

CITY OF SHELBYVILLE

Adam M Rude
Director



Allan Henderson
Deputy Director

PLAN COMMISSION

MEETING DATE: 9/27/2021

Case Number & Name:	PC 2021-14; SR 44 Outlot/Urgent Care; Site Development Plan			
Petitioner's Name:	Civil & Environmental Consultant, Inc.			
Owner's Name:	GWM Real Estate LLC			
Petitioner's Representative:	Rusty Skoog, Civil & Environmental Consultants, Inc.			
Address of Property:	1778 State Road 44, Shelbyville, IN 46176			
Subject Property Zoning Classification:	BH – Business Highway			
Comprehensive Future Land use:	Gateway-Mixed Use			
	North	East	South	West
Surrounding Properties' Zoning Classifications:	Business Highway	Business Highway	Business Highway	Business Highway
Surrounding Properties' Comprehensive Future Land Use	Gateway/ Mixed Use	Gateway/ Mixed Use	Gateway/ Mixed Use	Gateway/ Mixed Use
History:	The site is a new parcel on an outlot subdivided from Rural King.			
Vicinity Map:				
Action Requested:	Site Development Plan approval for a new urgent care facility.			

1. This petition is to construct an Urgent Care facility at 1778 State Road 44. The proposal includes a 3,735 sq. ft. facility. The project is creating a .53 acre outlot on a current 9.79 acre lot where Rural King is located on State Road 44.
2. The Zoning Ordinance (Section 9.05 (F) (5)) requires the Plan Commission make Findings of Fact that the Site Development Plan:

a. Is consistent with the City of Shelbyville Comprehensive Plan:

The planning staff has determined the subject petition is consistent with the goals of the Comprehensive Plan. A focus of the Comprehensive Plan is to “Promote Development and Redevelopment of Existing Sites and Buildings”. The proposed project is redeveloping part of an existing lot that is currently 100% impervious. The proposed project will include new landscape areas and improved drainage.

b. Meets the Technical Review Committee’s expectations for best practices and quality design:

The Technical Review Committee reviewed the site development plan against their applicable standards. The petitioner has responded and addressed the Tech Review Committee’s comments. The only outstanding issue is a plan for Rural King Parking reconfiguration needs to be reviewed by the Planning Staff.

c. Satisfies the applicable requirements of Article 2: Zoning Districts:

The planning staff has determined the subject petition is consistent with the business highway zoning district. The business highway is intended to provide areas for business that either service travelers or requires immediate access to high-volume streets for the delivery of goods and services. This district should be integrated into the community at its entrances and in centers along major transportation routes.

d. Satisfies the applicable requirements of Article 5: Development Standards:

All standards of Article 5 of the Unified Development Ordinance appear to be met, except:

UDO 5.08 Architectural Standards (A)(3):

Other Facades: Any other facade (i.e. not the front facade) that faces an interstate, highway, or arterial street shall be finished to a standard similar to the architectural quality of the front facade, including building materials, architectural details, windows, or faux windows. Facades thirty (30) feet or greater in length or facade faces 420 square feet or greater in area without visual relief shall not be permitted.

UDO 5.08 Architectural Standards (A)(5):

Ground Floor Facades: Ground floor facades that face public streets shall have arcades, display windows, entry areas, awnings, and/or other such features, along no less than sixty percent (60%) of their horizontal length.

Note: The rear and side elevations are not meeting this requirement. The design needs to incorporate faux windows or other features into the elevations.

UDO 5.08 Architectural Standards (B)(2):

Roof Design Features: Roofs shall have no less than two (2) of the following features:

- a. Parapets concealing flat roofs and rooftop equipment such as HVAC units from public view. The average height of such parapets shall not exceed fifteen percent (15%) of the height of the supporting wall. Such parapets shall feature three-dimensional cornice

treatment.

- b. Sloping roofs that do not exceed the average height of the supporting walls with an average slope greater than or equal to one (1) foot of vertical rise for every three (3) feet of horizontal run and less than or equal to one (1) foot of vertical rise for every one (1) foot of horizontal run.
- c. Three (3) or more roof slope planes.

Note: The parapet does not appear to be a three-dimensional cornice treatment.

e. Satisfies the applicable requirements of Article 6: Design Standards

Article 6: Design Standards provides the standards for all subdivisions and generally apply to the construction of residential planned unit developments with public improvements. Article 6: Design Standards do not apply to this project.

f. Satisfies any other applicable provisions of the Unified Development Ordinance.

All other applicable provisions of the Unified Development Ordinance are being satisfied by the submitted civil plans.

STAFF RECOMMENDATION: APPROVAL WITH CONDITIONS

1. Elevations are resubmitted and approved by the Planning Staff.
2. Plan for Rural King Parking reconfiguration submitted and approved by the Planning Staff.

Site Development Plan: PC 2021-14; SR 44 Outlot/Urgent Care; Site Development Plan

Findings of Fact by the Shelbyville Plan Commission

Staff Prepared

Motion:

(I) would like to make a motion to approve the site development plan as presented to this body, pursuant to the planning staff's report and Findings of Fact.

1. ☐ The site development plan is consistent with the *City of Shelbyville Comprehensive Plan* as outlined in the planning staff's report.
☐ The site development plan is **not** consistent with the *City of Shelbyville Comprehensive Plan*, as outlined in the planning staff's report.
2. ☐ The site development plan meets the Technical Review Committee's expectations for best practices and quality design, as outlined in the planning staff's report, as outlined in the planning staff's report.
☐ The site development plan **does not** meet the Technical Review Committee's expectations for best practices and quality design, as outlined in the planning staff's report, as outlined in the planning staff's report
3. ☐ The site development plan satisfies the applicable requirements of Article 2: *Zoning Districts*, as outlined in the planning staff's report.
☐ The site development plan **does not** satisfy the applicable requirements of Article 2: *Zoning Districts*, as outlined in the planning staff's report.
4. ☐ The site development plan satisfies the applicable requirements of Article 5: *Development Standards*, as outlined in the planning staff's report.
☐ The site development plan **does not** satisfy the applicable requirements of Article 5: *Development Standards*, as outlined in the planning staff's report.
5. ☐ The site development plan satisfies the applicable requirements of Article 6: *Design Standards*, as outlined in the planning staff's report.
☐ The site development plan **does not** satisfy the applicable requirements of Article 6: *Design Standards*, as outlined by the planning staff's report.
6. ☐ This site development plan satisfies all other applicable provision of the *Unified Development Ordinance*, as outlined by the planning staff's report.
☐ The site development plan **does not** satisfy all other applicable provision of the *Unified Development Ordinance*, as outlined in the planning staff's report.

Additional Conditions Imposed by the Shelbyville Plan Commission:

1.

2.

3.

Shelbyville Plan Commission

By: _____

Chairperson / Presiding Officer

Attest: _____

Adam M. Rude, Secretary



SITE DEVELOPMENT PLAN APPLICATION

Shelbyville Planning & Building Department
44 West Washington Street
Shelbyville, IN 46176
P: 317.392.5102

For Office Use Only:

Case #: PC _____

Hearing Date: _____

Fees Paid: \$ _____

Final Decision: _____

Approved _____ Denied _____

1.

Applicant

Name: Civil & Environmental Consultants, Inc.

Address: 530 E. Ohio Street, Suite G
Indianapolis, Indiana 46204

Phone Number: 317-655-7777

Fax Number: _____

Email: asyers@cecinc.com

Property Owners Information (if different than Applicant)

Name: GWM Real Estate, LLC et al (see PRC attached)

Address: 4216 Dewitt Ave, Mattoon, IL 61938

Phone Number: _____

Fax Number: _____

Email: _____

2.

Applicant's Attorney/Representative

Name: Civil & Environmental Consultants, Inc.

Address: 530 E. Ohio Street, Suite G
Indianapolis, Indiana 46204

Phone Number: 317-655-7777

Fax Number: _____

Email: _____

Project Engineer

Name: Rusty Skoog

Address: 530 E. Ohio Street, Suite G
Indianapolis, Indiana 46204

Phone Number: 317-655-7777

Fax Number: _____

Email: _____

3. Project Information:

General Location of Property (and address is applicable): 1800 State Road 44, Shelbyville, Indiana

Current Zoning: BH (Business Highway)

Proposed Zoning: BH (Business Highway)

Existing Use of Property: Retail/Shopping Center

Proposed Use: Retail/Shopping Center, Medical Office

4. Attachments

☒ Affidavit and Consent of Property Owner (if applicable)

☒ Proof of Ownership (copy of deed, recent property card)

☐ Letter of Intent

☒ Civil Plans as prescribed in UDO 9.05

☒ Vicinity Map

☐ Lighting Plan

☐ Landscaping Plan

☒ Drainage Plan and Report

☒ Dimensioned Site Plan

☒ Filling Fee

The undersigned states the above information is true and correct as s/he is informed and believes.

