

# CITY OF SHELBYVILLE

Adam M Rude  
Director



Allan Henderson  
Deputy Director

## PLAN COMMISSION

MEETING DATE: 6/28/2021

<b>Case Number &amp; Name:</b>	PC 2021-10; Michigan Road Industrial Warehouse; Site Development Plan			
<b>Petitioner's Name:</b>	Al Berthouex			
<b>Owner's Name:</b>	Al Berthouex			
<b>Petitioner's Representative:</b>	Tony Nicholson, Space and Sites			
<b>Address of Property:</b>	1689 North Michigan Road			
<b>Subject Property Zoning Classification:</b>	IG – General Industrial			
<b>Comprehensive Future Land use:</b>	Heavy/Medium Industry			
	<b>North</b>	<b>East</b>	<b>South</b>	<b>West</b>
<b>Surrounding Properties' Zoning Classifications:</b>	R1 – Single-family Residential (Shelby County)	R1 – Single-family Residential	IG – General Industrial	IG – General Industrial
<b>Surrounding Properties' Comprehensive Future Land Use</b>	Heavy/Medium Industry	High-Tech/ Light Industrial	Heavy/Medium Industry	Heavy/Medium Industry
<b>History:</b>				
<b>Vicinity Map:</b>				
<b>Action Requested:</b>	Approval of a site development plan to construct an industrial warehouse.			

1. This petition is to construct an industrial warehouse at 1689 North Michigan Road. The site is 1.30 acres and the proposed warehouse is 6,000 square feet.
2. The Zoning Ordinance (Section 9.05 (F) (5)) requires the Plan Commission make Findings of Fact that the Site Development Plan:

**a. Is consistent with the City of Shelbyville Comprehensive Plan;**

The planning staff has determined the subject petition is consistent with the goals of the Comprehensive Plan. The proposed project is close to the existing industrial park. The future land use map identifies this area of Shelbyville is heavy/medium industrial and high-tech/light industrial. The proposed industrial warehouse is in alignment with the Comprehensive Plan and future land use.

**b. Meets the Technical Review Committee's expectations for best practices and quality design;**

The Technical Review Committee reviewed the site development plan against their applicable standards and was satisfied with this set of plans.

**c. Satisfies the applicable requirements of Article 2: Zoning Districts;**

The planning staff has determined the subject petition is consistent with the IG – General Industrial zoning district. The general industrial zoning district is intended to provide areas for general industrial use under conditions that minimize conflicts with other land uses. This district should be used in combination with the IL - Light Industrial district to provide ample employment centers and opportunities for economic development.

**d. Satisfies the applicable requirements of Article 5: Development Standards;**

**Setback Standards – UDO 5.55 (I)(4):**

4. Parking Lots: In commercial, institutional, and industrial zoning districts, parking lots may encroach into the front, side, and rear yard setbacks for a primary structure by the following amounts:
  - a. Front Yard: Parking lots may project into a front yard setback by twenty-five (25) percent of the minimum front yard setback.

The proposed design for the industrial warehouse is encroaching into the required front yard setbacks. The front yard setback along Michigan Road is fifty (50) feet. The proposed parking lot is encroaching up to fifty (50) percent into the front yard setback.

**Loading Standards – UDO 5.39 (B)(2):**

2. Access: Each required off-street loading berth shall be designed with appropriate means of vehicular access to a street or alley in a manner that will not interfere with traffic movements. There shall be no maneuvering within any street right-of-way. In no case shall a loading berth be located in such a manner as to require loading/unloading vehicles to back into a public right-of-way or overhang adjacent property.

The proposed design for the industrial warehouse is utilizing a public right-of-way to access the loading docks for the facility.

Note: Al Berthouex was granted a variance from the UDO 5.55 Setback Standards and UDO 5.39 Loading Standards at the May 11, 2021 Board of Zoning Appeals meeting under petition BZA 2021-02.

STAFF RECOMMENDATION: APPROVAL

## Site Development Plan: PC 2021-10; Michigan Road Industrial Warehouse; Site Development Plan

### Findings of Fact by the Shelbyville Plan Commission

#### Staff Prepared

Motion:

(I) would like to make a motion to approve the site development plan as presented to this body, with the conditions outlined in the planning staff's report, pursuant to the planning staff's report and Findings of Fact.

1. ☐ The site development plan is consistent with the *City of Shelbyville Comprehensive Plan* as outlined in the planning staff's report.  
☐ The site development plan is **not** consistent with the *City of Shelbyville Comprehensive Plan*, as outlined in the planning staff's report.
2. ☐ The site development plan meets the Technical Review Committee's expectations for best practices and quality design, as outlined in the planning staff's report, as outlined in the planning staff's report.  
☐ The site development plan **does not** meet the Technical Review Committee's expectations for best practices and quality design, as outlined in the planning staff's report, as outlined in the planning staff's report
3. ☐ The site development plan satisfies the applicable requirements of Article 2: *Zoning Districts*, as outlined in the planning staff's report.  
☐ The site development plan **does not** satisfy the applicable requirements of Article 2: *Zoning Districts*, as outlined in the planning staff's report.
4. ☐ The site development plan satisfies the applicable requirements of Article 5: *Development Standards*, as outlined in the planning staff's report.  
☐ The site development plan **does not** satisfy the applicable requirements of Article 5: *Development Standards*, as outlined in the planning staff's report.
5. ☐ The site development plan satisfies the applicable requirements of Article 6: *Design Standards*, as outlined in the planning staff's report.  
☐ The site development plan **does not** satisfy the applicable requirements of Article 6: *Design Standards*, as outlined by the planning staff's report.
6. ☐ This site development plan satisfies all other applicable provision of the *Unified Development Ordinance*, as outlined by the planning staff's report.  
☐ The site development plan **does not** satisfy all other applicable provision of the *Unified Development Ordinance*, as outlined in the planning staff's report.

#### Additional Conditions Imposed by the Shelbyville Plan Commission:

- 1.
- 2.
- 3.

Shelbyville Plan Commission

By: \_\_\_\_\_

Chairperson / Presiding Officer

Attest: \_\_\_\_\_

Adam M. Rude, Secretary



## TECHNICAL REVIEW SUBMITTAL

Shelbyville Plan Commission  
44 West Washington Street  
Shelbyville, IN 46176  
P: 317.392.5102 F: 317.392.5110

Project Name: 1.30 AC WAREHOUSE

### Applicant:

Name: AL BERTHOUEX  
Address: 345 W. BROADWAY  
SHELBYVILLE, IN. 46176  
Phone Number: 901-647-2187  
Fax Number: NA

### Owner:

Name: AL BERTHOUEX  
Address: 345 W. BROADWAY ST  
SHELBYVILLE, IN 46176  
Phone Number: 901-647-2187  
Fax Number: NA E-MAIL

### Project Designer:

Name: SPACE & SITES LLC.  
Address: 6 E. TAYLOR ST  
SHELBYVILLE, IN 46176  
Phone Number: 317-392-4444  
Fax Number: N/A SPACE AND SITES@  
SBCGLOBAL.NET

Address or Location of Property: 1689 N MICHIGAN RD.

Submitting For: ☒ Review or ☐ Final Sign Off

### Type of Review

- ☐ Major Subdivision Preliminary Plat
- ☐ Minor Subdivision Preliminary Plat
- ☒ Site Development Plan
- ☐ Planned Unit Development Conceptual Plans
- ☐ Planned Unit Development Detail Plans
- ☐ Construction Plans
- ☐ Others \_\_\_\_\_

### Contact of Representative for the Project

Name: TONY L. NICHOLSON Address (if not listed above): \_\_\_\_\_

Phone Number: 317-392-4444 SAME AS ABOVE

Email: SPACEANDSITES@SBCGLOBAL.NET

Preferred Method of Contact: ☒ Email or ☐ Phone call



SITE DEVELOPMENT PLANS FOR:

AL BERTHOUEX-1.30 AC.

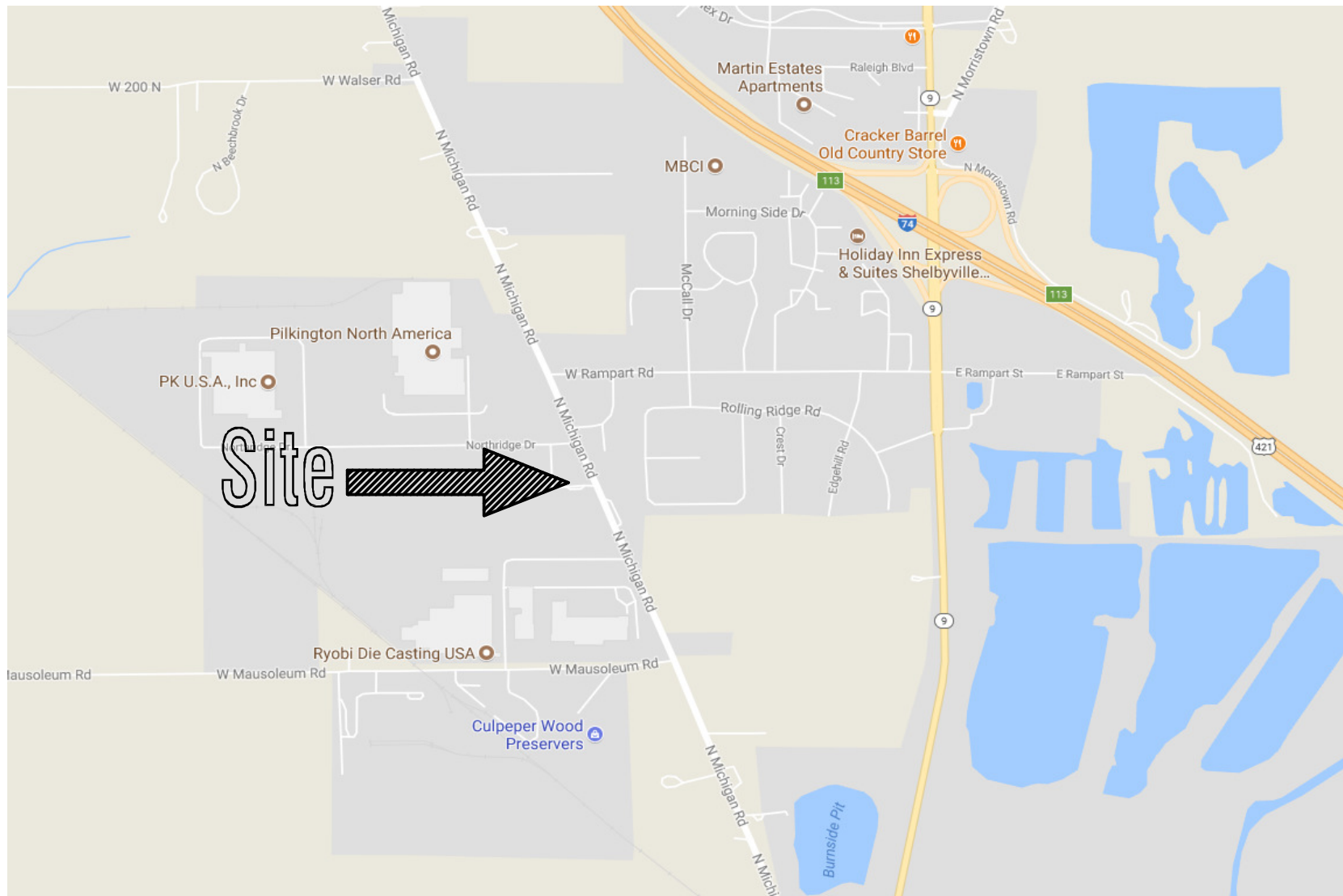
N. MICHIGAN RD.

SHELBYVILLE, IN 46176

ZONED: IG



Vicinity Map

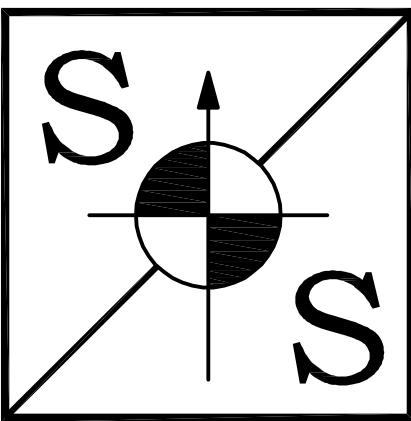


Location Map

OWNER:

ALBERT BERTHOUEX  
345 W. BROADWAY ST.  
SHELBYVILLE, IN 46176  
PHONE: 901-647-2187

PREPARED BY:



SPACE and SITES, LLC

ENGINEERING, BUILDING DESIGN  
6 East Taylor St. Shelbyville, IN 46176  
PH 317.392.4444 FAX 317.392.0709  
www.spaceandsites.com  
e-mail: spaceandsites@sbcglobal.net

**PROFESSIONAL ENGINEERING**

**GATES**

**Bruce G. Carter, P.E.**  
**1678 S. Flatrock River Road**  
**Rushville, IN 46173**  
**765.932.3237**  
**indycarter@frontier.com**

GENERAL NOTES:

- 1.) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE CITY, COUNTY, AND STATE AGENCIES PRIOR TO CONSTRUCTION.
- 2.) CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY UTILITY CONFLICTS ARE DISCOVERED OR IF UTILITY LOCATIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS.
- 3.) CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH CITY AND ALL RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION.



INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
	COVER
C100	EXISTING SITE PLAN
C101	PROPOSED SITE/UTILITY PLAN
C102	PROPOSED DRAINAGE PLAN
C103	PROPOSED EROSION CONTROL PLAN
C104	EROSION CONTROL DETAILS
C105	PROPOSED SITE LIGHTING PLAN
C106	PROPOSED LANDSCAPING PLAN
A100	PROPOSED FLOOR PLAN
A300	PROPOSED EXTERIOR ELEVATIONS
	CITY OF SHELBYVILLE SPECS.

