _____

Chairperson / Presiding Officer

Attest: _____

Adam M. Rude, Secretary



SITE DEVELOPMENT PLAN APPLICATION

Shelbyville Planning & Building Department
44 West Washington Street
Shelbyville, IN 46176
P: 317.392.5102

For Office Use Only:

Case #: PC _____ - _____

Hearing Date: _____

Fees Paid: \$ _____

Final Decision: _____

Approved _____ Denied _____

1.

Applicant

Name: Shelbyville Bible Holiness Church
Address: 2819 E Michigan Rd
Shelbyville, IN 46176
Phone Number: 317-398-4370
Fax Number: _____
Email: _____

Property Owners Information (if different than Applicant)

Name: _____
Address: _____
Phone Number: _____
Fax Number: _____
Email: _____

2.

Applicant's Attorney/Representative

Name: John Sproles
Address: 3340 W CR 100 South
New Castle, IN 47362
Phone Number: 765-524-3084
Fax Number: _____
Email: john@sprolescorp.com

Project Engineer

Name: Stephen D. Services
Address: 1725 Northshore Blvd
Anderson, IN 46011
Phone Number: 765-425-4944
Fax Number: _____
Email: services@comcast.net

3. Project Information:

General Location of Property (and address is applicable): 2819 E Michigan Rd.

Current Zoning: IS
Proposed Zoning: _____ Existing Use of Property: Church
Proposed Use: Church & Activity Bldg

4. Attachments

- | | |
|---|--|
| <input type="checkbox"/> Affidavit and Consent of Property Owner (if applicable) | <input type="checkbox"/> Lighting Plan |
| <input checked="" type="checkbox"/> Proof of Ownership (copy of deed, recent property card) | <input type="checkbox"/> Landscaping Plan |
| <input type="checkbox"/> Letter of Intent | <input type="checkbox"/> Drainage Plan and Report (from previous filing) |
| <input type="checkbox"/> Civil Plans as prescribed in UDO 9.05 | <input type="checkbox"/> Dimensioned Site Plan |
| <input type="checkbox"/> Vicinity Map | <input type="checkbox"/> Filing Fee <u>9.45 Ac.</u> |

The undersigned states the above information is true and correct as s/he is informed and believes.

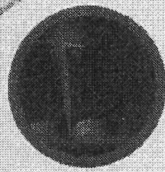
Applicant: [Signature], Trustee Date: 2-3-2020

State of Indiana
County of Shelby SS:

Subscribed and sworn to before me this 3rd day of February
[Signature] Notary Public Lisa A. Frazier Printed

Residing in Shelby County My Commission Expires: 04/19/2025

LISA A FRAZIER
Seal
Notary Public - State of Indiana
Shelby County
My Commission Expires Apr 19, 2025



SHELBYVILLE

BIBLE HOLINESS CHURCH

Investing in the future... now!

December 9, 2019

To whom it may concern:

The Shelbyville Bible Holiness Church, located at 2911 E. Michigan Rd, is intending to construct a new Family Life / Activity Building. The construction would happen on current church property across from the current worship facility.

Thank you for your consideration in this development.

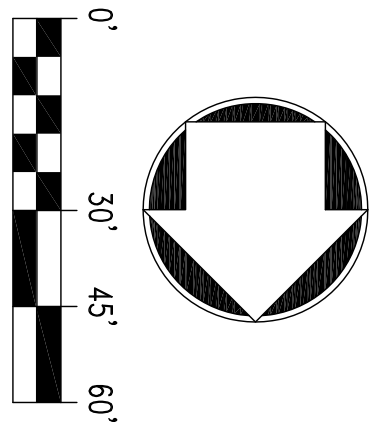
Sincerely,

Joseph U. Smith

Senior Pastor

2911 E. Michigan Rd.
Shelbyville, IN 46176
317.398.4370

www.shelbybhc.com



(M) N 00°05'45" W
(D) N00°05'24"W 906.50'

TBM, Rebor w/cap set
Elev.=794.38'

DEGRADATION
LIMITS

DEGRADATION
LIMITS

Benchmark
Rebor w/cap Set
Elevation=796.08'

APPROXIMATE LOCATION
SEPTIC FIELD EXISTING

DEGRADATION
LIMITS

DEGRADATION
LIMITS

TBM, Rebor w/cap found
Elevation=796.60'

178.4' Between Drives

571.05'

EAST MICHIGAN RD.
S 65°39'39" E

168.5' From Intersection to Drive

EAST BLUE
RIDGE RD.

Church Building
Approximately 11,430 SF
First Floor Elevation = 797.00
See Arch. Plans for Details

TOPOGRAPHY LEGEND

- EXISTING GUARD RAIL
- EXISTING CHAIN LINK FENCE
- EXISTING WOOD-TYPE FENCE
- GAS
- CATV
- IRR
- WTR
- STM
- SAW
- FRBP
- UGT
- UGE
- DHE
- DHT
- DVAD
- TRAF
- EXISTING SECTION LINE
- RDW = RIGHT OF WAY
- EL = PHYSICAL CENTERLINE
- TDS = TOP OF SLOPE
- TDB = TOP OF BANK
- SHOWS EXISTING FLOWLINE WITH DIRECTION
- MAJOR CONTOUR INTERVAL = FIVE (5) FEET
- MINOR CONTOUR INTERVAL = ONE (1) FOOT
- C = CALCULATED BEARING AND DIMENSION
- M = MEASURED BEARING AND DIMENSION
- P = PLATTED BEARING AND DIMENSION
- D = DEEDED BEARING AND DIMENSION

"IT'S THE LAW"
CALL 2 WORKING DAYS BEFORE YOU DIG
1-800-382-5544
CALL TOLL FREE
PER INDIANA STATE LAW IS-69-1991,
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.