Applicant: [Signature] Date: 8/19/2021

State of Indiana
County of Marion SS:

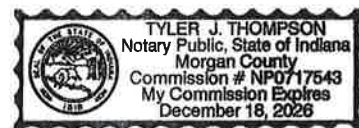
Subscribed and sworn to before me this 19th day of August, 2021.

[Signature]
Notary Public

Tyler J. Thompson
Printed

Residing in Morgan County.

My Commission Expires: 12-18-26



TECHNICAL REVIEW SUBMITTAL

Shelbyville Planning & Building Department
44 West Washington Street
Shelbyville, IN 46176
P: 317.392.5102

Project Name: Shelbyville Urgent Care

Applicant:

Name: Civil & Environmental Consultants, Inc.

Address: 530 E. Ohio Street, Suite G
Indianapolis, Indiana 46204

Phone Number: 317-655-7777

Fax Number: asyers@cecinc.com

Owner:

Name: GWM Real Estate, LLC et al (see PRC attached)

Address: 4216 Dewitt Ave, Mattoon, IL 61938

Phone Number: _____

Fax Number: _____

Project Designer:

Name: Rusty Skoog

Address: 530 E. Ohio Street, Suite G
Indianapolis, Indiana 46204

Phone Number: 317-655-7777

Fax Number: _____

Address or Location of Property:

1800 State Road 44, Shelbyville, Indiana

Type of Review

☐

- ☒ **Major Subdivision Preliminary Plat**
- ☐ **Minor Subdivision Preliminary Plat**
- ☒ **Site Development Plan**
- ☐ **Planned Unit Development Conceptual Plans**
- ☐ **Planned Unit Development Detail Plans**
- ☐ **Construction Plans**
- ☐ **Others** _____

Contact of Representative for the Project

Name: Rusty Skoog

Address (if not listed above): _____

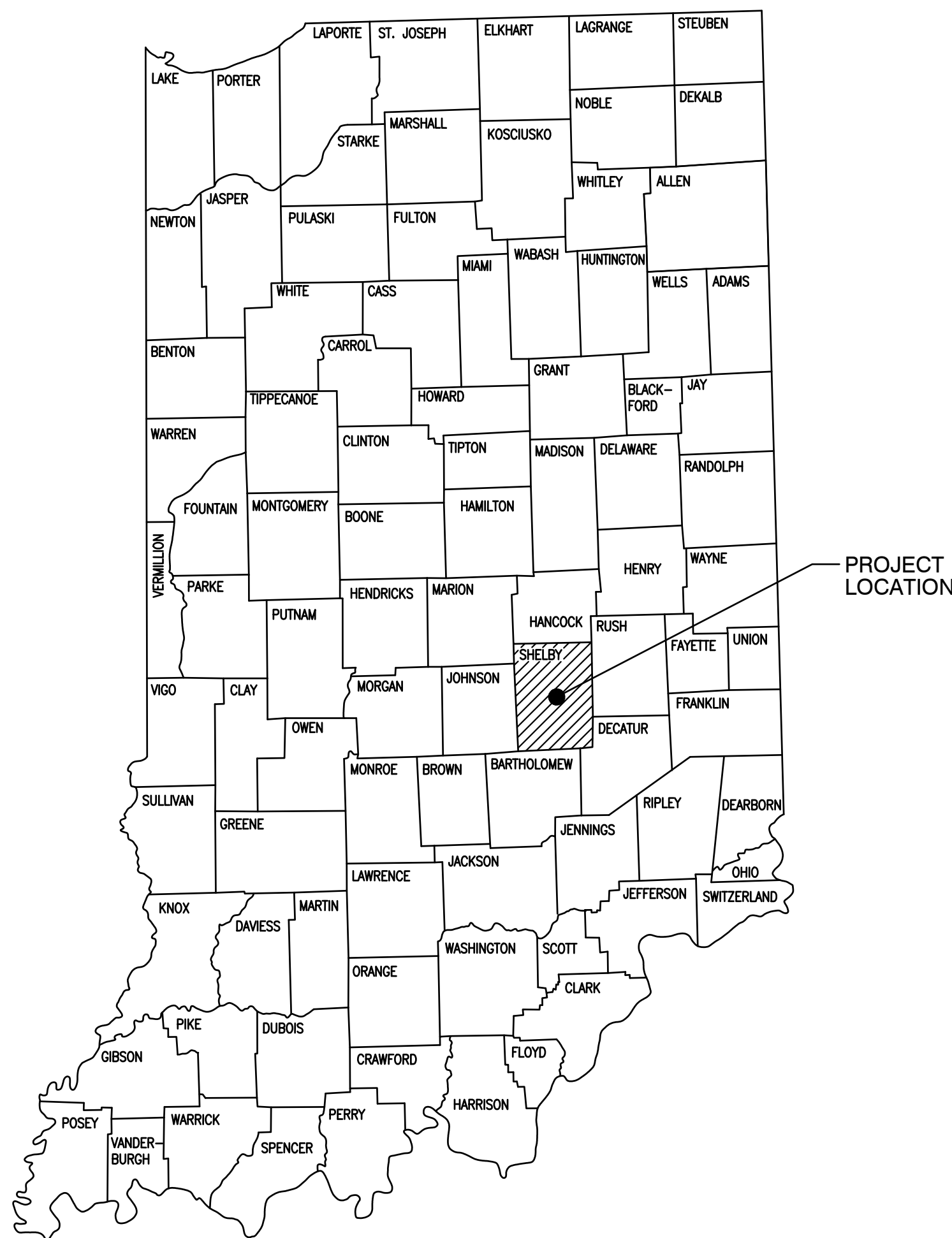
Phone Number: 317-655-7777

Email: rskoog@cecinc.com

Preferred Method of Contact: ☒ Email or ☐ Phone

SHELBYVILLE URGENT CARE

RURAL KING OUTLOT SHELBYVILLE, INDIANA 46176 CONSTRUCTION DOCUMENTS SEPTEMBER 13TH, 2021



LOCATION MAP

Sheet List Table		
Sheet Number	Sheet Title	Drawing Number
1	TITLE SHEET	C000
2	TOPOGRAPHIC SURVEY	SV-01
3	DEMOLITION PLAN	C101
4	SITE PLAN	C200
5	GRADING PLAN	C300
6	DRAINAGE PLAN	C400
7	STORM SEWER PROFILES	C401
8	PHOTOMETRIC PLAN	C501
9	LANDSCAPE PLAN	C700
10	SITE DETAILS	C800
11	SITE DETAILS	C801
12	SITE DETAILS	C802
13	TEMPORARY STORMWATER POLLUTION PREVENTION PLAN	C900
14	PERMANENT STORMWATER POLLUTION PREVENTION PLAN	C901
15	STORMWATER POLLUTION PREVENTION DETAILS	C902

BENCHMARKS:

UNLESS OTHERWISE NOTED, ELEVATIONS SHOWN HEREON ARE BASED UPON AN OPUS SOLUTION AND ARE ON THE 1988 NORTH AMERICAN VERTICAL DATUM (NAVD88). IT IS MY OPINION THAT THE UNCERTAINTY IN THE ELEVATION OF THE PROJECT BENCHMARK DOES NOT EXCEED 0.10 FOOT.

TBM#1: CUT SQUARE ON TOP OF THE WEST FACE OF A LIGHT POLE BASE LOCATED ON THE NORTH END OF THE CURB ISLAND TO THE EAST OF THE SITE. ELEV. = 789.25

TBM#2: CUT "X" ON THE NORTHEAST ANCHOR BOLT OF THE INFINITY HOME CARE SIGN LOCATE SOUTHWEST OF THE SITE. ELEV. = 790.46

TBM#3: CUT SQUARE ON TOP OF THE NORTH FACE OF A LIGHT POLE BASE LOCATED APPROXIMATELY 82 FEET NORTHEAST OF THE NORTHEAST CORNER OF THE INFINITY HOME CARE BUILDING. ELEV. = 790.08

CONSULTANT TEAM:

ARCHITECT

DXU ARCHITECTS
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SURVEYOR

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FIBER OPTIC
DEWAYNE HAMILTON
CENTURYLINK
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INDIANAPOLIS, IN 46268
PHONE: (317) 966-3356
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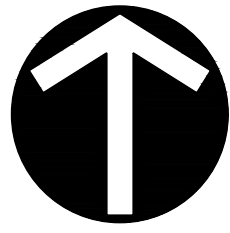
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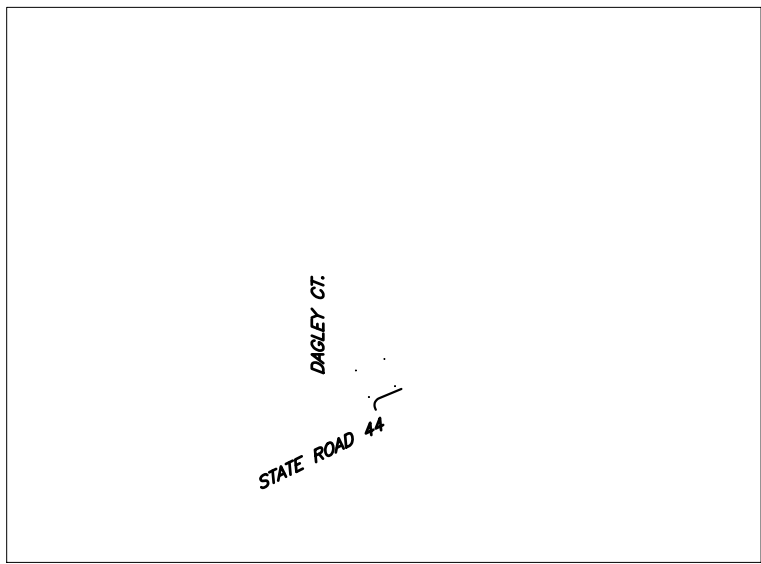
DXU ARCHITECTS
RURAL KING OUTLET
SHELBYVILLE, INDIANA 46176

TITLE SHEET

DRAWING NO.:
C000
SHEET 1 OF 16



INDIANA STATE PLANE
EAST ZONE BEARINGS



VICINITY MAP
NOT TO SCALE

LEGEND:

- EXISTING PROPERTY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING LOT LINE
- EXISTING EASEMENT LINE
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING CHAIN LINK FENCE
- EXISTING WOOD FENCE
- EXISTING WATER LINE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING FIBER OPTIC LINE
- EXISTING CABLE LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD LINES
- EXISTING SANITARY SEWER LINE
- EXISTING COMBINATION SEWER LINE
- EXISTING STORM SEWER LINE
- SEC. COR., R/W MARKER, MAG NAIL FD., IRON ROD FD., MON. SET*, TBM, *REBAR/CAP OR NAIL/WASHER STAMPED "CEC INC #0122"
- ELEC. LIGHT POLE, GROUND LIGHT, PULL BOX, POWER POLE, UTILITY POLE, GUY WIRE, ELEC. TRANSFORMER
- GAS VALVE, GAS METER, GAS LINE MARKER
- IRRIGATION CONTROL BOX, WATER VALVE, WATER METER, FIRE HYDRANT, PIV VALVE, FIRE DEPT. CONNECTION, FIRE DEPT. CONNECTION ON BUILDING
- ELECTRIC MANHOLE, TELEPHONE PEDESTAL, TELEPHONE MANHOLE, CABLE PULL BOX, FIBER OPTIC PULL BOX, VAULT
- BEEHIVE INLET, CURB INLET, RECESSED CURB INLET, DOWNSPOUT, SQUARE STORM INLET, CIRCULAR STORM INLET, DRAINAGE MANHOLE
- UNKNOWN MANHOLE, CLEANOUT, SANITARY MANHOLE
- FLAG POLE, MAIL BOX, SIGN, AIR COND., ADA SYMBOL, BOLLARD
- PARKING METER, TRAFFIC POLE, TRAFFIC MANHOLE, PARKING SPACE COUNT
- DECIDUOUS TREE, CONIFEROUS TREE, BUSH
- MEASURED, PLAT
- EXISTING SPOT ELEVATION

SURVEY CERTIFICATION

I, the undersigned, hereby certify that to the best of my professional knowledge and belief the within plat represents a topographic survey of the real estate shown or described hereon. The nature, size and location of utilities shown on this plat are per plans and/or locations provided by the respective utility companies or their representatives together with field observation as further noted hereon. The topographic data was gathered using standard radial surveying techniques with an electronic total station and data collector and/or using a Global Positioning System (GPS). Contours are plotted based upon interpolation of spot elevations shown hereon and are accurate to generally within one half contour interval. The field work for this survey was performed on June 17, 2021.

The user of this topographic survey is cautioned to consider that all natural surfaces are subject to vertical movement due to the effects of environmental and mechanical factors on soil properties. The spot elevations and the interpolated contour lines depicted hereon are representative of the surface of the site on the date(s) the field survey was performed. Changes in surface elevations varying up to 0.5 feet after the date of the survey may be possible without any obvious visible indications. Therefore, it is recommended that the surface elevations of this site be verified prior to construction and that any significant discrepancies be reported to the engineer for evaluation. The surveyor is not responsible for estimating or accounting for any vertical variances caused by such environmental or mechanical influences.

DRAFT

Anthony B. Syers
Registered Land Surveyor No. LS20800124
August 10, 2021
asyers@cecinc.com
prepared by Anthony B. Syers

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law. Anthony B. Syers



SCALE IN FEET
0 20 40



TOPOGRAPHIC SURVEY

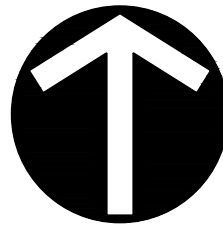
DATE: AUGUST 10, 2021
DRAWN BY: CJV
PROJECT NO: 312-885
CHECKED BY: TJT
APPROVED BY: DRAFT

DRAWING NO.

SV-3

SHEET 3 OF 3

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NORTH

GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OFF-SITE OF ALL ITEMS SHOWN ON THE DEMOLITION PLAN INCLUDING ITEMS ENCOUNTERED DURING EXCAVATION OF BUILDING FOUNDATIONS AND UTILITY PLACEMENT.
2. PRIOR TO STARTING DEMOLITION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY LOCAL GOVERNMENTAL AGENCIES.
3. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR THE DISCONNECTION AND REMOVAL OF SERVICES TO EXISTING STRUCTURES.
4. ITEMS SHOWN ON THE DEMOLITION PLAN TO BE SALVAGED SHALL BE TRANSPORTED TO LOCATION SPECIFIED BY THE OWNER OR HIS/HER REPRESENTATIVE.
5. ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR MAY BE REMOVED WITH THE OWNER OR HIS/HER REPRESENTATIVE'S PERMISSION. THE CONTRACTOR SHALL NOT STORE THESE ITEMS ON SITE.
6. THE CONTRACTOR MAY NOT USE EXPLOSIVES OR BURN DEBRIS.
7. CONDUCT DEMOLITION OPERATIONS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, SIDEWALKS AND ANY OTHER ADJACENT OCCUPIED FACILITIES.
8. DO NOT CLOSE OR OBSTRUCT ROADS, SIDEWALKS OR ANY OTHER OCCUPIED FACILITIES WITHOUT PERMISSION FROM THE LOCAL AUTHORITY HAVING JURISDICTION AND/ OR PROPERTY OWNERS.
9. THE CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSON TRAVERSING THROUGH OR AROUND THE CONSTRUCTION SITE.
10. THE CONTRACTOR SHALL PROTECT FROM DAMAGE, SURROUNDING STRUCTURES, UTILITIES AND OTHER FACILITIES DURING DEMOLITION AND REMOVAL OPERATIONS.
11. BUILDING STRUCTURES INCLUDING FOUNDATIONS OR BASEMENTS SHALL BE REMOVED AND BACKFILLED WITH APPROVED BACKFILL MATERIAL. BACKFILL MATERIAL SHALL BE PLACED IN MAXIMUM EIGHT INCH LIFTS AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT OR A MINIMUM OF 95% OF A STANDARD PROCTOR.
12. UTILITIES SHALL BE REMOVED AND BACKFILLED WITH APPROVED BACKFILL MATERIAL. BACKFILL MATERIAL SHALL BE PLACED IN MAXIMUM EIGHT INCH LIFTS AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT OR A MINIMUM OF 95% OF A STANDARD PROCTOR.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE CONSTRUCTION SITE AND SURROUNDING AREAS ARE FREE OF ACCUMULATED DEBRIS.

DEMOLITION LEGEND:

- ASPHALT TO BE REMOVED
- LANDSCAPING TO BE REMOVED, INCLUDING GRAVEL MULCH BEDS
- CONCRETE CURB TO BE REMOVED
- SAWCUT EXISTING PAVEMENT
- MISC. ITEM TO BE REMOVED

DEMOLITION ITEMS:

- 1 FULL DEPTH SAWCUT.
- 2 REMOVE EXISTING ASPHALT & BASE COMPLETE; DISPOSE OF OFF SITE.
- 3 REMOVE EXISTING FENCE, POSTS, AND CONCRETE FOOTINGS COMPLETE; DISPOSE OF OFF SITE.
- 4 REMOVE EXISTING CONCRETE CURB COMPLETE; DISPOSE OF OFF SITE.
- 5 REMOVE EXISTING TURF/VEGETATION; AND 4 INCH MINIMUM DEPTH OF SOIL FOR NEW CONCRETE WALK; DISPOSE OF VEGETATION OFF SITE; SET ASIDE SOIL FOR REGRADING.
- 6 REMOVE EXISTING CURB ISLAND COMPLETE; DISPOSE OF OFF SITE.
- 7 PROTECT EXISTING LIGHT FIXTURE TO REMAIN.