REVISIONS		
SHEET NO.	DATE	DESCRIPTION
—	—	—

Technical Review Committee Member List  
City of Shelbyville

Plan Commission Directors, x  
Bryant Niehoff, Adam Rude x  
44 West Washington Street, Shelbyville, IN 46176  
Tel. 317.392.5102 Fax 317.392.5110  
e-mail: bniehoff@cityofshelbyvillein.com, grude@cityofshelbyvillein.com

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605 Hale Road, Shelbyville, IN 46176  
Tel. 317.392.5169 Fax 317.392.5134  
e-mail: jjones@cityofshelbyvillein.com

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Bradley E. Fix, x  
775 West Boggstown Road, Shelbyville, IN 46176  
Tel. 317.392.5131 Fax 317.392.5132  
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Shelbyville Fire Department, x  
Robbie Stonebraker, x  
40 West Broadway Street, Shelbyville, IN 46176  
Tel. 317.392.5119 Fax 317.392.5121  
e-mail: rstonebraker@cityofshelbyvillein.com

Shelbyville PD, x  
Mark Newman, x  
105 W. Taylor Street, Shelbyville, IN 46176  
Tel. 317.392-5106 Fax 317.392.3645  
e-mail: m.newman@cityofshelbyvillein.com

City Engineer, x  
Matthew House, P.E., x  
44 W. Washington St., Shelbyville, IN 46176  
Tel. 317.392.5102 Fax 317.392.5110  
e-mail: mhouse@cityofshelbyvillein.com

MS4 Operator, x  
Derrick Byers, x  
44 W. Washington Street, Shelbyville, IN 46176  
Tel. 317.392.5102 Fax 317.392.5110  
email: dbyers@cityofshelbyvillein.com

Utilities

Indiana American Water Company  
Travis Edington, x  
1700 McCall Drive, P.O. Box 418, Shelbyville, IN 46176  
Tel. 317.392.0711 Fax 317.392.3277  
e-mail: travis.edington@iamwater.com

Vectren  
Ron Spain, x  
600 Industrial Drive, Franklin, IN 46131  
Tel. 317.736.2965  
e-mail: rspain@vectren.com

Duke Energy  
Rick Butler, x  
2910 East State Road 44, Shelbyville, IN 46176  
Tel. 317.398.5361 Fax 317.398.5356  
e-mail: rxb@duke-energy.com

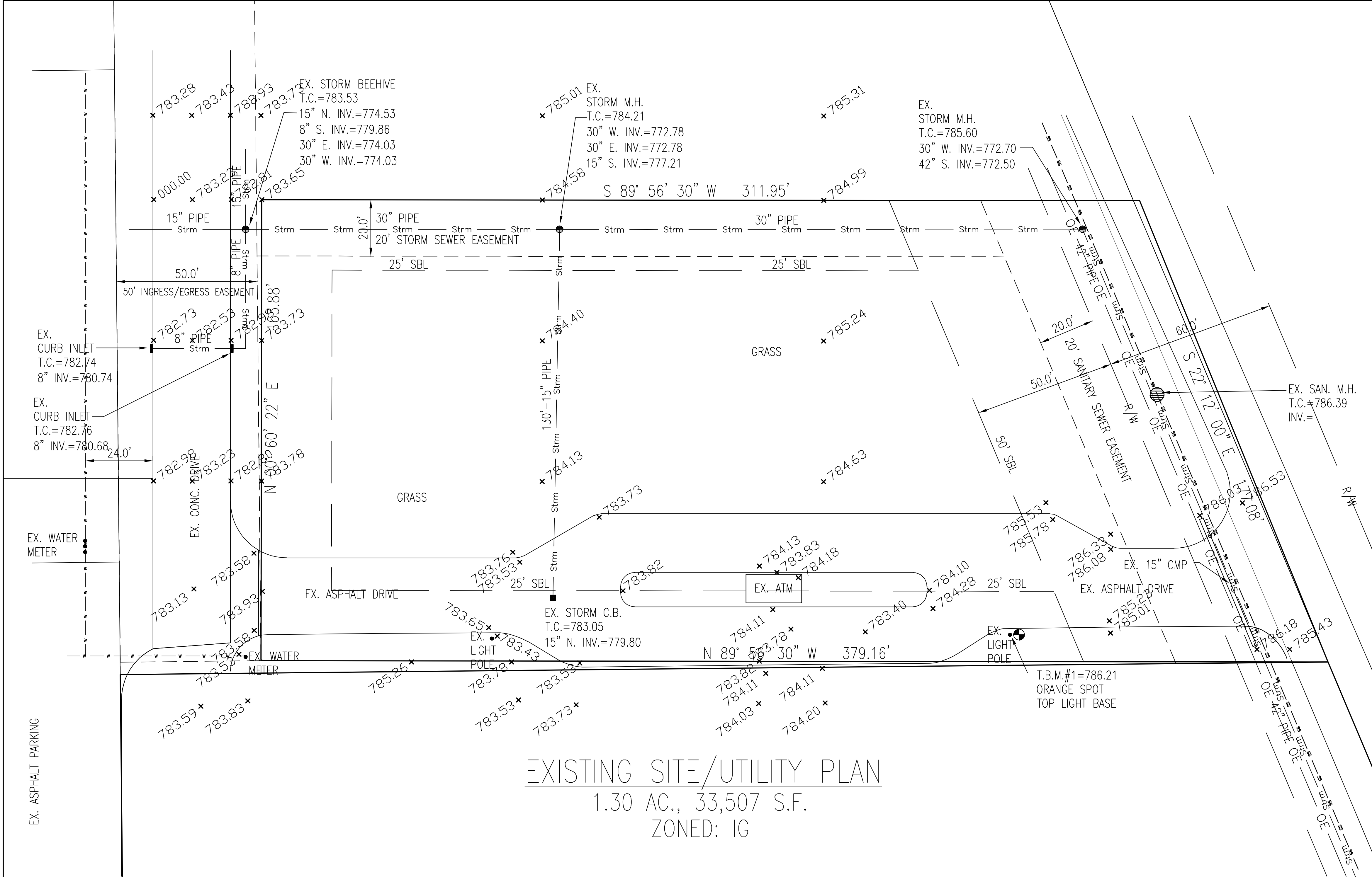
AT&T  
Troy Bishop, x  
420 East 7th Street, Columbus, IN 47201  
Tel. 812.376.2887 Fax 812.376.2955  
e-mail: tb2932@att.com

Comcast  
Tom Davis, x  
1470 Jackson Street, Columbus, IN 47201  
Tel. 812-799-0915 ext. 3108  
e-mail: Thomas\_davis3@cable.comcast.com

Shelby County Surveyors Office x  
Taylor Summerford, x  
25 W. Polk, Rm. 2, Shelbyville, IN 46176  
Tel. 317.392.6481 Fax 317.396.5525  
e-mail: norma.ross@co.shelby.in.us

Fiber Optic x  
Level 3 Engineering  
DeWayne Hamilton  
Tel. 317-966-3356  
e-mail: dewayne.hamilton@level3.com





EXISTING SITE/UTILITY PLAN  
1.30 AC., 33,507 S.F.  
ZONED: IG

FLOOD INFO:  
THE PROPOSED PROPERTY IS LOCATED IN A SPECIAL  
FLOOD HAZARD ZONE "X" AS PER FIRM MAP  
#18145C0116C EFFECTIVE DATE NOVEMBER 5, 2014.  
THE ACCURACY OF THIS FLOOD HAZARD STATEMENT  
SHOWN ON THIS PLOT PLAN IS SUBJECT TO MAP  
SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY  
IN LOCATION OR ELEVATION ON THE REFERENCED  
FLOOD INSURANCE RATE MAP.

LEGAL DESCRIPTION:  
PART OF THE SOUTH HALF OF THE SECTION 30, TOWNSHIP 13 NORTH,  
RANGE 7 EAST IN SHELBY COUNTY, INDIANA, MORE PARTICULARLY  
DESCRIBED AS FOLLOWS:

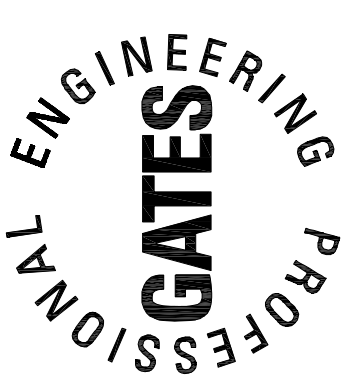
BEGINNING AT A POINT ON THE CENTERLINE OF THE MICHIGAN ROAD  
(OLD US 421) 17 FEET SOUTH OF THE NORTH LINE OF THE SOUTH  
HALF OF SAID SECTION 30, SAID POINT BEARING SOUTH 88 DEGREES  
42 MINUTES 25 SECONDS WEST A DISTANCE OF 681.88 FEET FROM  
THE SOUTHWEST CORNER OF THE EAST HALF OF THE NORTHEAST  
QUARTER OF SAID SECTION 30; THENCE SOUTH 22 DEGREES 12  
MINUTES 00 SECONDS EAST ALONG THE CENTERLINE OF AFORESAID  
ROAD 945.7 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING  
DESCRIBED TRACT, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF  
A TRACT DESCRIBED IN SHELBY COUNTY DEED RECORD 262, PAGE 686  
AND 943; RUNNING THENCE FROM SAID POINT OF BEGINNING SOUTH 22  
DEGREES 12 MINUTES 00 SECONDS EAST ALONG THE CENTERLINE OF  
AFORESAID ROAD 177.08; THENCE NORTH 89 DEGREES 56 MINUTES 03  
SECONDS WEST 379.16 FEET; THENCE NORTH 00 DEGREES 06 MINUTES  
22 SECONDS EAST 163.88 FEET TO THE SOUTHWEST CORNER OF  
AFORESAID TRACT DESCRIBED IN SHELBY COUNTY DEED RECORD 262,  
PAGES 686 AND 943; THENCE SOUTH 89 DEGREES 56 MINUTES 03  
SECONDS EAST 311.95 FEET TO THE POINT OF BEGINNING, CONTAINING  
1.30 ACRES, MORE OR LESS.

ALSO, AN EASEMENT FOR PURPOSES OF INGRESS AND EGRESS, SAID  
EASEMENT DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST  
CORNER OF THE ABOVE DESCRIBED 1.30 ACRE TRACT; THENCE NORTH  
00 DEGREES 06 MINUTES 22 SECONDS EAST 389.49 FEET TO THE  
SOUTH RIGHT-OF-WAY LINE OF NORTH RIDGE DRIVE; THENCE NORTH 89  
DEGREES 56 MINUTES 34 SECONDS WEST ALONG SAID RIGHT-OF-WAY  
LINE 50.00 FEET; THENCE SOUTH 00 DEGREES 06 MINUTES 22  
SECONDS WEST 389.48 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES  
03 SECONDS EAST 50.00 FEET TO THE POINT OF BEGINNING.

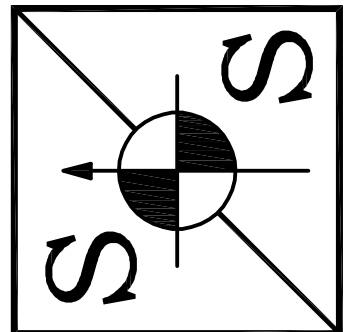
ABOVE DESCRIBED 1.30 ACRE TRACT SUBJECT TO A STORM SEWER  
EASEMENT 20 FEET OF EVEN WIDTH ALONG THE ENTIRE NORTH SIDE.  
ALSO SUBJECT TO A SANITARY SEWER EASEMENT, SAID EASEMENT BEING  
A TRACT OF LAND 20 FEET OF EVEN WIDTH MEASURED  
PERPENDICULARLY SOUTHWEST FROM THE WEST RIGHT-OF-WAY LINE OF  
THE MICHIGAN ROAD AND RUNNING NORTH 22 DEGREES 12 MINUTES 00  
SECONDS WEST PARALLEL WITH SAID ROAD ALONG THE ENTIRE EAST  
SIDE OF THE SUBJECT TRACT.



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CHECKED	SYMBOL	REVISION	DATE
TN			
CERT.			
-			
SCALE			
1"=20'			
DRAWN			
RC			