HOLEY MOLEY SAYS
"DON'T
DIG
BLIND"

- Monument Found
- Sanitary Sewer Manhole
- 5/8" Rebor w/cap set (ascribed "firm #B0917")
- Utility Pole
- Water Meter
- Light
- Telephone Pedestal
- Storm Manhole
- Benchmark

.557/79

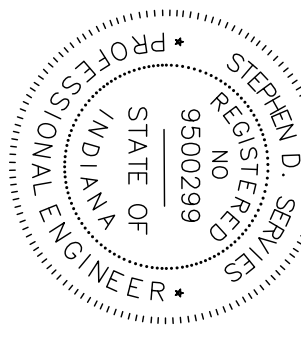
(M) S 00°05'45" E
(D) S00°05'45"E 677.54'

PROPERTY LINE

SERVIES
ENGINEERING & SURVEYING, LLC
725 NORTSHORE BLVD
ANDERSON, INDIANA 46011
(765) 425-4944
servpels@comcast.net

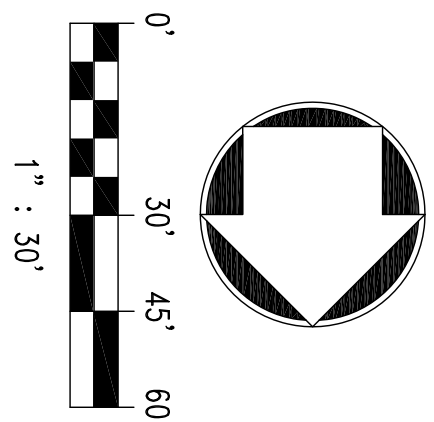
SHELBYVILLE BIBLE HOLINESS
CHURCH
SHELBYVILLE, IN

EXISTING SITE



BY: *Stephen D. Servies*
DATE: 07 FEB 20
SHEET NO.

1A



NOTE:

ALL DRIVING AISLES AND LANES SHALL HAVE HEAVY PAVEMENT SECTION APPLIED

ICW = INTEGRATED CURB AND WALK
SC = STANDING CURB

PROPOSED

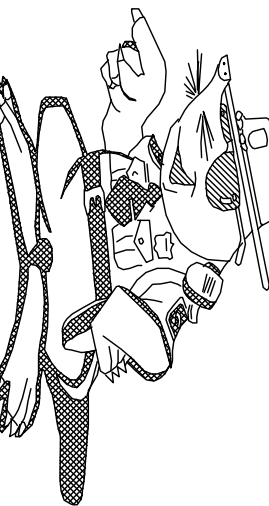
XXX.XX	TOP CURB
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XXX.XX
GUILIER

XXX.XX	GRADE
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HOLEY MOLEY SAYS
“DON’T

BLIND



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IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

TOPOGRAPHY LEGEND

[illegible]

D = DEEDED BEARING AND DIMENSION

role

et (scribed 'Firm #0091')

REVISIONS

No.	DATE
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DATE: 07 FEB 20
SCALE: 1:30
DR BY: BK
CHKD. _____
FILED _____

SERVIES
ENGINEERING & SURVEYING, LLC
725 NORTHSORE BLVD
ANDERSON, INDIANA 46011
(765) 425-4944
servpels@comcast.net

SHELBYVILLE BIBLE HOLINESS
CHURCH
SHELBYVILLE, IN

GRADING AND DRAINAGE PLAN

BY <i>Steph G. Davis</i>
DATE: 07 FEB 20
SHEET NO.

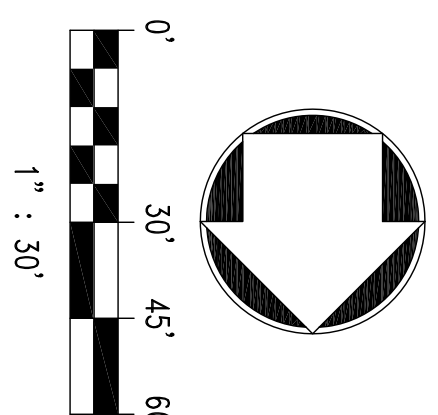
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BLIND