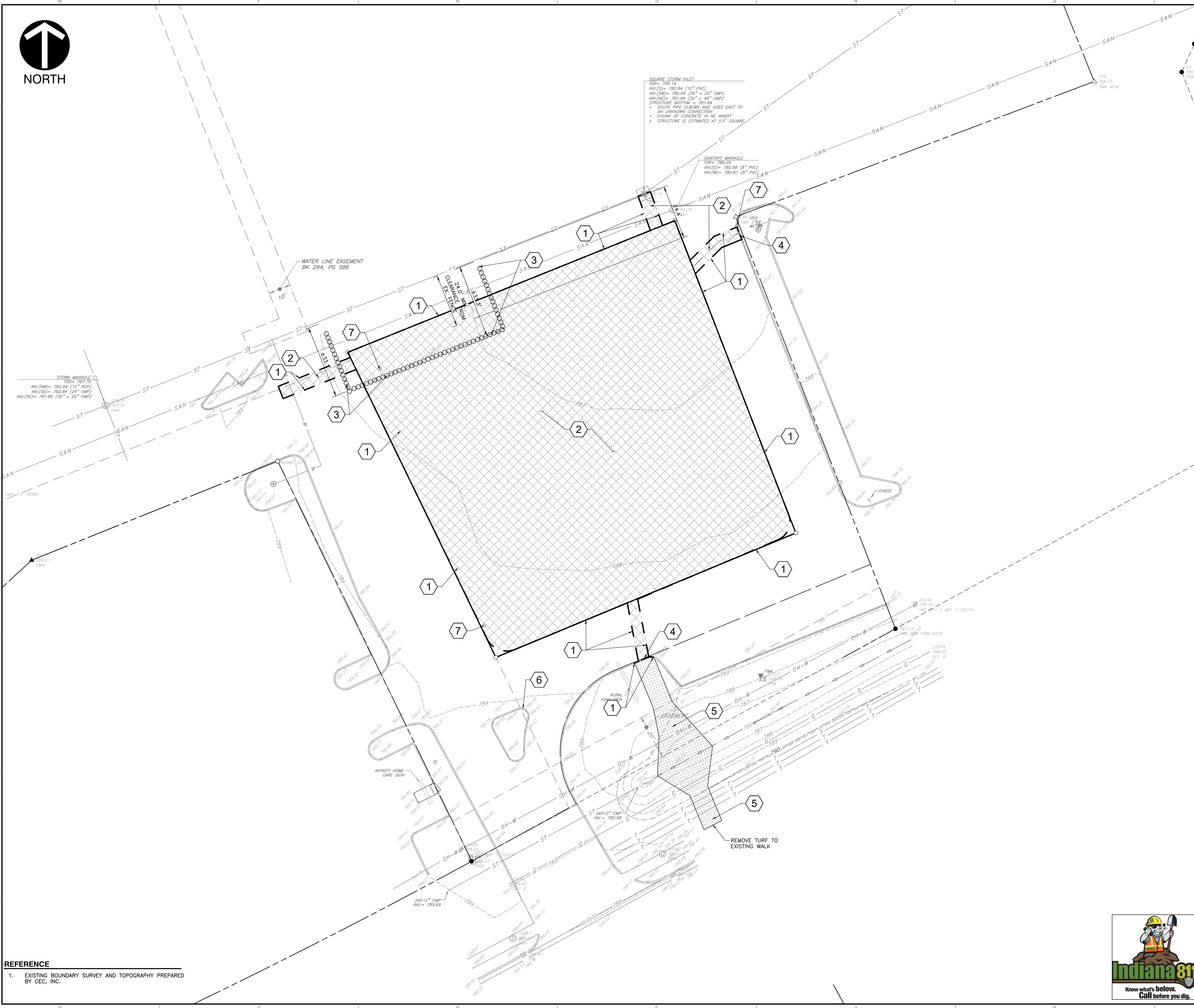
BENCHMARKS:

UNLESS OTHERWISE NOTED, ELEVATIONS SHOWN HEREON ARE BASED UPON OPUS SOLUTION AND ARE ON THE 1988 NORTH AMERICAN VERTICAL DATUM (NAVD88). IT IS MY OPINION THAT THE UNCERTAINTY IN THE ELEVATION OF THE PROJECT BENCHMARK DOES NOT EXCEED 0.10 FOOT.

BTM#1: CUT SQUARE ON TOP OF THE WEST FACE OF A LIGHT POLE BARRICADE LOCATED ON THE NORTH END OF THE CURB ISLAND TO THE EAST OF THE SITE. ELEV. = 789.2

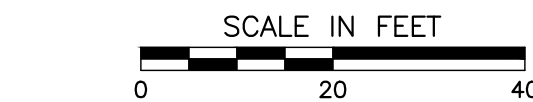
BTM#2: CUT "X" ON THE NORTHEAST ANCHOR BOLT OF THE INFINITY HOME CARE SIGN LOCATE SOUTHWEST OF THE SITE. ELEV. = 790.4

BTM#3: CUT SQUARE ON TOP OF THE NORTH FACE OF A LIGHT POLE BARRICADE LOCATED APPROXIMATELY 62 FEET NORTHEAST OF THE NORTHEAST CORNER OF THE INFINITY HOME CARE BUILDING. ELEV. = 790.0



REFERENCE

1. EXISTING BOUNDARY SURVEY AND TOPOGRAPHY PREPARED BY CEC, INC.



PRELIMINARY
NOT FOR CONSTRUCTION

REVISION RECORD

NO.	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
530 E. Ohio Street - Suite G - Indianapolis, IN 46204
317-655-7777 - 877-746-0749
www.cecinc.com

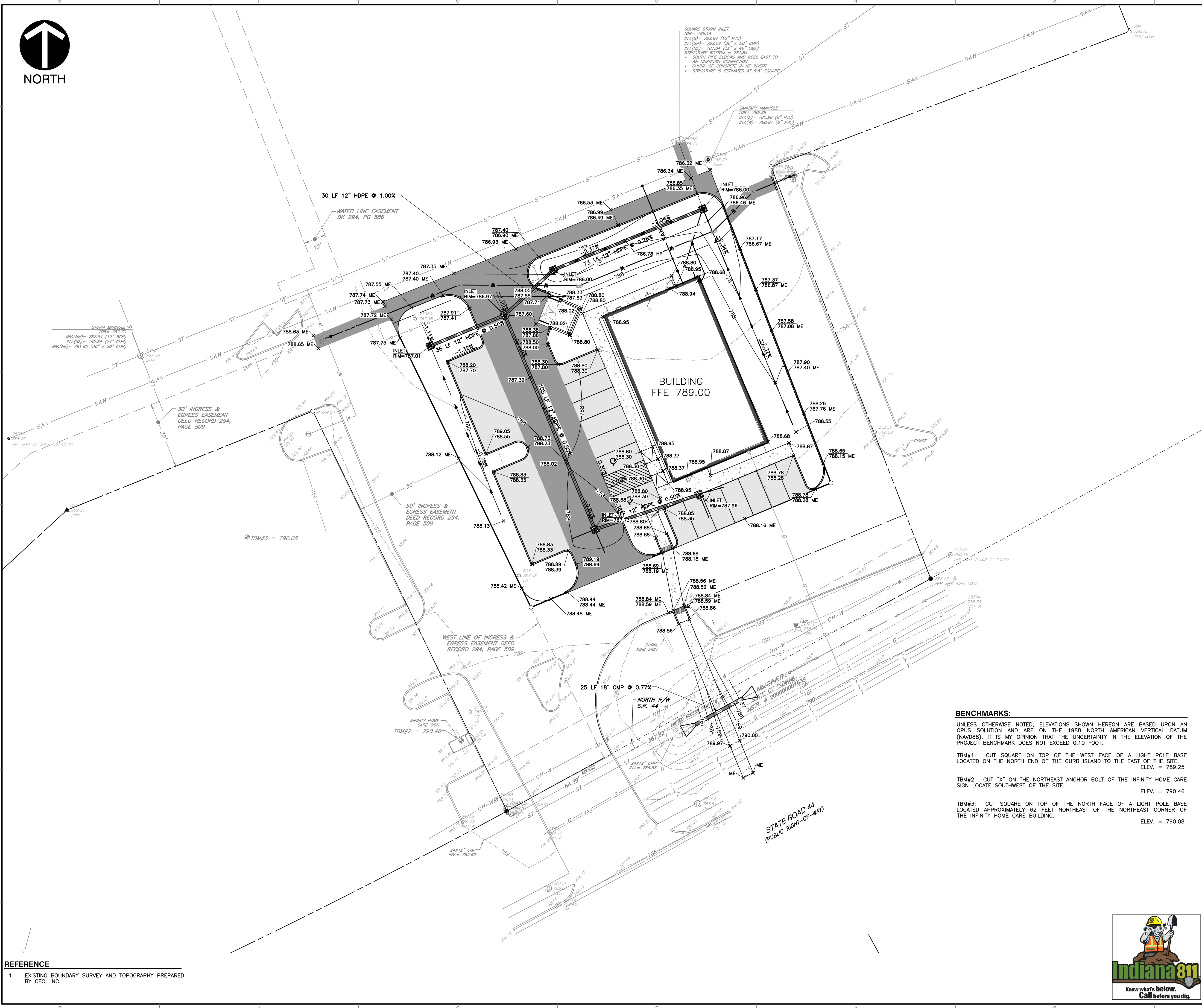
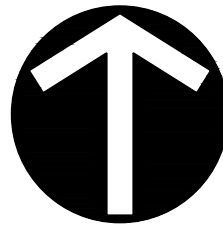
DXU ARCHITECTS
RURAL KING OUTLET
SHELBYVILLE, INDIANA 46176