SEAL

LEGEND

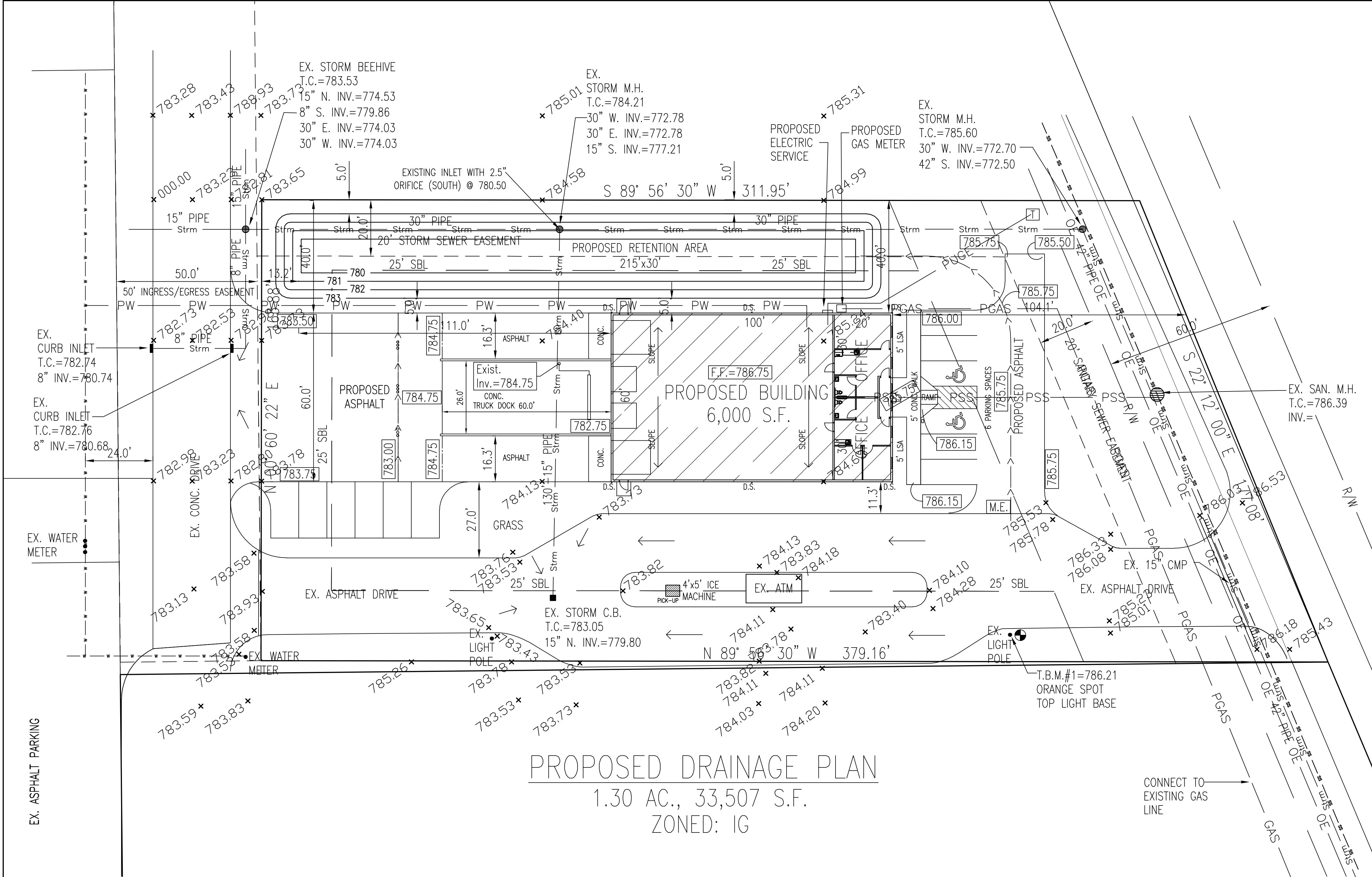
- M.H. = MANHOLE
- P/P = POWER POLE
- Strm = EXISTING STORM SEWER
- SS = EXISTING SANITARY SEWER
- OE = EXISTING OVERHEAD ELECTRIC
- W = EXISTING WATER LINE
- ooo = EXISTING SWALE
- L.P. = EXISTING LIGHT POLE
- WM = EXISTING WATER METER



SHEET NAME	PROJECT NAME
EXISTING SITE/UTILITY PLAN	AL BERTHOUEX-1.30 AC. N. MICHIGAN RD. SHELBYVILLE, IN 46176
DATE: FEB. 26, 2021	
PROJECT NO.: 202049	
SHEET NO.	
C100	





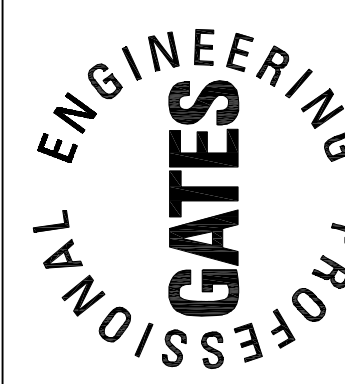


PROPOSED DRAINAGE PLAN  
1.30 AC., 33,507 S.F.  
ZONED: IG

FLOOD INFO:  
THE PROPOSED PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE "X" AS PER FIRM MAP #18145C0116C EFFECTIVE DATE NOVEMBER 5, 2014. THE ACCURACY OF THIS FLOOD HAZARD STATEMENT SHOWN ON THIS PLOT PLAN IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP.



Bruce G. Carter, P.E.  
1678 S. Flatrock River Road  
Rushville, IN 46173  
bruce.carter@gatespe.com



- GENERAL NOTES:
- KEEP A MINIMUM POSITIVE SLOPE AWAY FROM BUILDING OF 6 INCHES IN THE FIRST 10 FEET.
  - ALL EXISTING SUBSURFACE DRAIN TILES THAT ARE DISTURBED DURING CONSTRUCTION WILL BE REPAIRED AND REROUTED TO MAINTAIN THEIR EXISTING FLOW.
  - THE PLAN COMPLIES WITH ALL STATE AND COUNTY REGULATIONS AND ANY CHANGES TO THE PLAN MUST FIRST BE APPROVED BY THE APPROPRIATE AGENCY.
  - EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS REQUIRED IN ARTICLE 10 OF THE SHELBY COUNTY STORM DRAINAGE, EROSION AND SEDIMENT CONTROL ORDINANCE.
- T.B.M. #1: TOP OF LIGHT POLE BASE ELEVATION = 786.21

LEGEND

- MANHOLE
- POWER POLE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING OVERHEAD ELECTRIC
- EXISTING WATER LINE
- EXISTING SWALE
- EXISTING LIGHT POLE
- EXISTING WATER METER
- PROPOSED SANITARY SEWER
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED WATER
- PROPOSED GAS
- PROPOSED TRANSFORMER

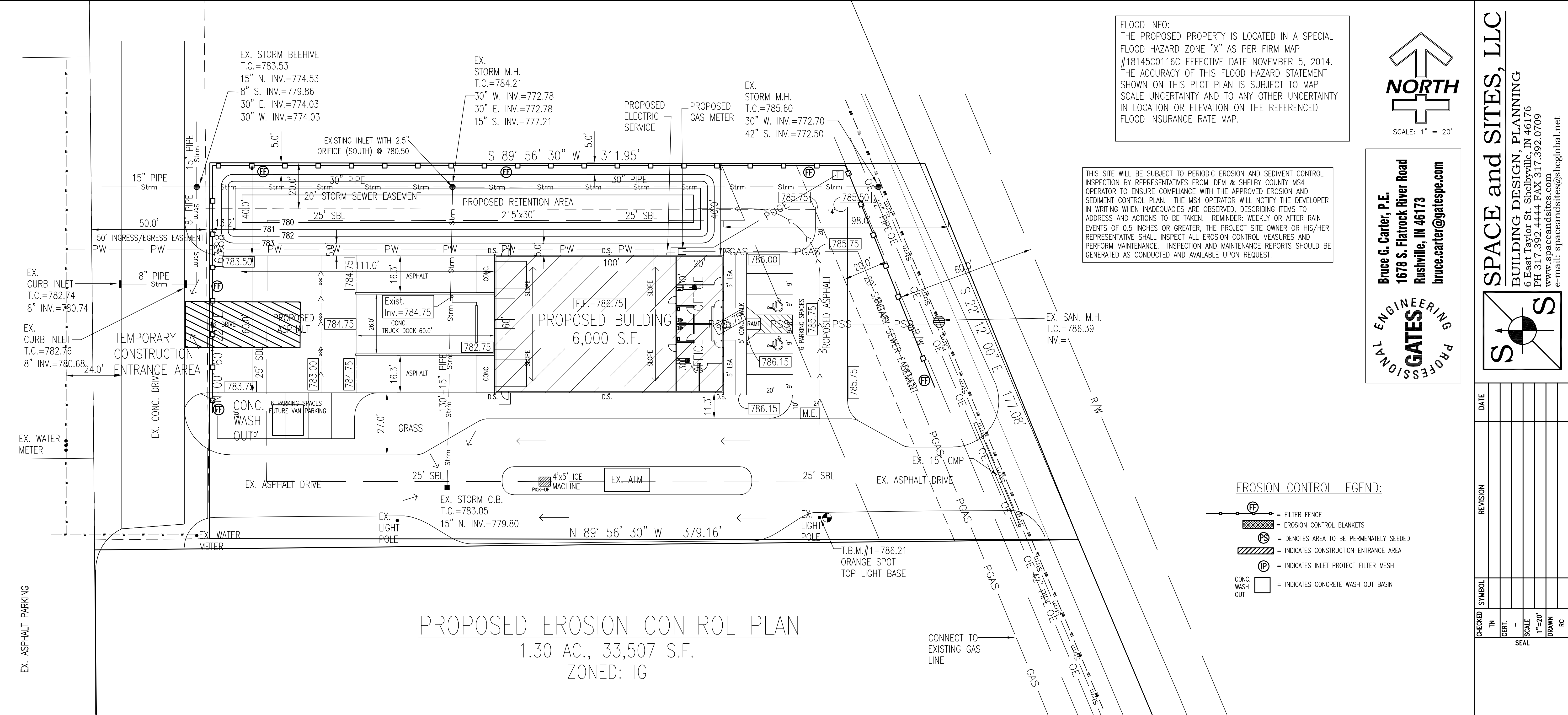


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DATE	REVISION	CHECKED	SYMBOL
		TN	
		CERT.	
		SCALE	
		1"=20'	
		DRAWN	
		RC	

SHEET NAME: PROPOSED DRAINAGE PLAN  
PROJECT NAME: AL BERTHOUEX-1.30 AC. N. MICHIGAN RD. SHELBYVILLE, IN 46176

DATE: FEB. 26, 2021  
PROJECT NO.: 202049  
SHEET NO.: C102



EROSION CONTROL CONSTRUCTION SEQUENCE SCHEDULING	
CONSTRUCTION PHASE (SPECIFIC ACTIVITIES OR EROSION CONTROL PRACTICES)	CONSTRUCTION SCHEDULE CONSIDERATIONS
PRE-CONSTRUCTION ACTIONS (EVALUATION/PROTECTION OF IMPORTANT SITE CHARACTERISTICS)	BEFORE CONSTRUCTION, EVALUATE, MARK, AND PROTECT IMPORTANT TREES AND ASSOCIATED ROOTING ZONES, UNIQUE AREAS (e.g., WETLANDS) TO BE PRESERVED, ON-SITE SEPTIC SYSTEM ABSORPTION FIELDS, AND VEGETATION SUITABLE FOR FILTER STRIPS, ESPECIALLY IN PERIMETER AREAS.
CONSTRUCTION ACCESS * (CONSTRUCTION ENTRANCES, CONSTRUCTION ROUTES, EQUIPMENT PARKING AREAS)	STABILIZE BARE AREAS IMMEDIATELY WITH GRAVEL AND TEMPORARY VEGETATION AS WORK TAKES PLACE
SEDIMENT BARRIERS AND TRAPS * (BASIN TRAPS, SILT FENCES, OUTLET PROTECTION)	INSTALL PRINCIPAL BASINS AFTER CONSTRUCTION SITE IS ASSESSED. INSTALL ADDITIONAL TRAPS AND BARRIERS AS NEEDED DURING GRADING.
RUNOFF CONTROL * (DIVERSIONS, PERIMETER DIKES, WATER BARS, OUTLET PROTECTION)	INSTALL PRACTICES AFTER PRINCIPAL SEDIMENT TRAPS ARE INSTALLED BUT BEFORE SITE GRADING. INSTALL ADDITIONAL RUNOFF CONTROL MEASURES DURING GRADING AS NEEDED.
RUNOFF CONVEYANCE SYSTEMS * (STABILIZED STREAMBANKS, STORM DRAINS, INLET AND OUTLET PROTECTION, CHANNELS)	WHERE NECESSARY, STABILIZE STREAMBANKS AS EARLY AS POSSIBLE. INSTALL PRINCIPAL CONVEYANCE SYSTEM WITH RUNOFF CONTROL MEASURES. INSTALL REMAINDER OF SYSTEM AFTER GRADING.
LAND CLEARING AND GRADING * (CUTTING/FILLING, GRADING DRAINS, SEDIMENT TRAPS, BARRIERS, DIVERSIONS, SURFACE ROUGHENING)	BEGIN MAJOR CLEARING AND GRADING AFTER INSTALLING THE KEY SEDIMENT AND RUNOFF MEASURES. CLEAR BORROW AND DISPOSAL AREAS AS NEEDED. INSTALL ADDITIONAL CONTROL MEASURES AS GRADING PROGRESSES.
SURFACE STABILIZATION * (TEMPORARY AND PERMANENT SEEDING, MULCHING, SODDING, RIP-RAP)	APPLY TEMPORARY OR PERMANENT STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK IS DELAYED OR COMPLETED.
BUILDING CONSTRUCTION * (BUILDING, UTILITIES, PAVING)	INSTALL NECESSARY EROSION AND SEDIMENT CONTROL PRACTICES AS WORK TAKES PLACE.
LANDSCAPING AND FINAL STABILIZATION * (TOPSOIL, TREES, AND SHRUBS, PERMANENT SEEDING, MULCHING, SODDING, RIP-RAP)	STABILIZE ALL OPEN AREAS INCLUDING BORROW AND SPOIL AREAS. REMOVE TEMPORARY CONTROL MEASURES AND STABILIZE.
*MAINTENANCE--(1)INSPECT PRACTICES AT LEAST ONCE A WEEK, & (2) MAKE REPAIRS IMMEDIATELY AFTER PERIODS OF RAINFALL.	

NOTE:

PLEASE SEED PERMANENT SEED AREAS AS SOON AS POSSIBLE.

LIMIT TRACKING OF SEDIMENT ONTO PUBLIC ROADS.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY THE INSPECTOR.

EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS REQUIRED IN ARTICLE 10 OF THE SHELBY COUNTY STORM DRAINAGE, EROSION AND SEDIMENT CONTROL ORDINANCE.

SCHEDULE A PRE-CONSTRUCTION MEETING WITH MS4 PRIOR TO LAND DISTURBING.

RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL:

ALBERT BERTHOUEX  
345 W. BROADWAY ST.  
SHELBYVILLE, IN 46176  
PHONE: 901-647-2187

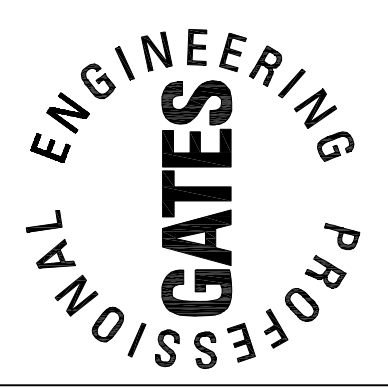
FLOOD INFO:  
THE PROPOSED PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE "X" AS PER FIRM MAP #18145C0116C EFFECTIVE DATE NOVEMBER 5, 2014. THE ACCURACY OF THIS FLOOD HAZARD STATEMENT SHOWN ON THIS PLOT PLAN IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP.