CALL 2 WORKING DAYS BEFORE
1-800-382-1000

WITHOUT NOTIFYING THE U
LOCATION SERVICE TWO (2)
DAYS BEFORE COMMENCIN



No.	DATE	REVISIONS

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CHKD. _____
FILED _____

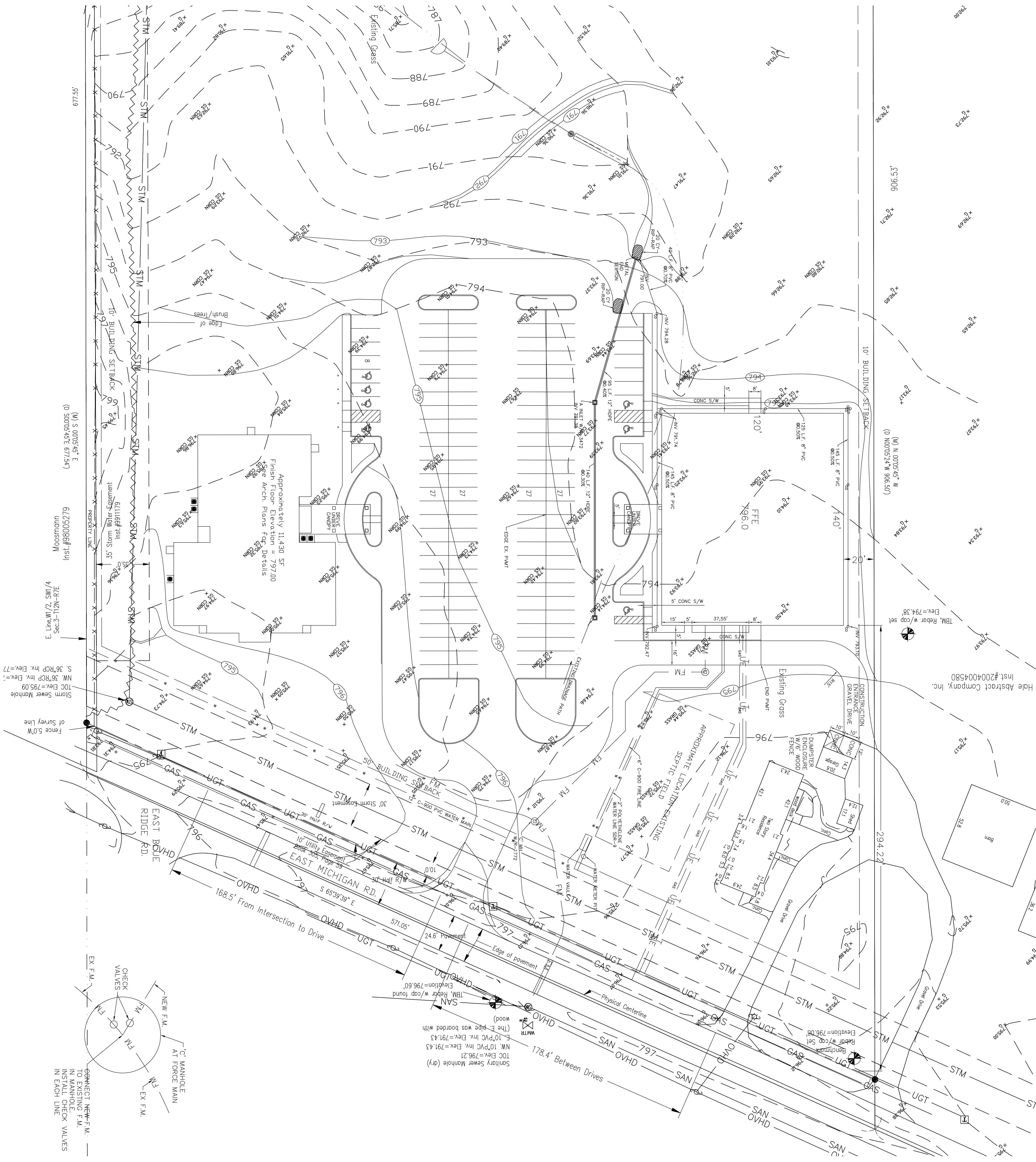
SERVIES
ENGINEERING & SURVEYING, LLC
725 NORTHSORE BLVD
ANDERSON, INDIANA 46011
(765) 425-4944
servpels@comcast.net

SHELBYVILLE BIBLE HOLINESS
CHURCH
SHELBYVILLE, IN

UTILITY PLAN

DATE: 07 FEB 20

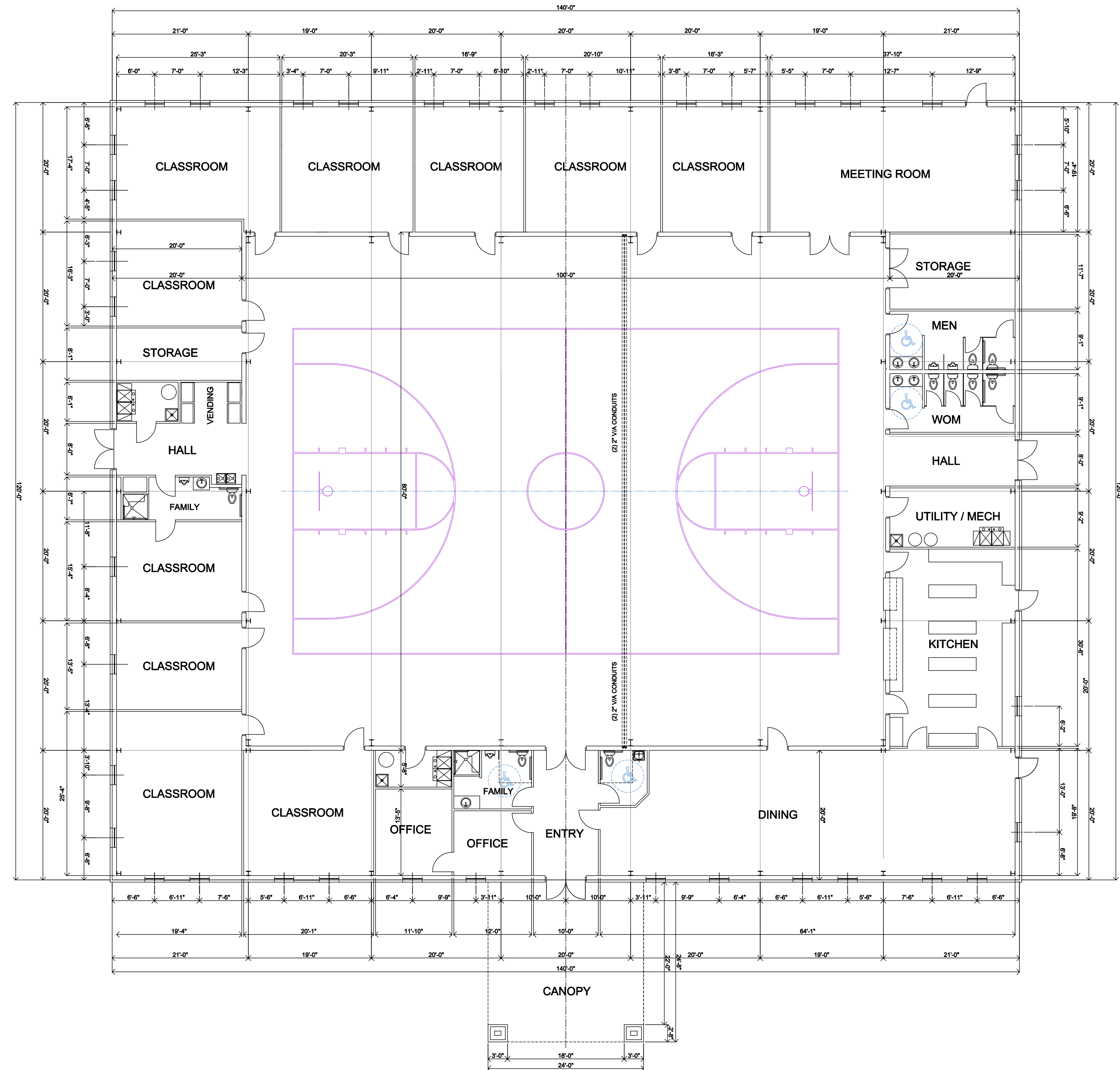
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UTILITY NOTES