DEMOLITION PLAN

DRAWING NO.:

C101

SHEET 3 OF 16



- GRADING GENERAL NOTES:**
1. CONTRACTOR SHALL STRICTLY ADHERE TO THE EROSION CONTROL MEASURES PREPARED FOR THIS PROJECT.
 2. EARTHWORK SHALL INCLUDE CLEARING AND GRUBBING, STRIPPING AND STOCKPILING TOPSOIL, MASS GRADING, EXCAVATION, FILLING, UNDER CUT AND REPLACEMENT, IF REQUIRED, AND COMPACTION.
 3. CONTRACTOR TO REFILL UNDERCUT AREAS WITH SUITABLE MATERIAL AND COMPACT AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
 4. PLACE TOPSOIL OVER THE SUBGRADE OF UNPAVED, DISTURBED AREAS TO A DEPTH INDICATED ON THE LANDSCAPE PLANS (6" MINIMUM). PAVEMENT SLOPES ACROSS ACCESSIBLE PARKING STALLS AND ADJOINING ACCESS AISLES SHALL BE MAXIMUM 2%.
 5. ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
 6. ALL AREAS NOT PAVED SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION CONTROL PLAN, UNLESS NOTED OTHERWISE.
 7. ALL EXCESS SOIL MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
 8. DRAINAGE SYSTEMS SHALL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER OR LAND SURVEYOR. WITHIN 30 DAYS AFTER COMPLETION OF ON AND OFF-SITE DRAINAGE FACILITIES, THE REGISTERED PROFESSIONAL SHALL CERTIFY IN WRITING THE COMPLIANCE OF THE DRAINAGE FACILITIES PER LOCAL REQUIREMENTS.
 9. CONTRACTOR SHALL PERPETUATE ALL DRAINS AND TILES ENCOUNTERED DURING CONSTRUCTION. COORDINATE WITH ENGINEER OF RECORD REGARDING THE CONNECTION TO THE PROPOSED STORM SEWER SYSTEM.
 10. STORM STRUCTURES RECEIVING SUB-SURFACE DRAINS (SSD) SHALL HAVE BOTH CONNECTIONS CORE DRILLED. T OR Y BLIND CONNECTIONS ARE NOT ALLOWED.
 11. REFER TO AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.

- GRADING LEGEND:**
- 800 PROPOSED INDEX CONTOUR
 - 798 PROPOSED INTERMEDIATE CONTOUR
 - PROPOSED DRAINAGE SWALE
 - PROPOSED GRADE BREAK
 - PROPOSED STORM SEWER LINE
 - PROPOSED UNDERDRAIN
 - PROPOSED SPOT ELEVATION
 - PROPOSED CURB SPOT ELEVATION; TOP OF CURB ON TOP, GUTTER ELEVATION ON BOTTOM
- ABBREVIATIONS:**
ME = MATCH EXISTING

BENCHMARKS:

UNLESS OTHERWISE NOTED, ELEVATIONS SHOWN HEREON ARE BASED UPON AN OPUS SOLUTION AND ARE ON THE 1988 NORTH AMERICAN VERTICAL DATUM (NAVD88). IT IS MY OPINION THAT THE UNCERTAINTY IN THE ELEVATION OF THE PROJECT BENCHMARK DOES NOT EXCEED 0.10 FOOT.

TBM#1: CUT SQUARE ON TOP OF THE WEST FACE OF A LIGHT POLE BASE LOCATED ON THE NORTH END OF THE CURB ISLAND TO THE EAST OF THE SITE. ELEV. = 799.25

TBM#2: CUT "X" ON THE NORTHEAST ANCHOR BOLT OF THE INFINITY HOME CARE SIGN LOCATE SOUTHWEST OF THE SITE. ELEV. = 790.46

TBM#3: CUT SQUARE ON TOP OF THE NORTH FACE OF A LIGHT POLE BASE LOCATED APPROXIMATELY 62 FEET NORTHEAST OF THE NORTHEAST CORNER OF THE INFINITY HOME CARE BUILDING. ELEV. = 790.08

REFERENCE

1. EXISTING BOUNDARY SURVEY AND TOPOGRAPHY PREPARED BY CEC, INC.



SCALE IN FEET
0 20 40

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NOT FOR CONSTRUCTION

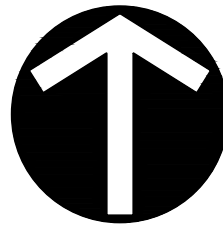
REVISION RECORD	
NO	DATE

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RURAL KING OUTLET
SHELBYVILLE, INDIANA 46176

GRADING PLAN	
DATE: SEPTEMBER 6, 2021	DRAWN BY: SGJ
DWG SCALE: 1"=20'	CHECKED BY: AES
PROJECT NO: 2006000091639	312-885
APPROVED BY:	AES

DRAWING NO: **C300**
SHEET 5 OF 16



NORTH

EXISTING STORM INLET
RIM=786.17
INV. IN (12°S)=782.03
INV. IN (18°W)=782.30
INV. OUT (28°NE)=781.84
31 LF 12" HDPE @ 0.50%

INLET TYPE "A"
NEENAH R-4342
RIM=786.00
INV. IN (12°W)=782.46
INV. IN (12°S)=784.99
INV. OUT (12°N)=782.18

TEE CONNECTION INTO
EXISTING SANITARY MAIN
INV.=780.87
CONTRACTOR TO VERIFY
CONNECTION IN FIELD.

CAUTION: STORM/SAN. CROSSING
STORM INV.= 782.52±
BOTTOM OF STORM= 782.27±
SAN. CROWN= 781.68±
SAN. INV.= 781.08±

SEPARATION DISTANCE= 7.08"
PROVIDE CONCRETE CRADLE PER
DETAIL 411 ON SHEET C802

INLET TYPE "A"
NEENAH R-4342
RIM=786.00
INV. IN (12°SW)=782.75
INV. OUT (12°E)=782.65

CAUTION: STORM/WATER CROSSING
STORM CROWN= 784.10±
STORM INV.= 782.55±
BOTTOM OF STORM= 782.60±

30 LF 12" HDPE @ 1.00%

4'Ø MANHOLE
NEENAH R-3402-E
RIM=786.97
INV. IN (12°SE)=783.72
INV. IN (12°SW)=783.72
INV. OUT (12°NE)=783.05

INLET TYPE "A"
NEENAH R-4342
RIM=787.01
INV. OUT (12°NE)=783.90

STORM MANHOLE
TOP= 787.70
INV.(NW)= 783.94 (12" Ø)
INV.(SE)= 782.84 (24" Ø)
INV.(NE)= 781.80 (36" x 20" CMP)

SQUARE STORM INLET
TOP= 786.14
INV.(SW)= 782.94 (12" PVC)
INV.(SW)= 782.04 (36" x 20" CMP)
INV.(NE)= 781.84 (32" x 48" CMP)
STRUCTURE BOTTOM = 781.84
• SOUTH PIPE ELBOW AND GOES EAST TO
AN UNKNOWN CONNECTION
• CHUNK OF CONCRETE IN NE INVERT
• STRUCTURE IS ESTIMATED AT 5.3' SQUARE

SANITARY MANHOLE
TOP= 786.37
INV.(E)= 780.98 (8" PVC)
INV.(W)= 780.97 (8" PVC)

ROOF DRAIN
CLEANOUT
RD-1
INV. OUT (12°N)=785.92

BUILDING
FFE 789.00

73 LF 12" HDPE @ 0.26%

SANITARY
CLEANOUT
INV.=781.37

36 LF 12" HDPE @ 0.50%

50 LF 12" HDPE @ 0.50%

INLET TYPE "A"
NEENAH R-3402-E
RIM=787.73
INV. IN (12°E)=784.35
INV. OUT (12°NW)=784.25

INLET TYPE "A"
NEENAH R-3286-8V
RIM=787.96
INV. OUT (12°W)=784.59

18" CMP END SECTION
INV. OUT (18°SW)=786.12

25 LF 18" CMP @ 0.77%

18" CMP END SECTION
INV. IN (18°NE)=785.93

24X12" CMP
INV.= 785.59

24X12" CMP
INV.= 785.69

BENCHMARKS:

UNLESS OTHERWISE NOTED, ELEVATIONS SHOWN HEREON ARE BASED UPON AN OPUS SOLUTION AND ARE ON THE 1988 NORTH AMERICAN VERTICAL DATUM (NAVD88). IT IS MY OPINION THAT THE UNCERTAINTY IN THE ELEVATION OF THE PROJECT BENCHMARK DOES NOT EXCEED 0.10 FOOT.