THIS SITE WILL BE SUBJECT TO PERIODIC EROSION AND SEDIMENT CONTROL INSPECTION BY REPRESENTATIVES FROM IDEM & SHELBY COUNTY MS4 OPERATOR TO ENSURE COMPLIANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN. THE MS4 OPERATOR WILL NOTIFY THE DEVELOPER IN WRITING WHEN INADEQUACIES ARE OBSERVED, DESCRIBING ITEMS TO ADDRESS AND ACTIONS TO BE TAKEN. REMINDER: WEEKLY OR AFTER RAIN EVENTS OF 0.5 INCHES OR GREATER, THE PROJECT SITE OWNER OR HIS/HER REPRESENTATIVE SHALL INSPECT ALL EROSION CONTROL MEASURES AND PERFORM MAINTENANCE. INSPECTION AND MAINTENANCE REPORTS SHOULD BE GENERATED AS CONDUCTED AND AVAILABLE UPON REQUEST.

- EROSION CONTROL LEGEND:
- = FILTER FENCE
  - = EROSION CONTROL BLANKETS
  - = DENOTES AREA TO BE PERMANENTLY SEEDED
  - = INDICATES CONSTRUCTION ENTRANCE AREA
  - = INDICATES INLET PROTECT FILTER MESH
  - = INDICATES CONCRETE WASH OUT BASIN



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bruce.carter@gatespe.com



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DATE

REVISION

CHECKED

SYMBOL

IN

CERT.

SCALE

1"=20'

DRAWN

RC

SEAL

SHEET NAME

PROPOSED EROSION CONTROL PLAN

PROJECT NAME

AL BERTHOUEX-1.30 AC.  
N. MICHIGAN RD.  
SHELBYVILLE, IN 46176

DATE: FEB. 26, 2021

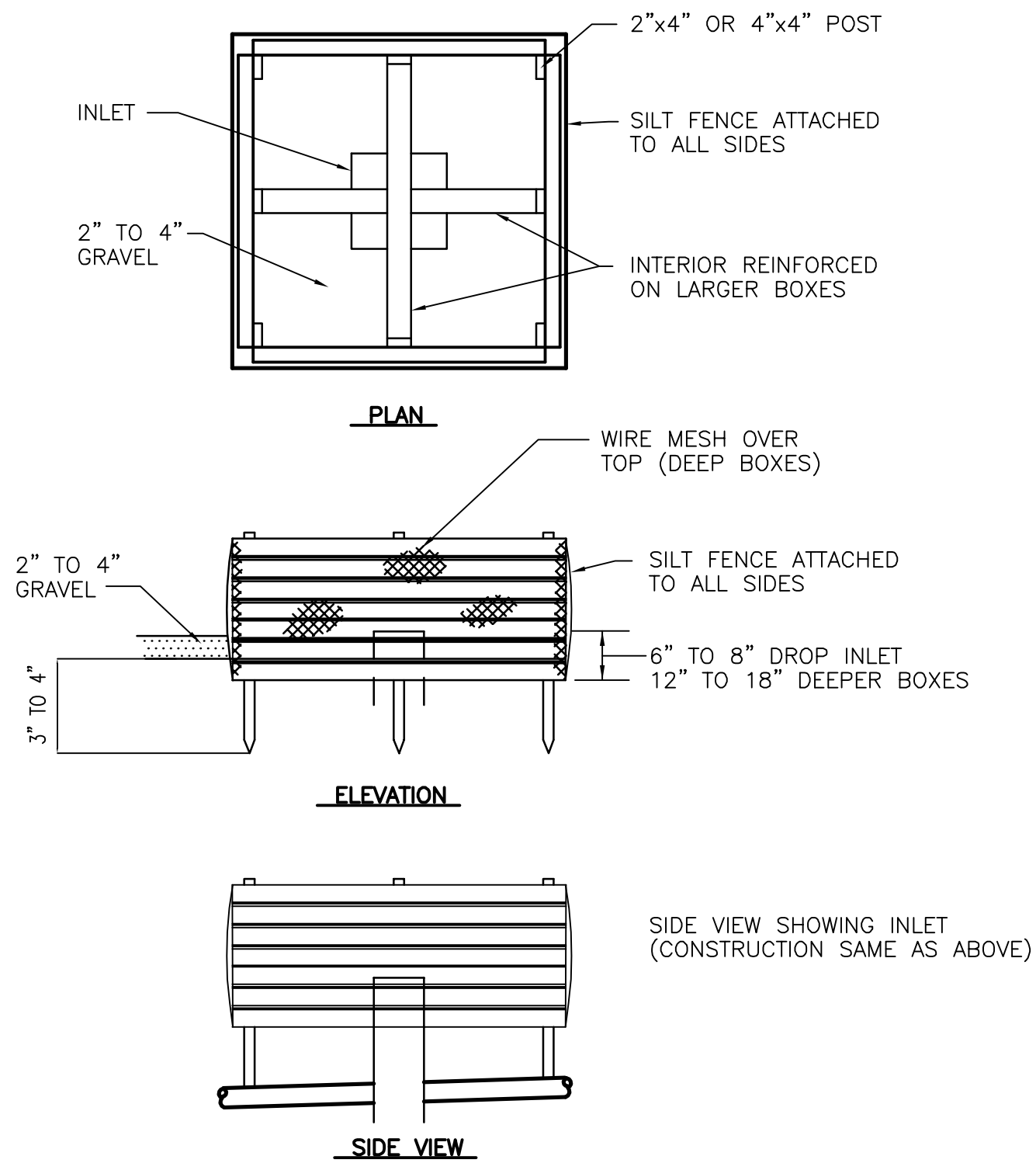
PROJECT NO.: 202049

SHEET NO.

C103



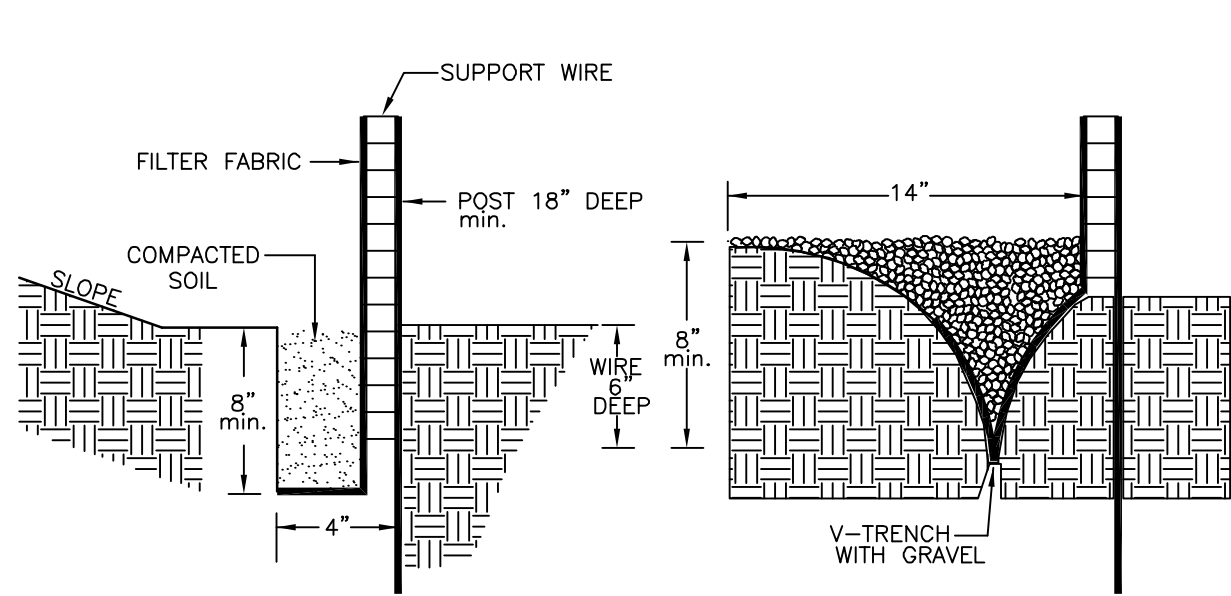




NOTE:

NO HOLES NEEDED ON BOXES MADE OF BOARDS SPACED 2" APART. 2" HOLES APPROX. 6" VERTICAL-6" HORIZONTAL ON PLYWOOD BOXES. SILT FENCE FABRIC ATTACHED TO ALL SIDES OF BOX (COARSE WEAVE). DIMENSIONS OF BOX WILL VARY ACCORDING TO THE SIZE OF INLET AND DEPTH BASE. USE WIRE MESH OVER TOP OF DEEP HOLES. SLIT BOXES TO BE LOCATED AT EACH CATCH BASIN.

**FILTER FENCE PROTECTION DETAIL**



FILTER FENCE SHALL BE NUTEC 3NWS-6 OR EQUAL.

**FILTER FENCE INSTALLATION DETAIL**

- FINISH GRADING AND SEEDING
- OVER THE APPROVED ROUGH GRADE (SEE SECTION E), SPREAD 4" MINIMUM OF TOPSOIL OR APPROVED FILL TO SUCH DEPTH AS WILL FINISH TO THE REQUIRED FINISH GRADES AND CONTOURS AFTER ROLLING AND NATURAL SETTLEMENT. NEW GRADES SHALL SLOPE UNIFORMLY BETWEEN LEVELS ESTABLISHED ON THE PLANS AND INTERSECTIONS OF NEW GRADES WITH EXISTING GRADES SHALL BE UNIFORM AND SMOOTH.
  - FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE SPREAD UNIFORMLY OVER THE AREA TO BE SEED. THEY SHALL BE MIXED INTO THE TOP 2" OF SOIL WITH A DISK HARROW, ROTARY TILLER OR OTHER APPROVED EQUIPMENT. FERTILIZER SHALL BE SPREAD AT THE RATE OF 800 POUNDS PER ACRE AND AGRICULTURAL LIMESTONE AT THE RATE OF 1/2 TON PER ACRE UNLESS OTHERWISE SPECIFIED.
  - TEMPORARY SEEDING IN THE AREAS WHERE STRIPPING, CUTS OR FILLS HAVE BEEN GRADED SHALL BE SEED. FOR SILT AND EROSION PROTECTION WITH ONE OF THE FOLLOWING METHODS:

A.EARLY SPRING MIX:	100% OATS
SEEDING RATE:	50 LBS./ACRE
B.SPRING OR LATE FALL MIX:	100% ANNUAL RYE
SEEDING RATE:	50 LBS./ACRE
C.FALL MIX:	100%PERENNIAL RYE
SEEDING RATE	50 LBS./ACRE

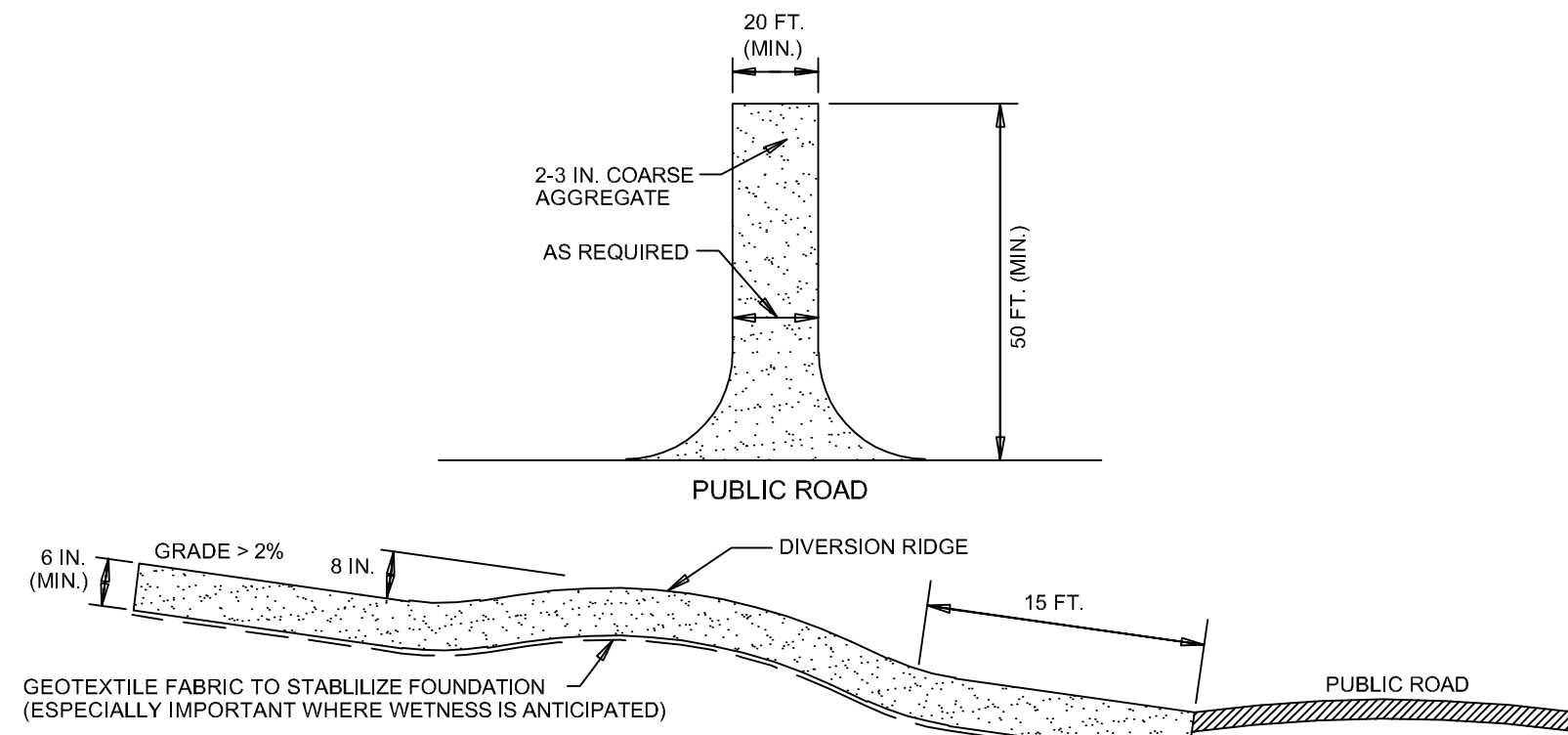
STRAW OR MULCH AS APPROVED BY THE ENGINEER SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.