1. THE SANITARY SEWER PIPE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL STANDARDS.
2. ROOF DRAINS, FOUNDATION DRAINS AND ALL OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
3. CONSTRUCTION SHALL NOT COMMENCE UNTIL AN IMPROVED LOCATION PERMIT HAS BEEN OBTAINED.
4. ACTIONS, DETAILS, AND/OR REVISIONS TO THE SANITARY SEWER FACILITIES SHALL NOT BE MADE WITHOUT APPROVAL BY THE CITY OF SHELBURNE.
5. WATER CONNECTIONS BETWEEN ANY AND ALL SENSERS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE OUTSIDE OF THE WATER MAIN OR SERVICE AND THE SENNER PIPE. THE LENGTH OF WATER MAIN PIPE SHALL BE EXTENDED AT THE POINT OF THE CROSSING AS NECESSARY TO MAINTAIN THE REQUIRED CLEARANCE. IF THE WATER MAIN IS DEEPER THAN THE SENNER (AS POSSIBLE, IF WATER LINES) CROSS BELOW SANITARY SEWER LINE(S), SENNER LANE MUST BE CONSTRUCTED FROM WATER MAIN MATERIAL FOR THAT PARTICULAR SPAN.
6. WATER SERVICE AND SANITARY LINE SHALL MAINTAIN A MINIMUM OF TEN (10') FEET HORIZONTAL SEPARATION.
7. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROPRIATE LOCATIONS ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE EXISTING UTILITIES AND REMEDIATING ANY DAMAGE TO THEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ANY UNRECORDED UTILITY LOCATIONS OF EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING PARTY-EMT (46) HOURS IN ADVANCE: INDIANA UNDERGROUND CABLE LOCATION 1-800-382-5944.
8. ALL STORM SEWER OR DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL STREET ENTER SPECIFICATIONS AND REQUIREMENTS. SEE SHEETWYLE CONSTRUCTION STANDARDS FOR DETAILS AND SPECIFICATIONS.
9. FED THE DOWNCAST SHALL BE REPAIRED AND/OR TIED INTO THE DRAINAGE SYSTEM.
10. THE SLOPES OF 3:1 OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
11. ALL EXPOSED AREAS DISTURBED DURING CONSTRUCTION SHALL HAVE TEMPORARY SEEDING AND MULCHING.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AT HIS EXPENSE ALL AUTOMOBILE AND EQUIPMENT ACCESS TO AND FROM THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADJACENT LOCATION AND SIZE SHALL BE PER DIRECTION OF AGENCY. SEE LATEST EDITION OF THE INDOT MANUAL ON INTERIOR TRAFFIC CONTROL DEVICES AND INDOT WORK ZONE TRAFFIC CONTROL HANDBOOK. <http://www.in.gov/hdct/2349.htm>
13. SEE TOPOGRAPHIC SURVEY FOR BENCHMARK ELEVATIONS AND LOCATION.
14. INSTALL WATER SERVICE AND SANITARY FORCE MAIN AT A MINIMUM DEPTH OF 42".
15. BED WATER SERVICE AND FORCE MAIN ON MINIMUM OF 4" BELOW AND 12" ABOVE OF INDOT PAVED ROADSTONE.
16. SEE INDIANA-AERIAL WATER STANDARDS FOR INSTALLATION AND CONSTRUCTION OF THE DOMESTIC WATER SERVICE.
17. FOREMAN SHALL LEAD THE FOREMAN SPECIFICATIONS ON SHEET 14 OF THE SHEETWYLE CONSTRUCTION STANDARDS.
18. PRE HYDRANT LOCATION TO BE COMPLETED PRIOR TO INSTALLATION.

- Nonmetal Found
- Starting Steam Machine
- 5/6P Room - Vicos set (Gorrie 17m #0319)
- Utility Pole
- Water Meter
- Light
- Telephone Poles
- Steam Manhole
- Benchmarks



FLOOR PLAN

SCALE: 1/8" = 1'-0"

New

Family Life Center

For

Shelbyville Bible Holiness Church

Shelbyville, Indiana



COMMERCIAL
BUILDING CONTRACTORS
NEW CASTLE, INDIANA



2/12/2020

Sheet Number:

A1

Floor Plan

New
Family
Life
Center

For

Shelbyville
Bible
Holiness
Church

Shelbyville,
Indiana



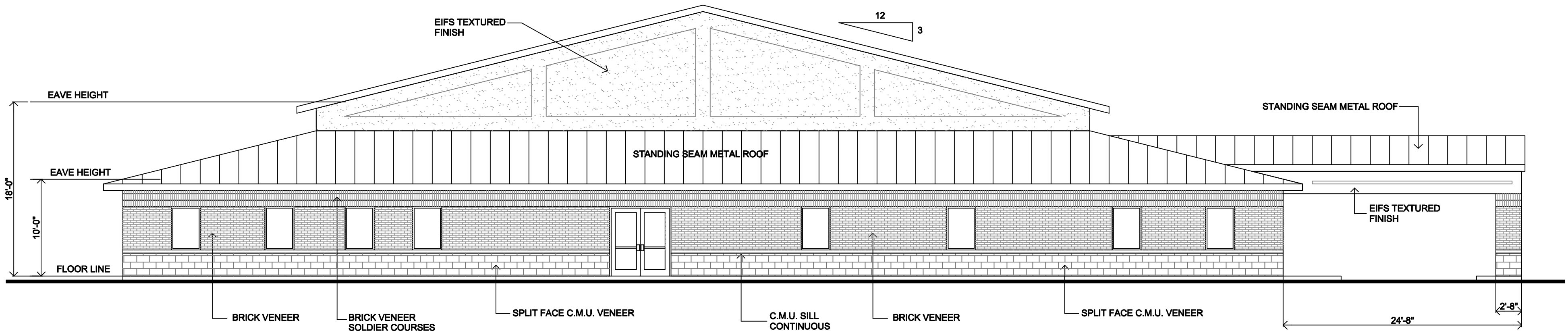
COMMERCIAL
BUILDING CONTRACTORS
NEW CASTLE, INDIANA



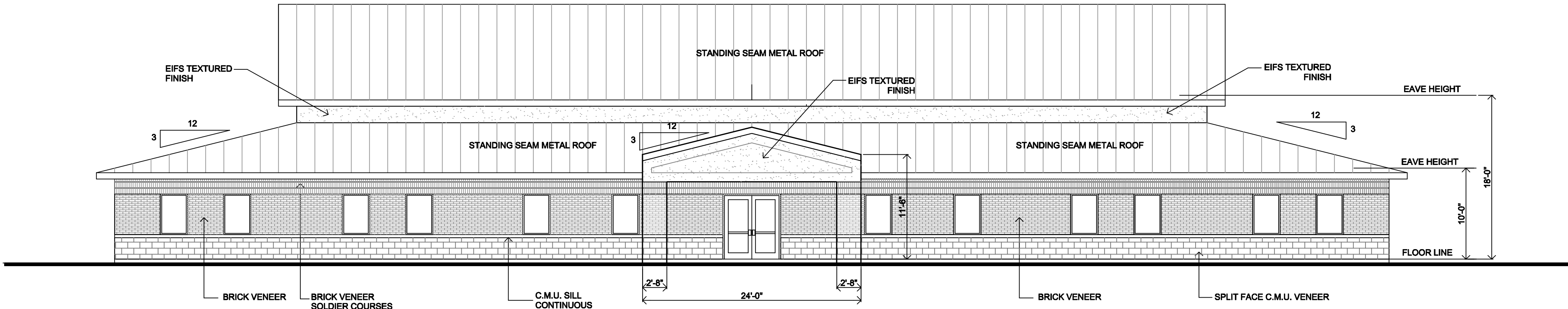
2/12/2020

Sheet Number:

A3
Exterior Elevations



LEFT SIDE PLAN
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

New
Family
Life
Center

For

Shelbyville
Bible
Holiness
Church

Shelbyville,
Indiana



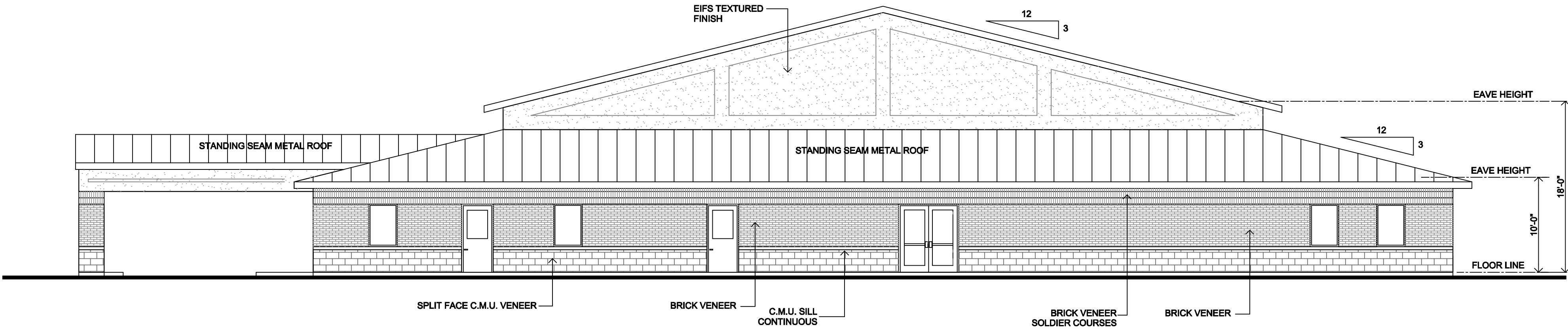
COMMERCIAL
BUILDING CONTRACTORS
NEW CASTLE, INDIANA



2/12/2020

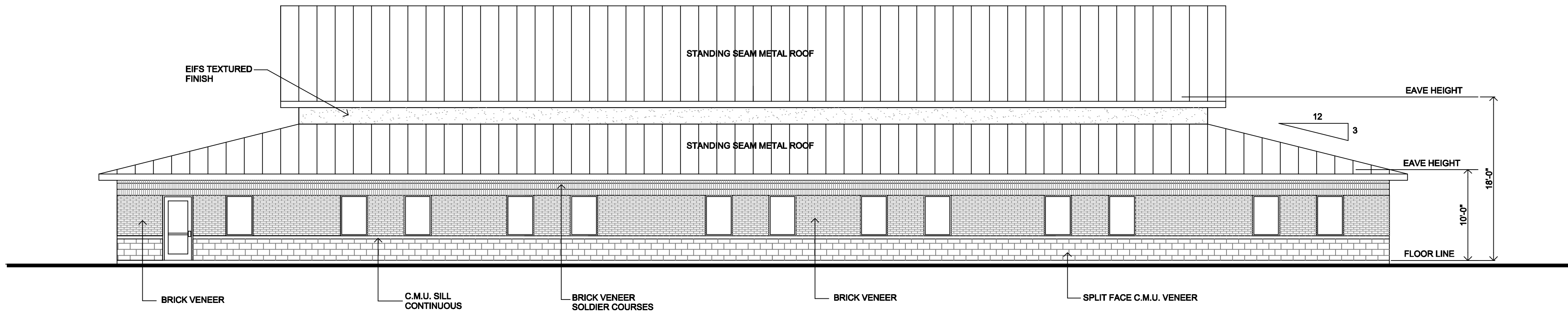
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A4
Exterior Elevations



RIGHT SIDE ELEVATION

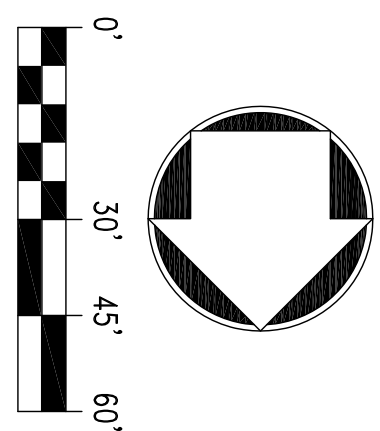
SCALE: 1/8" = 1'-0"



REAR ELEVATION


SCALE: 1/8" = 1'-0"





1" : 30'

(M) N 00°05'45" W
(D) N00°05'24" W 906.50'



(M) N 00°05'45" W
(D N00°05'24" W 906.50')