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ELEV. = 790.08

UTILITY LEGEND:

	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY LINE
	PROPOSED ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	PROPOSED FIBER OPTIC LINE
	PROPOSED GAS LINE
	PROPOSED WATER LINE
	PROPOSED OVERHEAD UTILITY LINE
	PROPOSED CONDUIT
	PROPOSED LIGHT POLE
	PROPOSED WALL MOUNTED FDC, HYDRANT, WALL PIV, WATER VALVE, FREE STANDING FDC
	PROPOSED SANITARY MANHOLE, CLEAN OUT
	PROPOSED ELECTRIC TRANSFORMER

GRADING GENERAL NOTES:

- CONTRACTOR SHALL STRICTLY ADHERE TO THE EROSION CONTROL MEASURES PREPARED FOR THIS PROJECT.
- EARTHWORK SHALL INCLUDE CLEARING AND GRUBBING, STRIPPING AND STOCKPILING TOPSOIL, MASS GRADING, EXCAVATION, FILLING, UNDER CUT AND REPLACEMENT, IF REQUIRED, AND COMPACTION.
- CONTRACTOR TO REFILL UNDERCUT AREAS WITH SUITABLE MATERIAL AND COMPACT AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- PLACE TOPSOIL OVER THE SUBGRADE OF UNPAVED, DISTURBED AREAS TO A DEPTH INDICATED ON THE LANDSCAPE PLANS (6" MINIMUM). PAVEMENT SLOPES ACROSS ACCESSIBLE PARKING STALLS AND ADJOINING ACCESS AREAS SHALL BE MAXIMUM 2%.
- ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
- ALL AREAS NOT PAVED SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION CONTROL PLAN, UNLESS NOTED OTHERWISE.
- ALL EXCESS SOIL MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- DRAINAGE SYSTEMS SHALL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER OR LAND SURVEYOR. WITHIN 30 DAYS AFTER COMPLETION OF ON AND OFF-SITE DRAINAGE FACILITIES, THE REGISTERED PROFESSIONAL SHALL CERTIFY IN WRITING THE COMPLIANCE OF THE DRAINAGE FACILITIES PER LOCAL REQUIREMENTS.
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- STORM STRUCTURES RECEIVING SUB-SURFACE DRAINS (SSD) SHALL HAVE BOTH CONNECTIONS CORE DRILLED. T OR Y BLIND CONNECTIONS ARE NOT ALLOWED.
- REFER TO AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.

GENERAL DRAINAGE NOTES:

- DISTANCES SHOWN ON PIPING ARE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION, INSPECTION, TESTING AND FINAL ACCEPTANCE OF ALL NEW STORMWATER MANAGEMENT FACILITIES CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE REGULATING AGENCIES CONCERNING INSTALLATION, INSPECTION AND APPROVAL OF THE STORM DRAINAGE SYSTEM CONSTRUCTION.
- ALL STORMWATER MANAGEMENT FACILITIES, INCLUDING COLLECTION AND CONVEYANCE STRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS. 4. ANY WORK PERFORMED IN THE LOCAL OR STATE RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE APPLICABLE LOCAL OR STATE REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE NECESSARY PERMITS FOR THE WORK, SCHEDULE NECESSARY INSPECTIONS, AND PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES AND DEVICES, ETC., FOR WORK PERFORMED IN THE RIGHT OF WAYS.
- ALL PROPOSED STORM SEWER AND DRAINAGE APPURTENANCES SHALL BE IN CONFORMANCE WITH CHAPTERS 400 AND 500 OF THE CITY OF INDIANAPOLIS STORMWATER SPECIFICATIONS MANUAL, LATEST EDITION. DISCREPANCIES BETWEEN THE PLANS AND THE MANUAL SHALL NOT ALLEVIATE THE CONTRACTOR FROM ADHERING TO THE REQUIREMENTS AS SET FORTH IN THE MANUAL.

REFERENCE
1. EXISTING BOUNDARY SURVEY AND TOPOGRAPHY PREPARED BY CEC, INC.



SCALE IN FEET
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REVISION RECORD

NO.	DATE	DESCRIPTION

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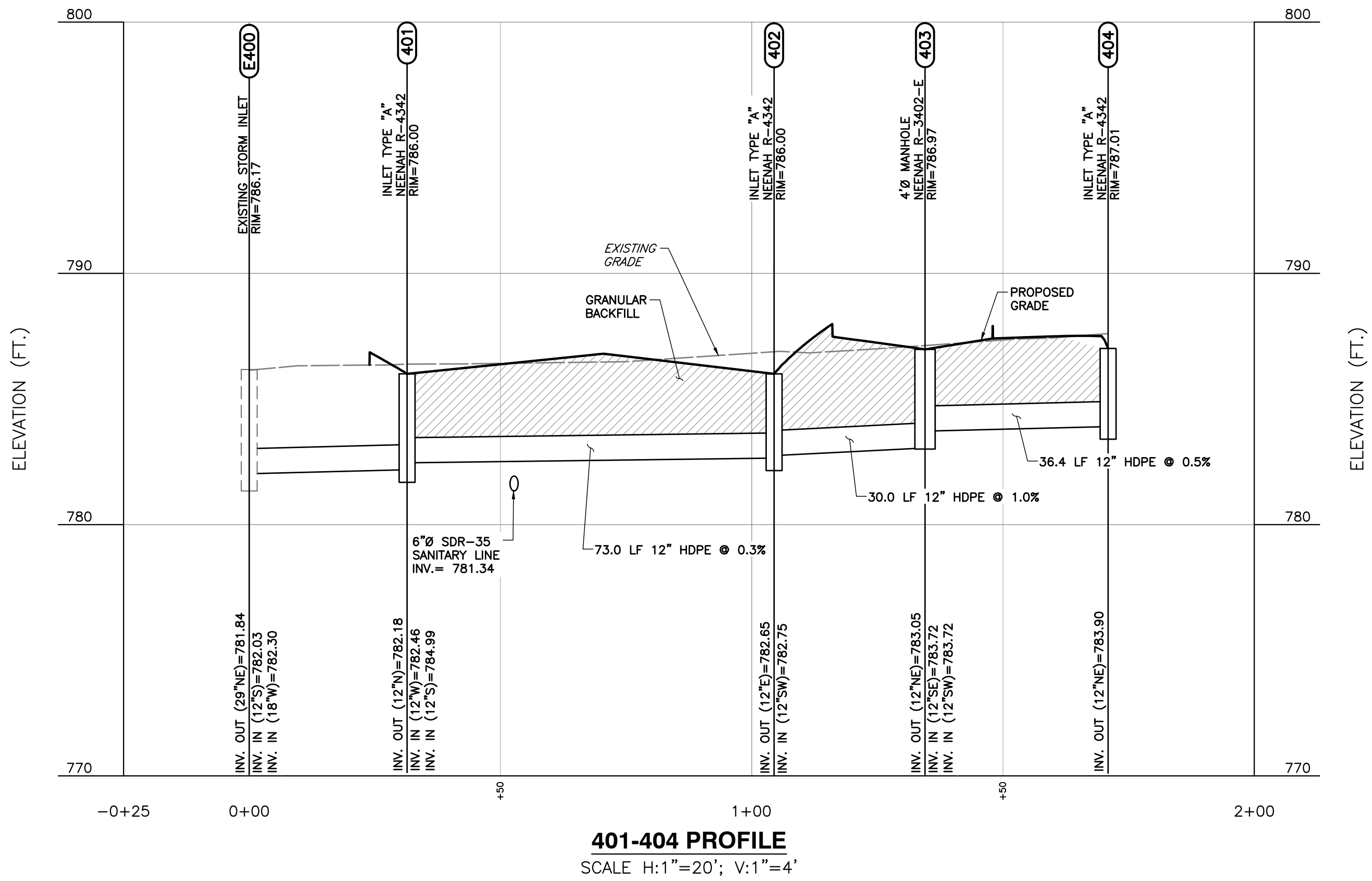
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DRAINAGE PLAN