Notes:

- Erosion and Sediment Control:
  - Ensure that all exposed soils are protected/seeded as soon as possible
  - Provide a concrete wash out area
  - All mud, dirt & debris that is tracked onto the road ways will need to be cleaned off immediately to prevent further tracking
  - Install straw bales or rock check dams in drainage swale during construction activities if necessary

Reminders

- Weekly or after rain events of .5 inches or greater, the project site owner or representative shall inspect all erosion control measures and perform and document necessary maintenance. Inspection and maintenance reports should be generated as conducted and available upon request.
- The site will be subject to periodic erosion and sediment control inspection by representatives from the City's MS4 Director to ensure compliance. The MS4 Director will notify the developer/owner in writing when inadequacies are observed, describing items to address and actions to be taken.
- Establish permanent seeding as soon as possible.
- All mud, dirt & debris that is tracked onto the road ways will need to be cleaned off immediately to prevent further tracking.



**REQUIREMENTS:**

Material: 2-3 in. washed stone (INDOT CA No.2) over a stable foundation.

Thickness: 6 in. minimum

Width: 12 ft. minimum or full width of entrance/exit roadway, whichever is greater.

Length: 50 ft. minimum. The length can be shorter for small sites such as for an individual home.

Washing facility (optional): Level area with 3 in washed stone minimum or a commercial rack, and waste water diverted to a sediment trap or basin.

Geotextile fabric underliner: May be used under wet conditions or for soils within a high seasonal water table to provide greater bearing strength.

**INSTALLATION:**

- Avoid locating on steep slopes or at curves in public roads.
- Remove all vegetation and other objectionable material from the foundation area, and grade and crown for positive drainage.
- If slope towards the road exceeds 2%, construct a 6-8 in.-high water bar (ridge) with 3:1 side slopes across the foundation area about 15 ft. from the entrance to divert runoff away from the road.
- Install pipe under the pad if needed to maintain proper public road drainage.
- If wet conditions are anticipated, place geotextile fabric on the graded foundation to improve stability.
- Place stone to dimensions and grade shown in the erosion control plan, leaving the surface smooth and sloped for drainage.
- Divert all surface runoff and drainage from the stone pad to a sediment trap or basin.

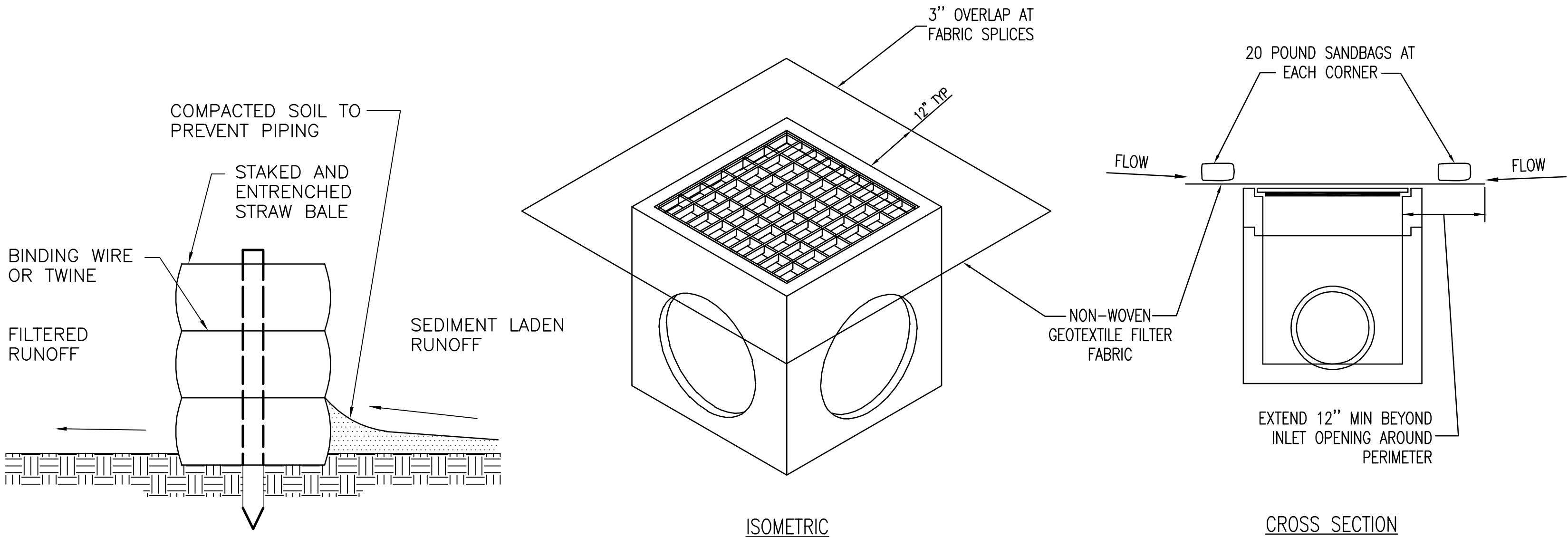
**MAINTENANCE:**

- Inspect entrance drive and sediment disposal area weekly and after storm events or heavy use.
- Reshape pad as needed for drainage and runoff control.
- Topdress with clean stone as needed.
- Immediately remove mud and sediment tracked or washed onto public roads by brushing or sweeping. Flushing should only be used if the water is conveyed into a sediment trap or basin.
- Repair any broken road pavement immediately.

**COMMON CONCERNS:**

Inadequate runoff control--results in sediment washing onto road.  
Stone too small, pad too thin, or geotextile fabric absent--results in ruts and a muddy condition as stone is pressed into the soil: add more stone.  
Pad too short for heavy construction traffic--extend the pad beyond the 50-ft. length as needed.  
Pad not flared sufficiently at road entrance--results in mud being tracked onto the road and possible damage to the road edge: widen stone entrance and repair road damage.  
Unstable foundation--use geotextile fabric under th pad and/or improve foundation drainage.

**TEMPORARY CONSTRUCTION ENTRANCE DETAIL**



**STRAW BALE BARRIER DETAIL**

**PIPE INLET PROTECTION**

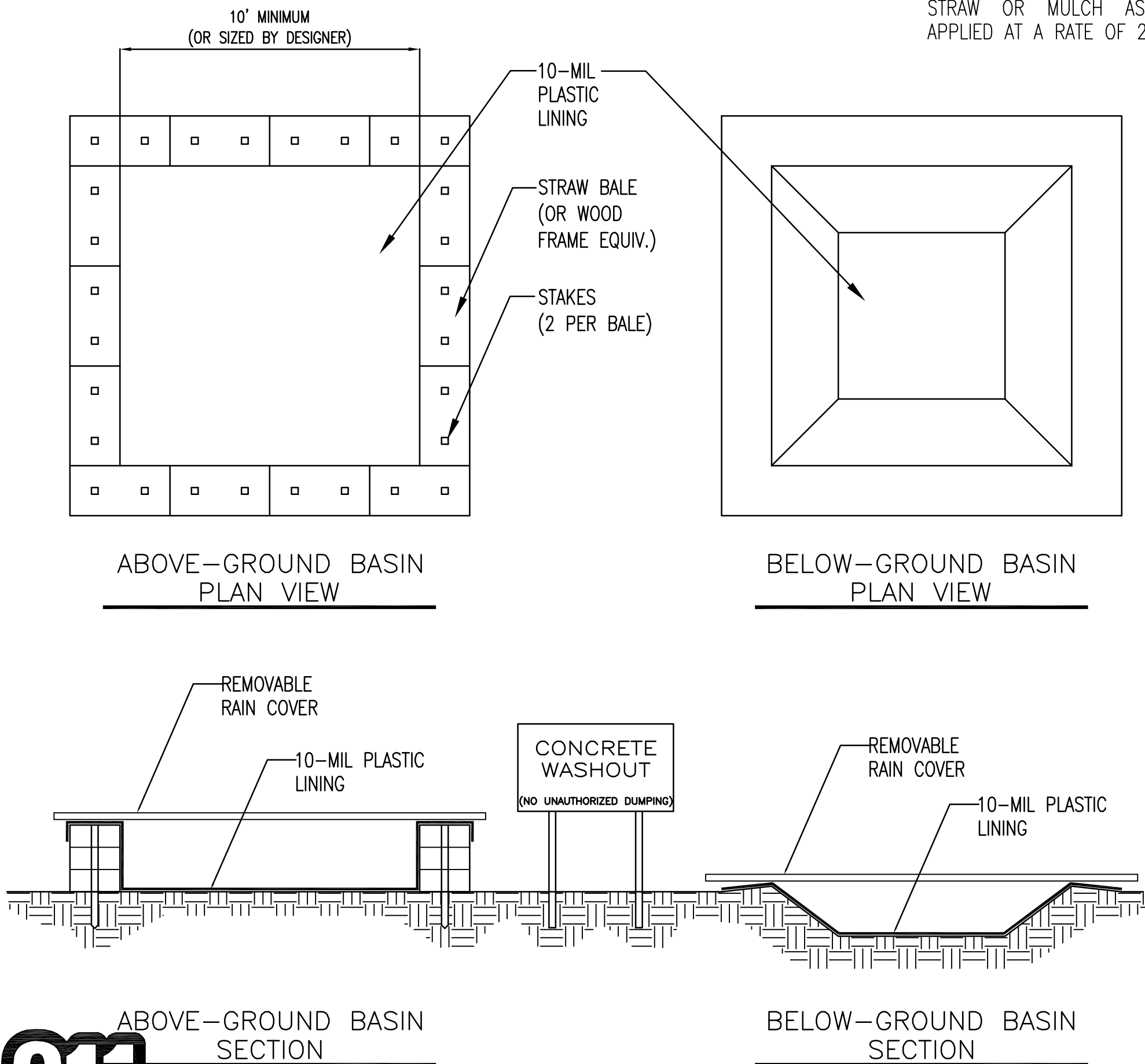
NTS

NOTES:

- DAILY INSPECTION SHALL BE MADE BY THE CONTRACTOR AND SILT ACCUMULATION MUST BE REMOVED WHEN DEPTH REACHES 2".
- CONTRACTOR SHALL MONITOR THE PERFORMANCE OF INLET PROTECTION DURING EACH RAINFALL EVENT AND IMMEDIATELY CLEAN THE INLET PROTECTION IF EXCESSIVE PONDING OCCURS.
- INLET PROTECTIONS SHALL BE REMOVED AS SOON AS THE SOURCE OF SEDIMENT IS STABILIZED.

**FILTER MESH INLET PROTECTION**

NTS

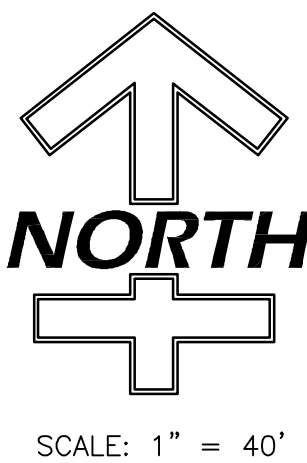


**CONCRETE WASHOUT**

NTS

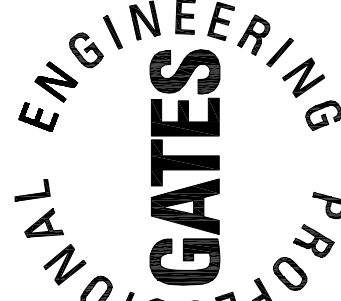
NOTES:

- ACTUAL LAYOUT DETERMINED IN THE FIELD.
- "CONCRETE WASHOUT" SIGN TO BE LOCATED ADJACENT TO WASHOUT FACILITY.
- REMOVABLE RAIN COVER REQUIRED DURING WET WEATHER SEASON.



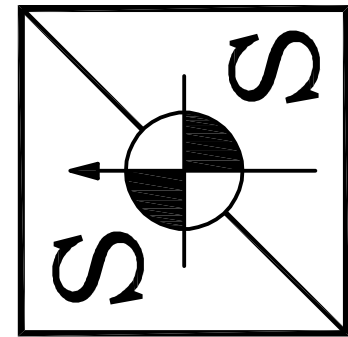
SCALE: 1" = 40'

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SEAL

SHEET NAME  
EROSION CONTROL DETAILS

PROJECT NAME  
AL BERTHOUEX-1.30 AC.  
N. MICHIGAN RD.  
SHELBYVILLE, IN 46176

DATE: FEB. 26, 2021

PROJECT NO.: 202049

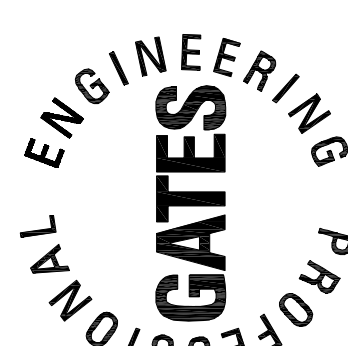
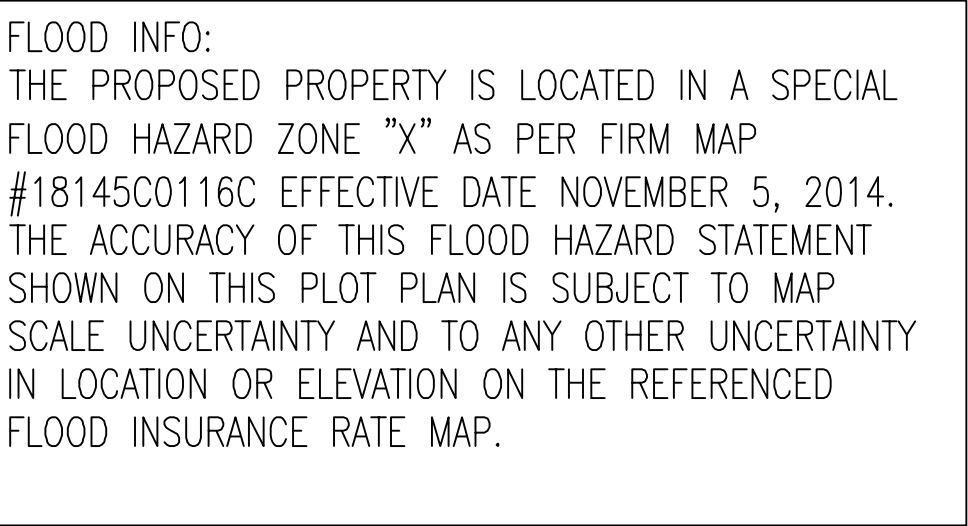
SHEET NO.