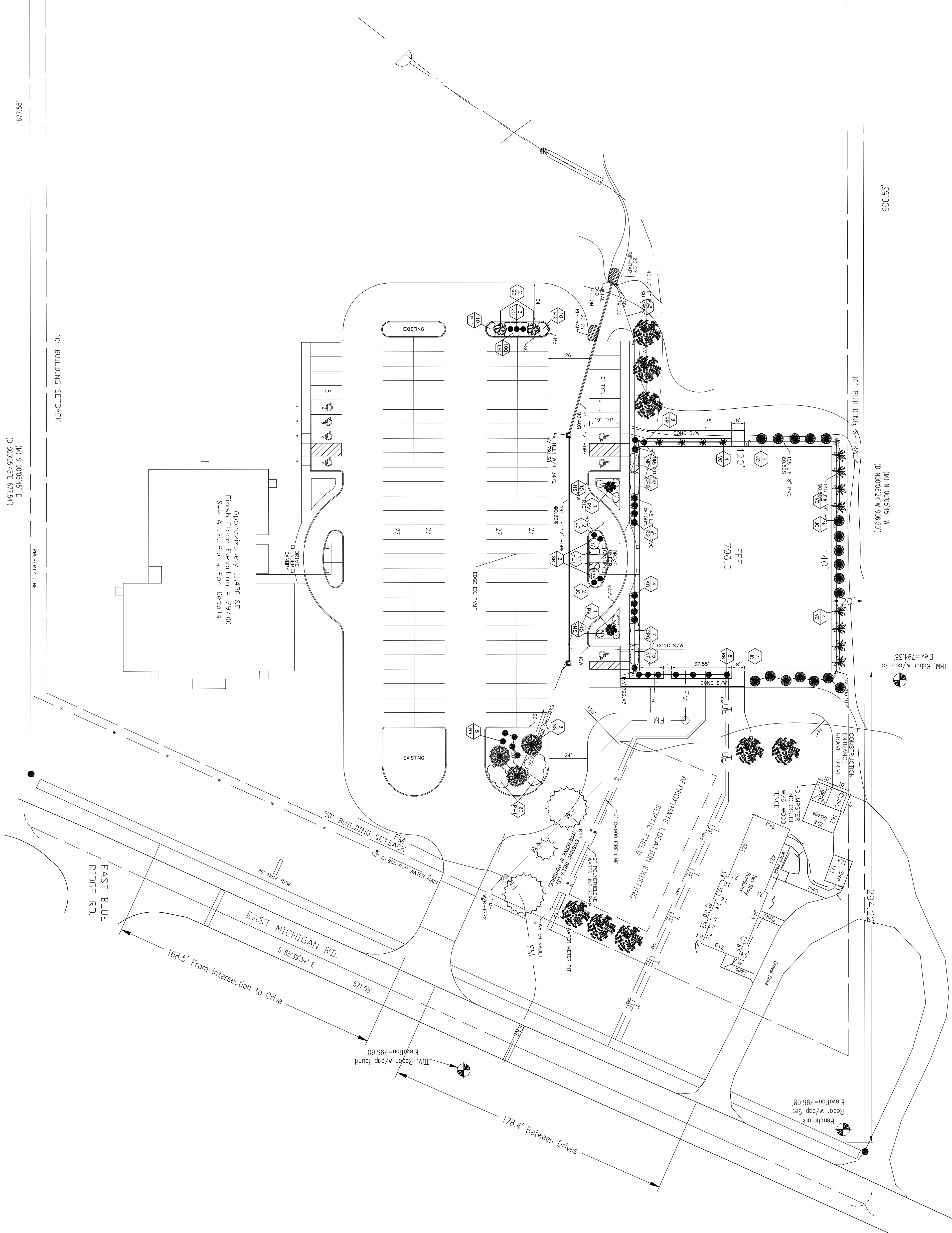
10' BUILDING SETBACK

ICW = INTEGRATED CURB AND WALK
SC = STANDING CURB

SC

STANDING CURB

STANDING CURB



PLANT SCHEDULE				
MARK	QTY	PLANT TYPE	SIZE	REMARKS
		DECIDUOUS TREES		
GB	2	GINKGO BILOBA (GINKGO TREE)	2" CALIPER B & B	5' TALL
PV	10	PRUNUS VIRGINIANA (CANADA RED CHOCHECHERRY)	2 " CALIPER B & B	5' TALL
SR	2	SPINARIA RETICULATA (IVORY SILK LILAC)	2 " CALIPER B & B	5' TALL
CK	1	CORNUS KOUSA (JAPANESE DOGWOOD)	2 " CALIPER B & B	5' TALL
		EVERGREEN TREES		
NS	3	PICEA ABIES (NOVANA SPRUCE)	B & B	6' TALL
		SHRUBS & PERENNIALS		
CPG	14	CALAMAGROSTIS POACEAE KARL FOSTERER (FEATHER RED GRASS)	3 GALLON	42" O.C.
P-1	40	HEMEROCALIS "HAPPY RETURNS"	1 GALLON	18" O.C.
H5	10	HAPPY RETURNS DAVULLY HEMEROCALIS "STELLA DE OHIO"	1 GALLON	18" O.C.
KG	8	CHAMAECYATIS PISYFERA, KINGS GOLD CEPHEUS	3 GALLON	60" O.C.
JC	25	JUNIPERUS CHINENSIS, SEA GREEN JUNIPER	24" HEIGHT 18" HEIGHT	18" HEIGHT
RR	16	ROSA "RADWAZ" (BLOCK OUT RED NOSE)	18" HEIGHT 3 GALLON	42" O.C.
LS	100	(BLOCK OUT RED NOSE) (ROSE SPACATA	3"	
NC	30	NEPETA FAASSINII (VALKERS LOW)	1 GALLON	36" O.C.
W1	12	WIBURNUM CARLESI (KOREAN SPICE)	5 GALLON	60" O.C.

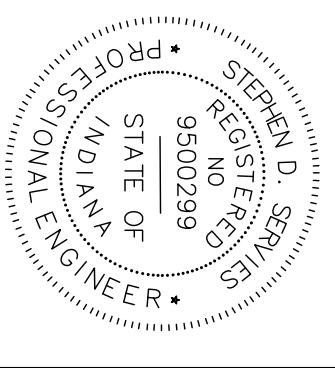
No.	DATE	REVISIONS

DATE: 07 FEB 20
SCALE: 1:30
DR BY: BK
CHKD. _____
FILED _____

SERVICES
ENGINEERING & SURVEYING, LLC
725 NORTHSORE BLVD
ANDERSON, INDIANA 46011
(765) 425-4044
servpels@comcast.net

SHELBYVILLE BIBLE HOLINESS
CHURCH
SHELBYVILLE, IN

LANDSCAPE PLAN



By Stephen J. Davis

DATE: 07 FEB 20

(M) S 00°05'45" E
D 500°05'45"E 677.54')

677.55'

No.	DATE	REVISIONS

[illegible]

Diagram illustrating the components and specifications for a single water service connection, showing the meter chamber, valves, and pipe connections.

Key Components and Labels:

- PE STIFFENER
- TRACER WIRE
- COOPERATION STOP WITH ELECTRICAL ISOLATION
- WATER MAIN
- WATER PIT
- SHUT OFF VALVE
- WATER SET ON VALVE FOR LOCAL DISTRICT REQUIREMENTS (SEE SPECIFICATION 0011)
- CLEARANCE SHALL BE EQUAL TO SERVICE CHAMBER SIDE
- 4"x3" W NOTCH IN METER PIT
- METER CHAMBER TO BE SET ON A FLAT UNDISTURBED SOIL
- 1/2" GAL. PIPE
- WATER SUPPORTS
- COUPLING
- MINIMUM COVER AS SPECIFIED
- MAIN SHUT OFF VALVE (BY CUSTOMER)
- OPTIONAL DUAL CHECK VALVE (BY CUSTOMER)
- FLOOR JEST
- BACKSTOP FLOOR
- INSIDE BUILDING WALL
- NEW OR EXISTING SERVICE CONNECTION (BY CUSTOMER)

Notes:

1. PREPARATION STOP WITH STRAIGHT COUPLING NUT SERVICE SADDLES WILL BE USED FOR ALL TAPS IN A/C, P/C OR CONCRETE MAINS. SIDEWALK FIBED SADDLES FOR ALL TAPS ON PIPE MAINS.
2. METER PITS PER SPECIFICATION 15000.
3. TAPS ON CONCRETE MAINS SHALL BE MADE BY LOCAL AGENCY AND INAC.
4. SERVICE LINE AND METER PIT OWNERSHIP VARIES BY LOCAL TARIFF.
5. CONNECTIONS BETWEEN PIPE LENGTHS SHALL BE COMPRESSION OR FLARE AND MAY DEPEND ON LOCAL PLUMBING REQUIREMENT.

Additional Notes:

- DISTANCE VARIES ACCORDING TO RIGHT-OF-WAY AND COMPANY PREFERENCE.
- METER BOX COVER W/ID & LID BOLT W/ TROUGH PAD SET FLUSH TO FINISHED GRADE.
- METER WITH TROUGH HEAD, OR RE UNIT.
- 2'-0" (MIN.)