DRAWING NO.:
C400

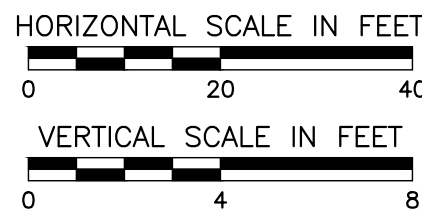
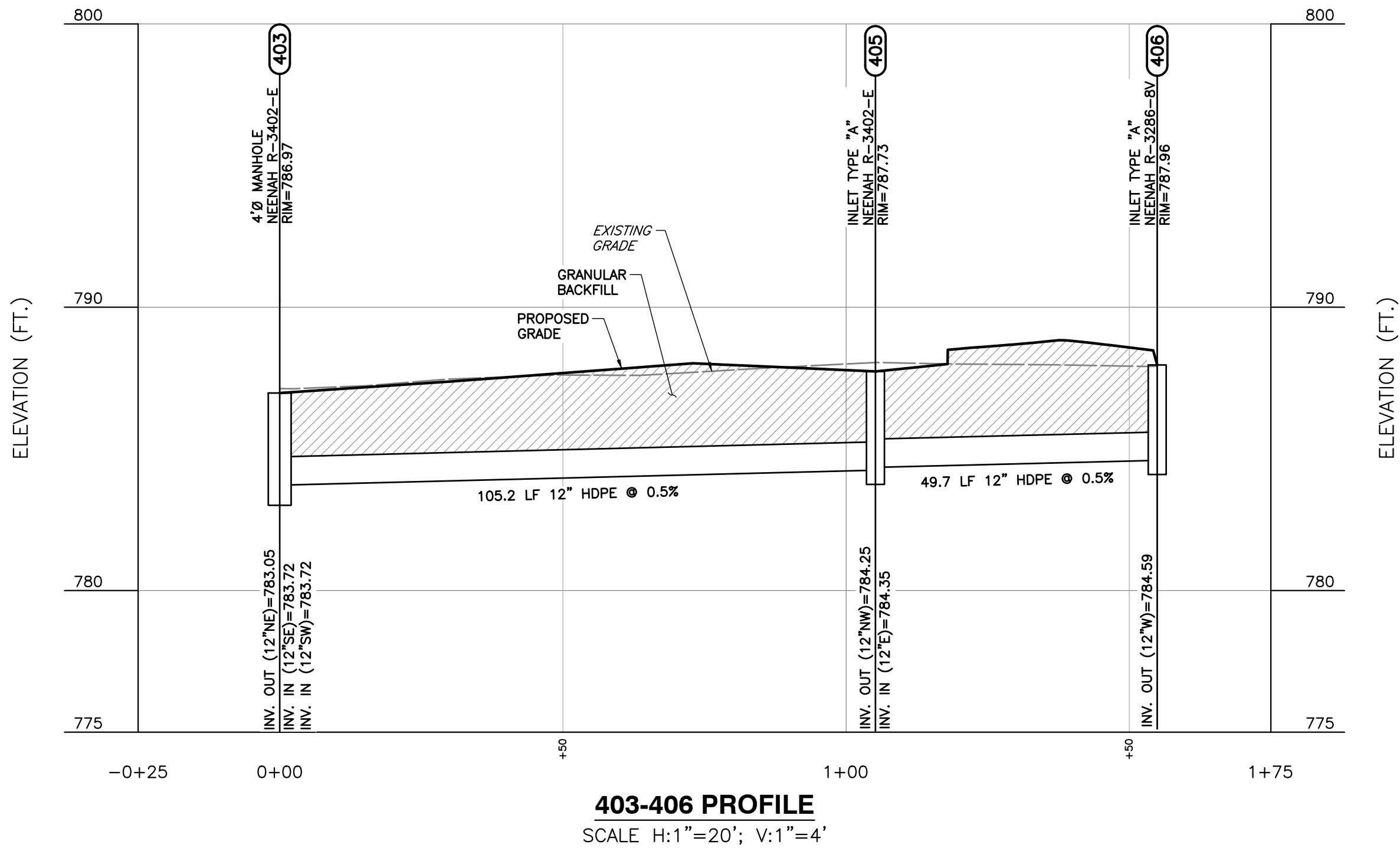
SHEET 6 OF 16

A:\110-2001\112-885\C400\DWG\C400-C402-Construction Documents\112885-C400-C402.dwg[4/11] LS:9/12/2021 - 9:00am - LS: 9/13/2021 1:24 PM



Structure Table					
Structure Name	RIM E.	INVERT	INVERT	COMMENTS	REMARKS
401	786.00	402 = 782.46 RD-1 = 784.99	401 = 782.18		INLET TYPE "A" NEENAH R-4342
402	786.00	403 = 782.75	402 = 782.65		INLET TYPE "A" NEENAH R-4342
403	786.97	405 = 783.72 404 = 783.72	403 = 783.05		4'Ø MANHOLE NEENAH R-3402-E
404	787.01		404 = 783.90		INLET TYPE "A" NEENAH R-4342
405	787.73	406 = 784.35	405 = 784.25		INLET TYPE "A" NEENAH R-3402-E
406	787.96		406 = 784.59		INLET TYPE "A" NEENAH R-3286-BV

Pipe Table				
Pipe Name	Size (in)	Length (ft)	Slope	MATERIAL
402	12	73.0	0.26%	HDPE
403	12	30.0	1.00%	HDPE
404	12	36.4	0.50%	HDPE
405	12	105.2	0.50%	HDPE
406	12	49.7	0.50%	HDPE



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STORM SEWER PROFILES

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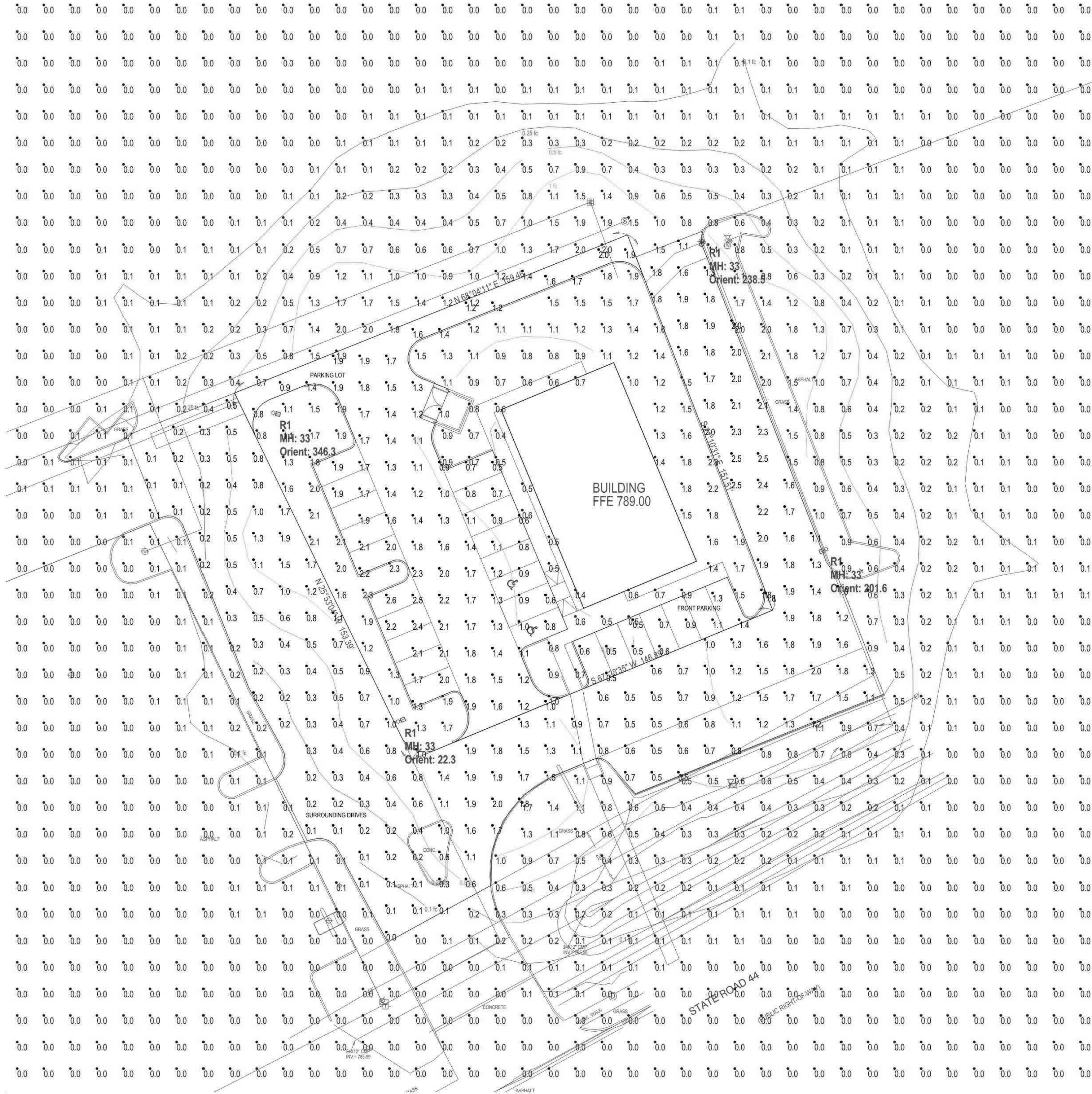
REVISION RECORD

NO.	DATE	DESCRIPTION

DRAWING NO.:
C401

SHEET 7 OF 16

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SITE LIGHTING - PLAN VIEW
Scale: 1 inch= 20 Ft.