C104

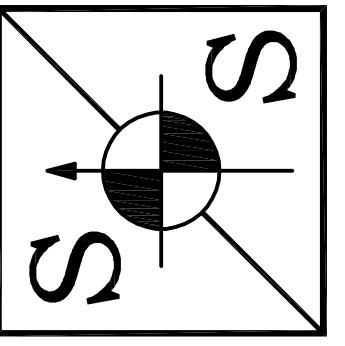


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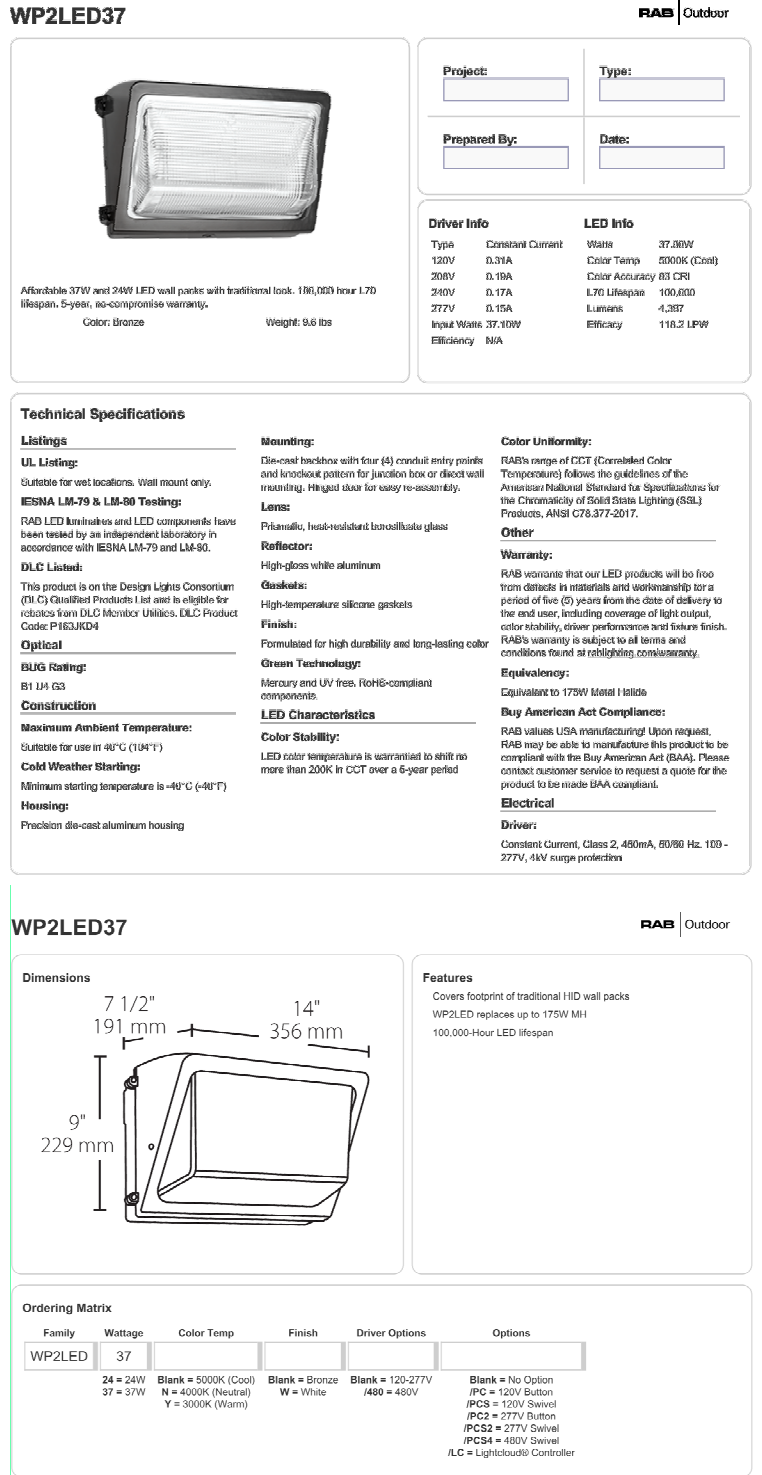
SHEET NAME	PROJECT NAME
PROPOSED SITE LIGHTING PLAN	AL BERTHOUEX-1.30 AC. N. MICHIGAN RD. SHELBYVILLE, IN 46176

DATE: FEB. 26, 2021

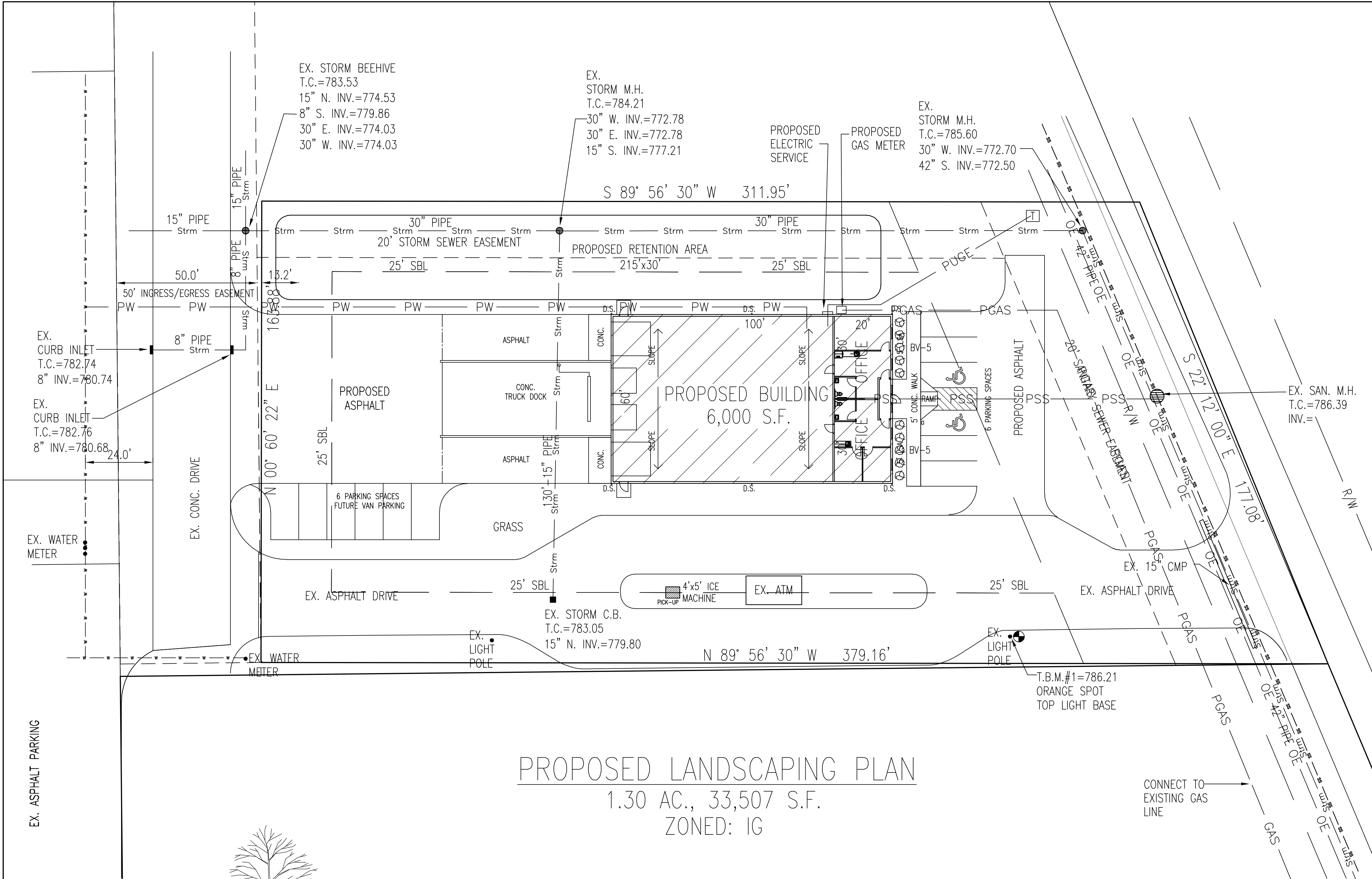
PROJECT NO.: 202049

SHEET NO.

C105







FLOOD INFO:  
THE PROPOSED PROPERTY IS LOCATED IN A SPECIAL  
FLOOD HAZARD ZONE "X" AS PER FIRM MAP  
#18145C0116C EFFECTIVE DATE NOVEMBER 5, 2014.  
THE ACCURACY OF THIS FLOOD HAZARD STATEMENT  
SHOWN ON THIS PLOT PLAN IS SUBJECT TO MAP  
SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY  
IN LOCATION OR ELEVATION ON THE REFERENCED  
FLOOD INSURANCE RATE MAP.

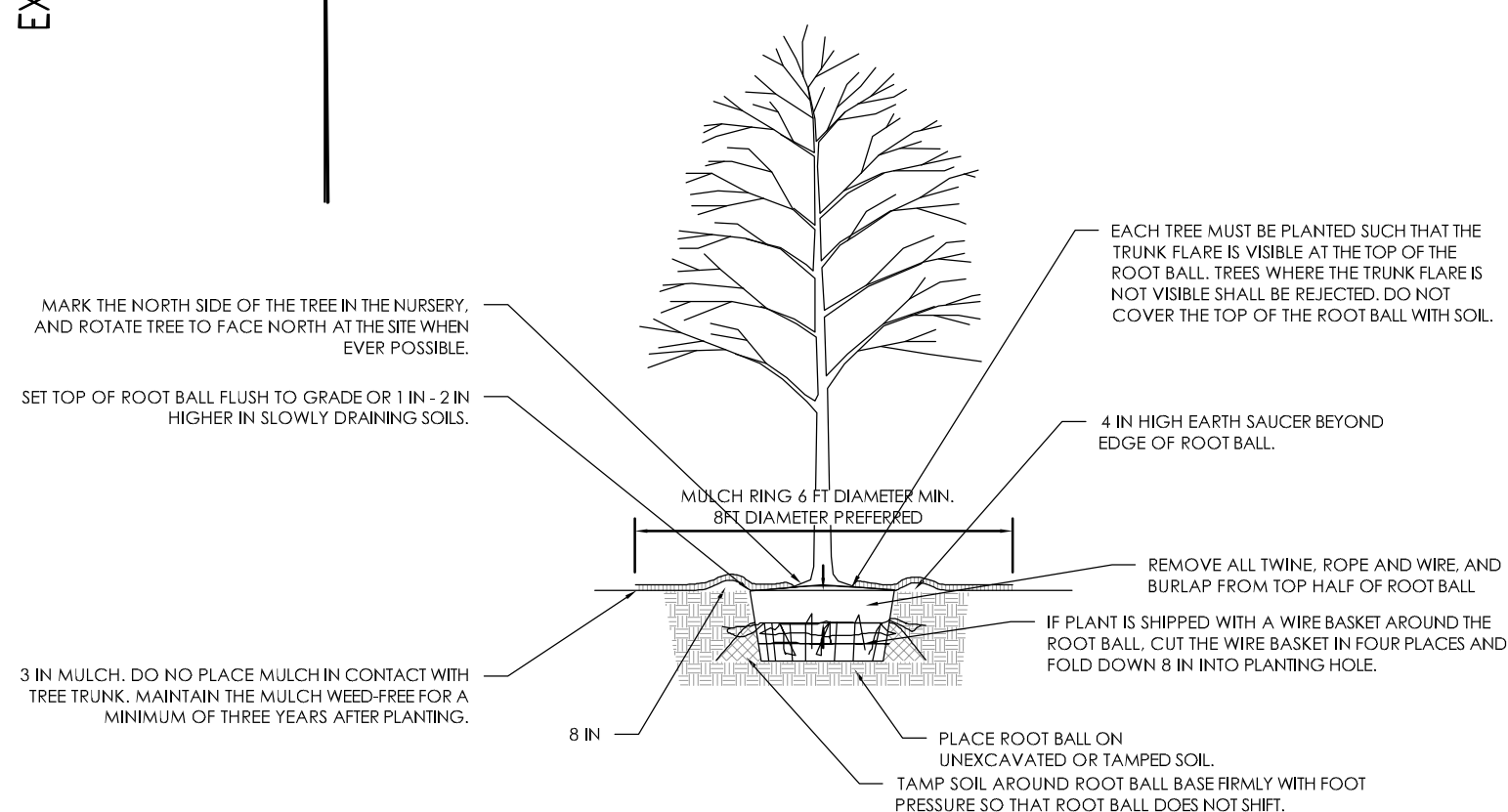


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**GATES**  
PROFESSIONAL ENGINEERING

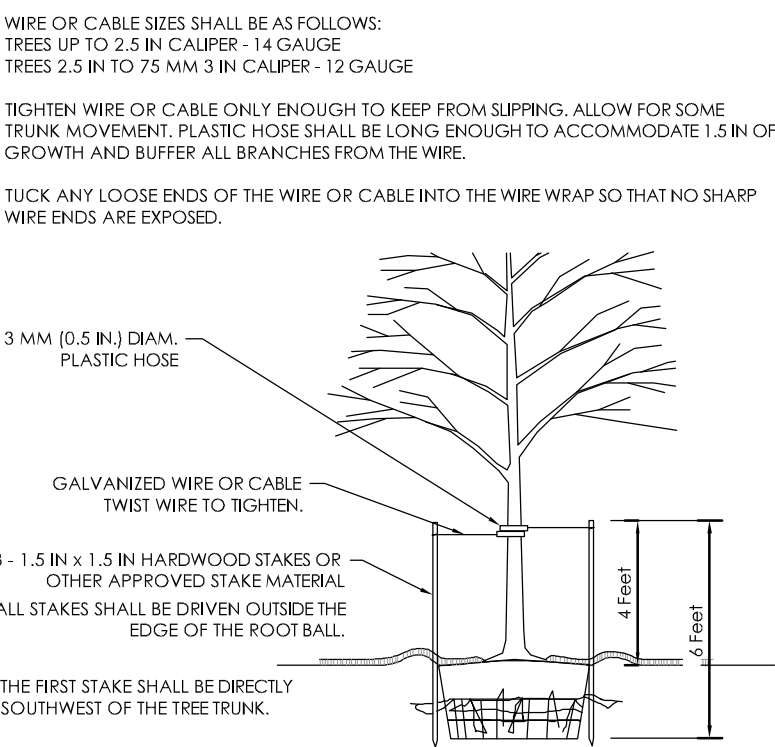
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PROPOSED LANDSCAPING PLAN  
1.30 AC., 33,507 S.F.  
ZONED: IG



NOTE:  
1. THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN AN 8' SQUARE OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.  
2. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.  
3. WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.  
4. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVERS, LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.  
5. FOR DIMENSIONS OF PLANTING AREAS, TYPES OF SOIL, AMENDMENTS, OR SOIL REPLACEMENT, SEE "SOIL IMPROVEMENT DETAILS".