Legend:

- PE STIFFENER
- TRACER WIRE
- COOPERATION STOP WITH ELECTRICAL ISOLATION
- WATER MAIN
- WATER PIT
- SHUT OFF VALVE
- WATER SET ON VALVE FOR LOCAL DISTRICT REQUIREMENTS (SEE SPECIFICATION 0011)
- CLEARANCE SHALL BE EQUAL TO SERVICE CHAMBER SIDE
- 4"x3" W NOTCH IN METER PIT
- METER CHAMBER TO BE SET ON A FLAT UNDISTURBED SOIL
- 1/2" GAL. PIPE
- WATER SUPPORTS
- COUPLING
- MINIMUM COVER AS SPECIFIED
- MAIN SHUT OFF VALVE (BY CUSTOMER)
- OPTIONAL DUAL CHECK VALVE (BY CUSTOMER)
- FLOOR JEST
- BACKSTOP FLOOR
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COMPACTED SELECT RIL PER SPECIFICATION 1510

UNDISTURBED EARTH

TOP OF NUT

SELF-CENTERING ALIGNMENT PIN

ADJUSTABLE VALVE BOX PER SPECIFICATION 1510

TOP OF NUT

FINISHED GRADE

CONCRETE PAD (WHERE INDICATED ON PLANS)

WATER VALVE BOX COVER

**1/2\"/>

WIRE

TRACER

**1/2\"/>

TOP OF NUT

BOTTOM OF BOWEN

FINISHED SUPPORT PAD

POLYETHYLENE ENCASEMENT

WAVE DIA. +1/2\"/>

(SEE GATE VALVE NOTE)

**GATE VALVE (12\"/>

N.T.S.

GATE VALVE NOTE:
 THE POLYETHYLENE ENCASEMENT SHALL BE PLACED OVER THE VALVE BOX AND THE LOWER PORTION OF THE VALVE BOX, LEAVING THE OPERATING NUT EXPOSED AND FREE TO BE OPERATED WITHIN THE VALVE BOX.

INDIANA
AMERICAN WATER
 ENGINEERING DEPARTMENT
 1533 N. DEMPSON AVENUE
 GREENWOOD, INDIANA 46143

DATE: JANUARY, 2018 **DRAWN BY:** S. FORD
LATEST REV: JANUARY, 2018 **APP'D BY:** E.N.

STANDARD DETAIL

GATE VALVE (12\"/>******

**INDIANA
AMERICAN WATER**
ENGINEERING DEPARTMENT
153 N. EMERSON AVENUE
GREENWOOD, INDIANA 46113

STANDARD DETAIL

THRUST BLOCKS

DATE: JANUARY, 2018 DRAWN BY: S. FORD
LATEST REV. JANUARY, 2018 APP'D BY: EN.

THRUST BLOCK DETAIL

NOTES:

1. THRUST BLOCK DIMENSIONS SHALL BE PROVIDED BY THE DESIGN ENGINEER.
2. THRUST BLOCKS SHALL BE INSTALLED AGAINST UNDISTURBED SOIL WITH ADEQUATE BEARING.
3. NO THRUST BLOCKS TO BE PLACED IN SERIES LATERAL DIRECTION.
4. THRUST BLOCKING MUST FIT IN EASEMENT, IN SOME CASES ADDITIONAL RESTRAINT MAY BE DESIRED TO BE BASED ON 200 PSI HYDROSTATIC WATER PRESSURE (150 PSI STATIC PRESSURE PLUS 50 PSI WATER HAMMER).
5. POLYETHYLENE ENCASEMENT ON ALL D.I. PIPE AND FITTINGS PRIOR TO POURING CONCRETE.
6. PIPE JOINTS AND BOLTS MUST BE ACCESSIBLE.
7. ALL CONCRETE SHALL BE 3000 PSI STRENGTH CONCRETE AND BOLTS ARE 60% GRISE UNLUBRICATED.
8. ALL ANCHOR BOLTS SHALL BE CORROSION RESISTANT, AND SPACED PER SPECIFICATION.
9. THRUST BLOCKING DETAILS ARE SHOWN HERE FOR TYPICAL INSTALLATIONS, IN SOME CASES, MODIFICATIONS MAY BE REQUIRED.
10. CONCRETE USED FOR THRUST BLOCKS SHALL BE MIN. 3000 PSI CONCRETE.
11. CONCRETE USED FOR THRUST BLOCKS SHALL BE MIN. 3000 PSI CONCRETE.
12. FOR UNSATURABLE SOIL CONDITIONS, THE ENGINEER SHALL VERIFY THRUST BLOCK DIMENSIONS.

N.T.S.

[illegible]

HORIZONTAL OFFSET REQUIREMENTS FOR SANITARY/STORM SEWER STRUCTURES

The diagram shows a plan view of a sanitary/storm sewer structure (labeled "SANITARY/STORM SEWER STRUCTURE") and a water main (labeled "WATER MAIN"). The horizontal offset distance between the structure and the water main is indicated as 12' MIN. The vertical offset distance between the structure and the water main is indicated as 8' MIN.

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VERTICAL OFFSET REQUIREMENTS

The diagram shows a side view of a sanitary/storm sewer structure (labeled "SANITARY/STORM SEWER STRUCTURE") and a water main (labeled "WATER MAIN"). The vertical offset distance between the structure and the water main is indicated as 12' MIN.

STANDARD DETAIL

SEWER SEPARATION

INDIANA

AMERICAN INSTITUTE OF CIVIL ENGINEERS

ENGINEERING DEPARTMENT

1353 N. EMBURY AVENUE

GREENWOOD, INDIANA 46113

DATE: JANUARY, 2018

DRAWN BY: S. FORD

LATEST REV: JULY, 2018

APP'D BY: EN.

[illegible]