TREE PLANTING DETAIL, FOR B&B ALL SOIL TYPES  
NOT TO SCALE



TREE STAKING DETAIL, 3" CALIPER OR LESS  
NOT TO SCALE

PLANTING LEGEND

- BV-1 18", BOXWOOD, GREEN VELVET, BUXUS X 'GREEN VELVET'
- JC-1 15' MATURE, JUNIPER, JUNIPERUS COMMUNIS
- RS-1 45', RED SUNSET MAPLE, ACER RUBRUM 'RED SUNSET'

TREES AND SHRUBS MUST MEET SIZE REQUIREMENT  
EXPRESSED IN THE UNITED DEVELOPMENT ORDINANCE.

PLANT SCHEDULE - TREES/SHRUBS

Key	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	MATURE SIZE	QTY.
BV	BUXUS X 'GREEN VELVET'	BOXWOOD, GREEN VELVET	15"-18"	48" HT./36" SPREAD	24
JC	JUNIPERUS COMMUNIS	JUNIPER	1 1/2" CAL.	15' HT./8' SPREAD	6
RS	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2.5"	45' HT./35' SPREAD	2

- NOTES:
- FOR COMPLETE LAYOUT INFORMATION SEE CIVIL DRAWINGS.
  - VERIFY UNDERGROUND UTILITY LOCATIONS PRIOR TO PLANT INSTALLATION.
  - CONTRACTOR TO VERIFY QUANTITIES; NOTIFY LANDSCAPING ARCHITECT OF ANY DISCREPANCIES.
  - CONTRACTOR TO VERIFY FIELD CONDITIONS; NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS.
  - STAKE ALL TREES AND LARGE SHRUBS AS INDICATED BY INDUSTRY STANDARDS.
  - ALL PLANT PLANT BEDS ARE TO BE SPADE EDGED UNLESS NOTED OTHERWISE, PROVIDE STEEL EDGE BID ALTERNATE.
  - ALL PLANT MASSES TO BE CONTAINED WITHIN MULCH BED.
  - ALL GROUNDCOVER BEDS ARE TO BE MULCHED WITH 1" MIN.; SHRUBS WITH 3" MIN. DEPTH WITH SHREDDED HARDWOOD MULCH.
  - CONTRACTOR TO REGRADE, REPAIR AND REPLANT ALL AREAS DISTURBED BY CONSTRUCTION, INCLUDING ANY OFF-PROPERTY AND OR OTHERWISE NOT INDICATED ON PLANS.
  - ALL TURF AREAS ARE TO BE SODDED, UNLESS NOTED.
  - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AND PLANTING BED AREAS.
  - CONTRACTOR SHALL USE TREE & SHRUB DETAILS AS PLANTING GUIDELINES.
  - PROVIDE LAWN IRRIGATION IN ALL LAWN AND PLANTING AREAS.
  - LANDSCAPE PLAN AND COUNT TO BE ADJUSTED AND COORDINATED WITH TREE SAVE PLAN.

**811**  
Know what's below.  
Call before you dig.

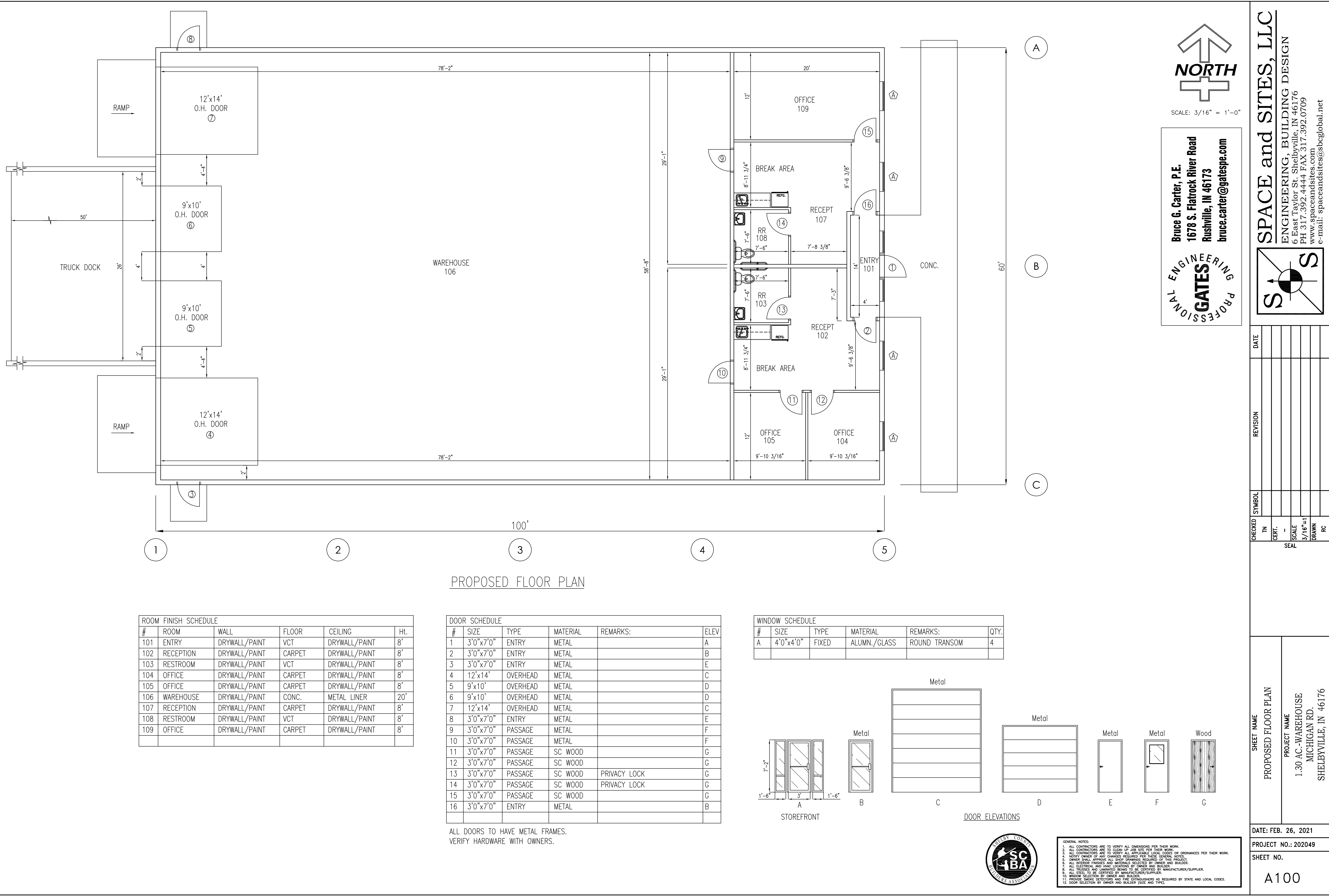


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1"=20'			
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SEAL

SHEET NAME	PROPOSED LANDSCAPING PLAN
PROJECT NAME	AL BERTHOUEX-1.30 AC. N. MICHIGAN RD. SHELBYVILLE, IN 46176

DATE: FEB. 26, 2021  
PROJECT NO.: 202049  
SHEET NO.  
C106

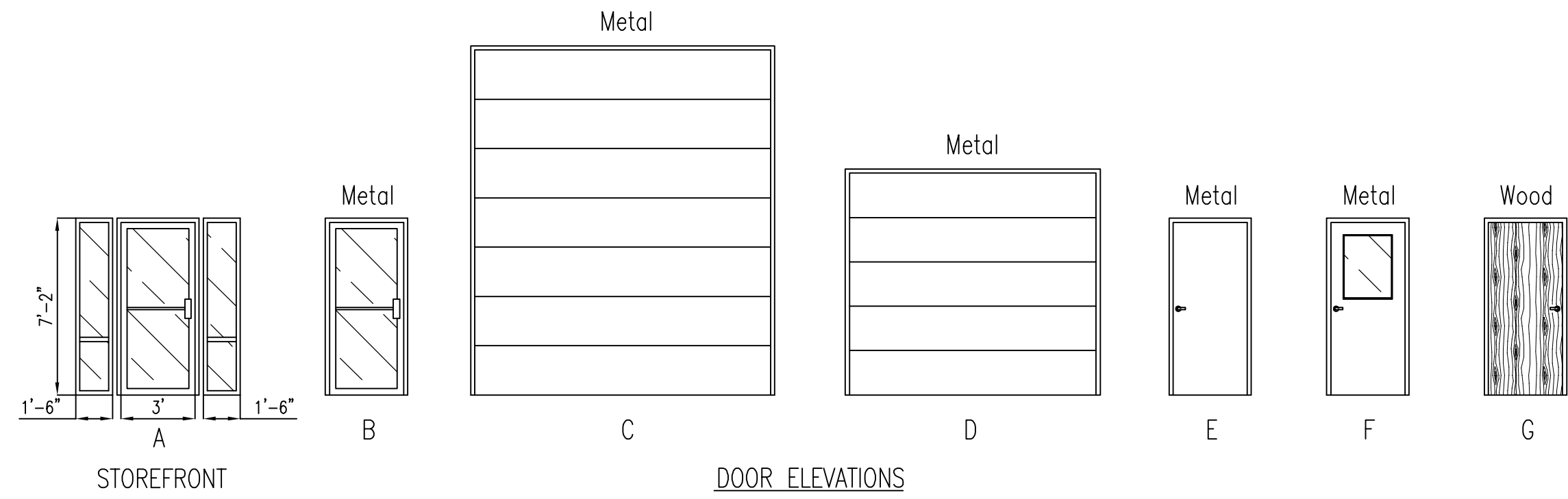


ROOM FINISH SCHEDULE					
#	ROOM	WALL	FLOOR	CEILING	Ht.
101	ENTRY	DRYWALL/PAINT	VCT	DRYWALL/PAINT	8'
102	RECEPTION	DRYWALL/PAINT	CARPET	DRYWALL/PAINT	8'
103	RESTROOM	DRYWALL/PAINT	VCT	DRYWALL/PAINT	8'
104	OFFICE	DRYWALL/PAINT	CARPET	DRYWALL/PAINT	8'
105	OFFICE	DRYWALL/PAINT	CARPET	DRYWALL/PAINT	8'
106	WAREHOUSE	DRYWALL/PAINT	CONC.	METAL LINER	20'
107	RECEPTION	DRYWALL/PAINT	CARPET	DRYWALL/PAINT	8'
108	RESTROOM	DRYWALL/PAINT	VCT	DRYWALL/PAINT	8'
109	OFFICE	DRYWALL/PAINT	CARPET	DRYWALL/PAINT	8'

DOOR SCHEDULE					
#	SIZE	TYPE	MATERIAL	REMARKS:	ELEV
1	3'0"x7'0"	ENTRY	METAL		A
2	3'0"x7'0"	ENTRY	METAL		B
3	3'0"x7'0"	ENTRY	METAL		E
4	12'x14'	OVERHEAD	METAL		C
5	9'x10'	OVERHEAD	METAL		D
6	9'x10'	OVERHEAD	METAL		D
7	12'x14'	OVERHEAD	METAL		C
8	3'0"x7'0"	ENTRY	METAL		E
9	3'0"x7'0"	PASSAGE	METAL		F
10	3'0"x7'0"	PASSAGE	METAL		F
11	3'0"x7'0"	PASSAGE	SC WOOD		G
12	3'0"x7'0"	PASSAGE	SC WOOD		G
13	3'0"x7'0"	PASSAGE	SC WOOD	PRIVACY LOCK	G
14	3'0"x7'0"	PASSAGE	SC WOOD	PRIVACY LOCK	G
15	3'0"x7'0"	PASSAGE	SC WOOD		G
16	3'0"x7'0"	ENTRY	METAL		B

ALL DOORS TO HAVE METAL FRAMES.  
VERIFY HARDWARE WITH OWNERS.

WINDOW SCHEDULE					
#	SIZE	TYPE	MATERIAL	REMARKS:	QTY.
A	4'0"x4'0"	FIXED	ALUMN./GLASS	ROUND TRANSOM	4



GENERAL NOTES:  
1. ALL CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PER THEIR WORK.  
2. ALL CONTRACTORS ARE TO CLEAN UP JOB SITE PER THEIR WORK.  
3. ALL CONTRACTORS ARE TO VERIFY ALL APPLICABLE LOCAL CODES OR ORDINANCES PER THEIR WORK.  
4. NOTIFY OWNER OF ANY CHANGES REQUIRED FOR THESE GENERAL NOTES.  
5. OWNER SHALL APPROVE ALL SHOP DRAWINGS REQUIRED FOR THIS PROJECT.  
6. ALL INTERIOR FINISHES AND MATERIALS SELECTED BY OWNER AND BUILDER.  
7. ALL ELECTRICAL AND HVAC LOCATIONS BY OWNER AND BUILDER.  
8. PROVIDE SMOKE DETECTORS AND FIRE EXTINGUISHERS AS REQUIRED BY STATE AND LOCAL CODES.  
9. ALL STEEL TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.  
10. WINDOW SELECTION BY OWNER AND BUILDER.  
11. PROVIDE SMOKE DETECTORS AND FIRE EXTINGUISHERS AS REQUIRED BY STATE AND LOCAL CODES.  
12. DOOR SELECTION BY OWNER AND BUILDER (SIZE AND TYPE).

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↑

NORTH

SCALE: 3/16" = 1'-0"

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PROFESSIONAL ENGINEERING

GATES

DATE

REVISION

SUBMIT

CHECKED

TN

CERT.

SCALE

3/16"=1'

DRAWN

RC

SHEET NAME

PROPOSED FLOOR PLAN

PROJECT NAME

1.30 AC.-WAREHOUSE

MICHIGAN RD.

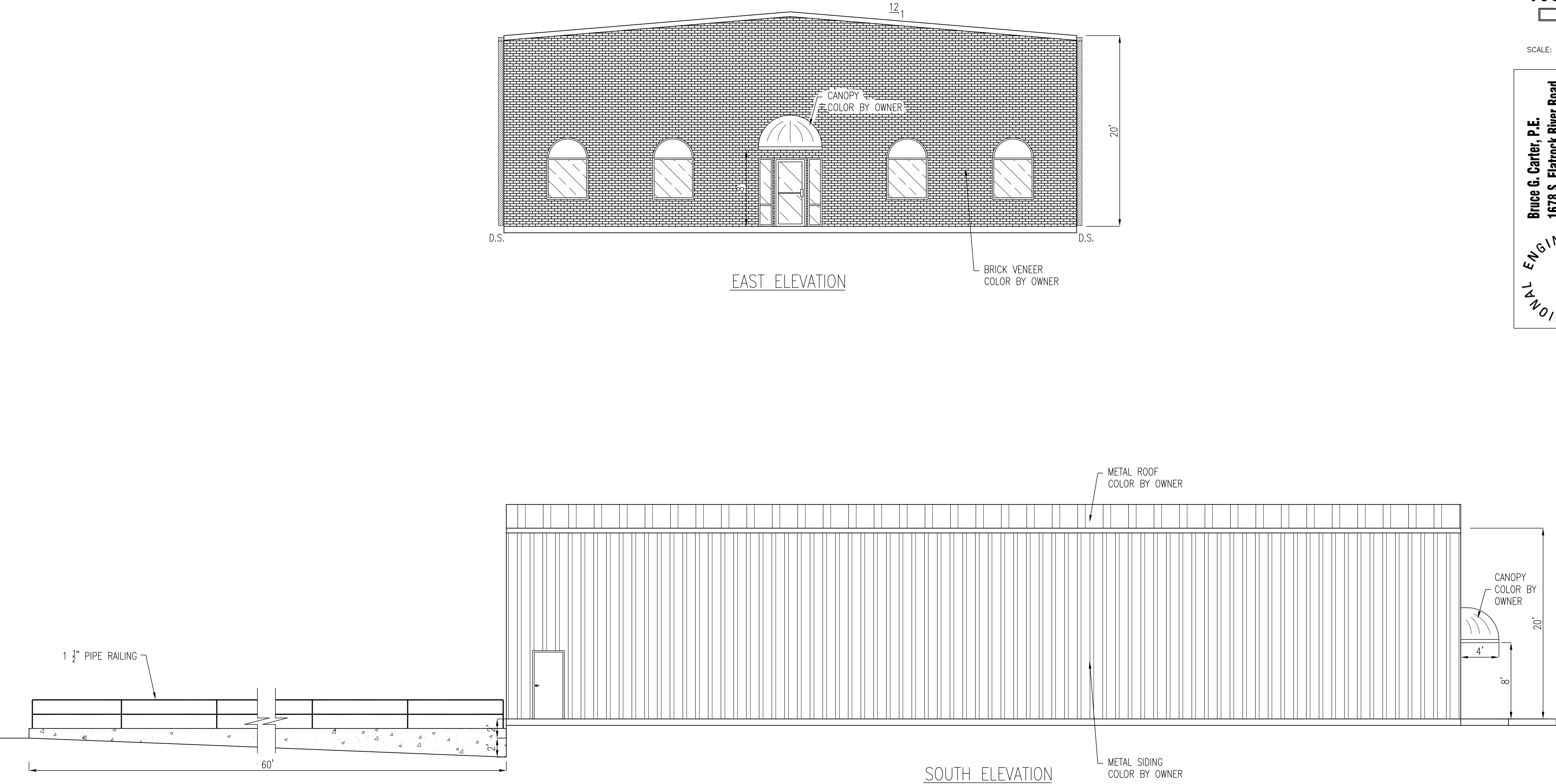
SHELBYVILLE, IN 46176

DATE: FEB. 26, 2021

PROJECT NO.: 202049

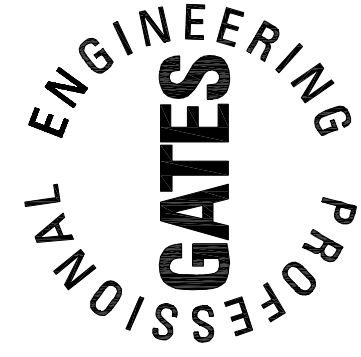
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A100

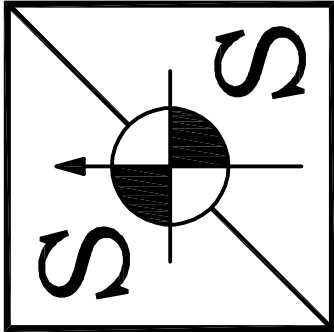


SCALE: 3/16" = 1'-0"

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SEAL

SHEET NAME	PROJECT NAME
PROPOSED EXTERIOR ELEVATIONS	1.30 AC.-WAREHOUSE MICHIGAN RD. SHELBYVILLE, IN 46176

DATE: FEB. 26, 2021

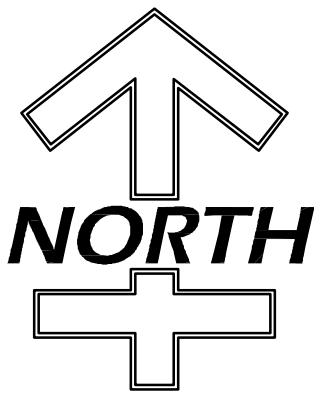
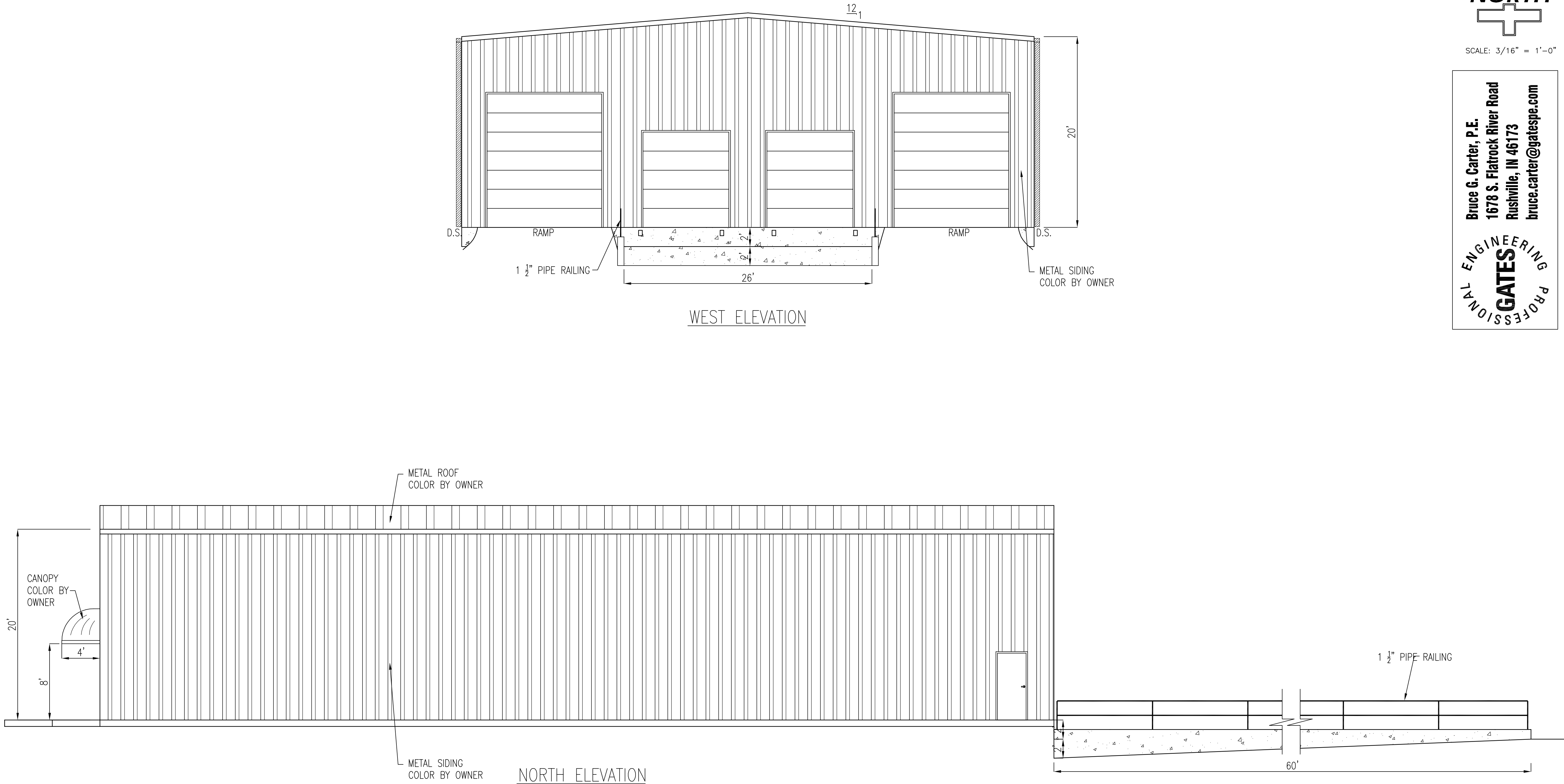
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A200

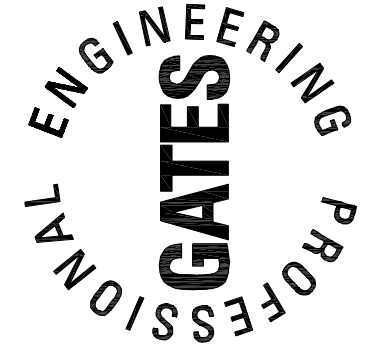


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  2. ALL CONTRACTORS ARE TO CLEAN UP JOB SITE PER THEIR WORK.
  3. ALL CONTRACTORS ARE TO VERIFY ALL APPLICABLE LOCAL CODES OR ORDINANCES PER THEIR WORK.
  4. NOTIFY OWNER OF ANY CHANGES REQUIRED FOR THESE GENERAL NOTES.
  5. OWNER SHALL APPROVE ALL SHOP DRAWINGS REQUIRED OF THIS PROJECT.
  6. ALL INTERIOR FINISHES AND MATERIALS SELECTED BY OWNER AND BUILDER.
  7. ALL ELECTRICAL AND HVAC LOCATIONS BY OWNER AND BUILDER.
  8. ALL TRUSSES AND LAMINATED BEAMS TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
  9. ALL STEEL TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
  10. WINDOW SELECTION BY OWNER AND BUILDER.
  11. PROVIDE SMOKE DETECTORS AND FIRE EXTINGUISHERS AS REQUIRED BY STATE AND LOCAL CODES.
  12. DOOR SELECTION BY OWNER AND BUILDER (SIZE AND TYPE).

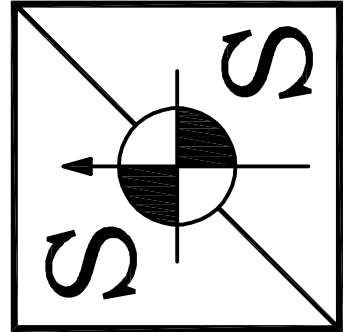


SCALE: 3/16" = 1'-0"

**Bruce G. Carter, P.E.**  
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Rushville, IN 46173  
bruce.carter@gatespe.com



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e-mail: spaceandsites@sbcglobal.net



CHECKED	SYMBOL	REVISION	DATE
TN			
CERT.			
-			
SCALE			
3/16"=1'			
DRAWN			
RC			

SHEET NAME	PROJECT NAME
PROPOSED EXTERIOR ELEVATIONS	1.30 AC.-WAREHOUSE MICHIGAN RD. SHELBYVILLE, IN 46176

DATE: FEB. 26, 2021

PROJECT NO.: 202049

SHEET NO.

A201



- GENERAL NOTES:
1. ALL CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PER THEIR WORK.
  2. ALL CONTRACTORS ARE TO CLEAN UP JOB SITE PER THEIR WORK.
  3. ALL CONTRACTORS ARE TO VERIFY ALL APPLICABLE LOCAL CODES OR ORDINANCES PER THEIR WORK.
  4. NOTIFY OWNER OF ANY CHANGES REQUIRED FOR THESE GENERAL NOTES.
  5. OWNER SHALL APPROVE ALL SHOP DRAWINGS REQUIRED FOR THIS PROJECT.
  6. ALL INTERIOR FINISHES AND MATERIALS SELECTED BY OWNER AND BUILDER.
  7. ALL ELECTRICAL AND HVAC LOCATIONS BY OWNER AND BUILDER.
  8. ALL TRUSSES AND LAMINATED BEAMS TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
  9. ALL STEEL TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
  10. WINDOW SELECTION BY OWNER AND BUILDER.
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