PHOTOMETRIC PLAN DESIGNED BY ESL-SPECTRUM
WWW.ESL-SPECTRUM.COM
PHONE: 317.951.2300

Luminaire Schedule						
Project: 20210221-18 SHELBYVILLE URGENT CARE - SITE LIGHTING						
Symbol	Qty	Label	Arrangement	Lum. Watts	Lum. Lumens	LLF
[Symbol]	4	R1	SINGLE	153.6	21310	0.850
				Description		
				RAR2-320L-185-4K7-4W-U		

CALCULATIONS ARE MAINTAINED HORIZONTAL ILLUMINANCE FIGURES IN FOOT-CANDLES
POINTS SHOWN ARE AT GRADE
FIXTURE MOUNTING HEIGHTS ARE SPECIFIED NEXT TO FIXTURES AS "MH"
LAYOUT USES EXISTING POLES ON THE SITE

Calculation Summary							
Project: 20210221-18 SHELBYVILLE URGENT CARE - SITE LIGHTING							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
FRONT PARKING @ Grade	Illuminance	Fc	0.87	1.8	0.5	1.74	3.60
PARKING LOT @ Grade	Illuminance	Fc	1.49	2.6	0.5	2.98	5.20
PERIMETER @ Grade	Illuminance	Fc	0.25	2.3	0.0	N.A.	N.A.
SURROUNDING DRIVES @ Grade	Illuminance	Fc	1.00	2.5	0.0	N.A.	N.A.

ESL-Spectrum's services are for estimation purposes only, and are not warranties.
Final design and illumination levels must be determined and specified by an electrical engineer.
Field results may differ from computer predictions because of many uncontrollable factors and adverse test conditions such as:
line voltage variations, lamp performance, product manufacturing tolerances, jobsite conditions, and other unrecoverable light-loss factors.

THE FIXTURE TYPE(S) AND LAMPING(S) SPECIFIED ON THIS LAYOUT MUST BE USED IN ORDER TO MEET THE EXACT CRITERIA AND PERFORMANCE DATA SHOWN.
IES RECOMMENDED ILLUMINANCE TARGETS USED WHERE APPLICABLE.

ESL / SPECTRUM
LIGHTING / CONTROLS / DESIGN



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REFERENCE

1. EXISTING BOUNDARY SURVEY AND TOPOGRAPHY PREPARED BY CEC, INC.

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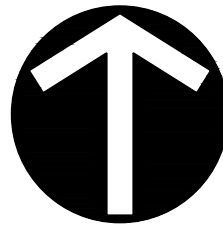
PHOTOMETRIC PLAN

DATE: SEPTEMBER 6, 2021	DRAWN BY: SGJ
PROJECT NO: 312-885	AES
APPROVED BY:	AES

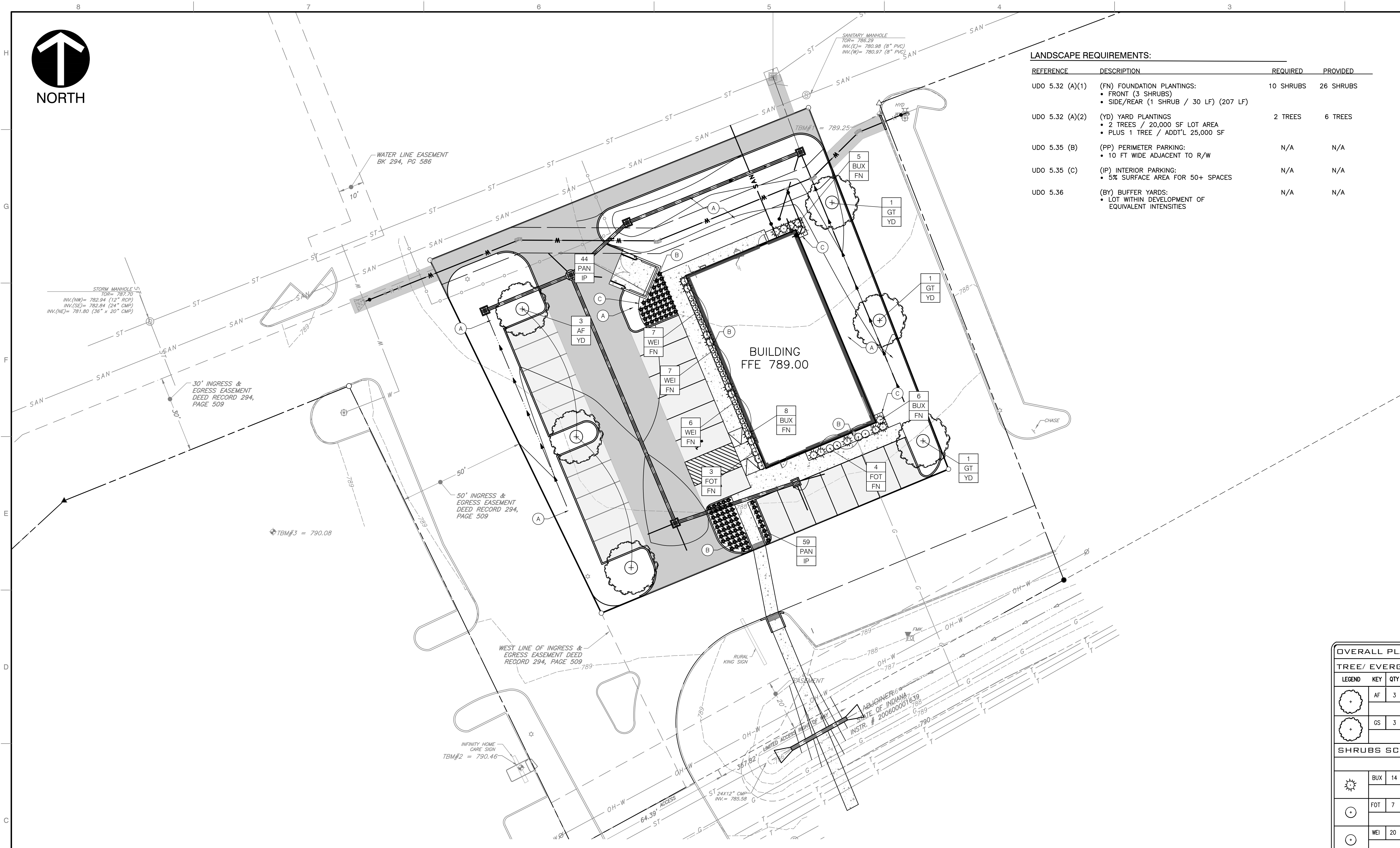
DRAWING NO:

C501

SHEET 8 OF 16



NORTH



LANDSCAPE REQUIREMENTS:

REFERENCE	DESCRIPTION	REQUIRED	PROVIDED
UDO 5.32 (A)(1)	(FN) FOUNDATION PLANTINGS: • FRONT (3 SHRUBS) • SIDE/REAR (1 SHRUB / 30 LF) (207 LF)	10 SHRUBS	26 SHRUBS
UDO 5.32 (A)(2)	(YD) YARD PLANTINGS • 2 TREES / 20,000 SF LOT AREA • PLUS 1 TREE / ADD'L 25,000 SF	2 TREES	6 TREES
UDO 5.35 (B)	(PP) PERIMETER PARKING: • 10 FT WIDE ADJACENT TO R/W	N/A	N/A
UDO 5.35 (C)	(IP) INTERIOR PARKING: • 5% SURFACE AREA FOR 50+ SPACES	N/A	N/A
UDO 5.36	(BY) BUFFER YARDS: • LOT WITHIN DEVELOPMENT OF EQUIVALENT INTENSITIES	N/A	N/A

GENERAL LANDSCAPE NOTES:

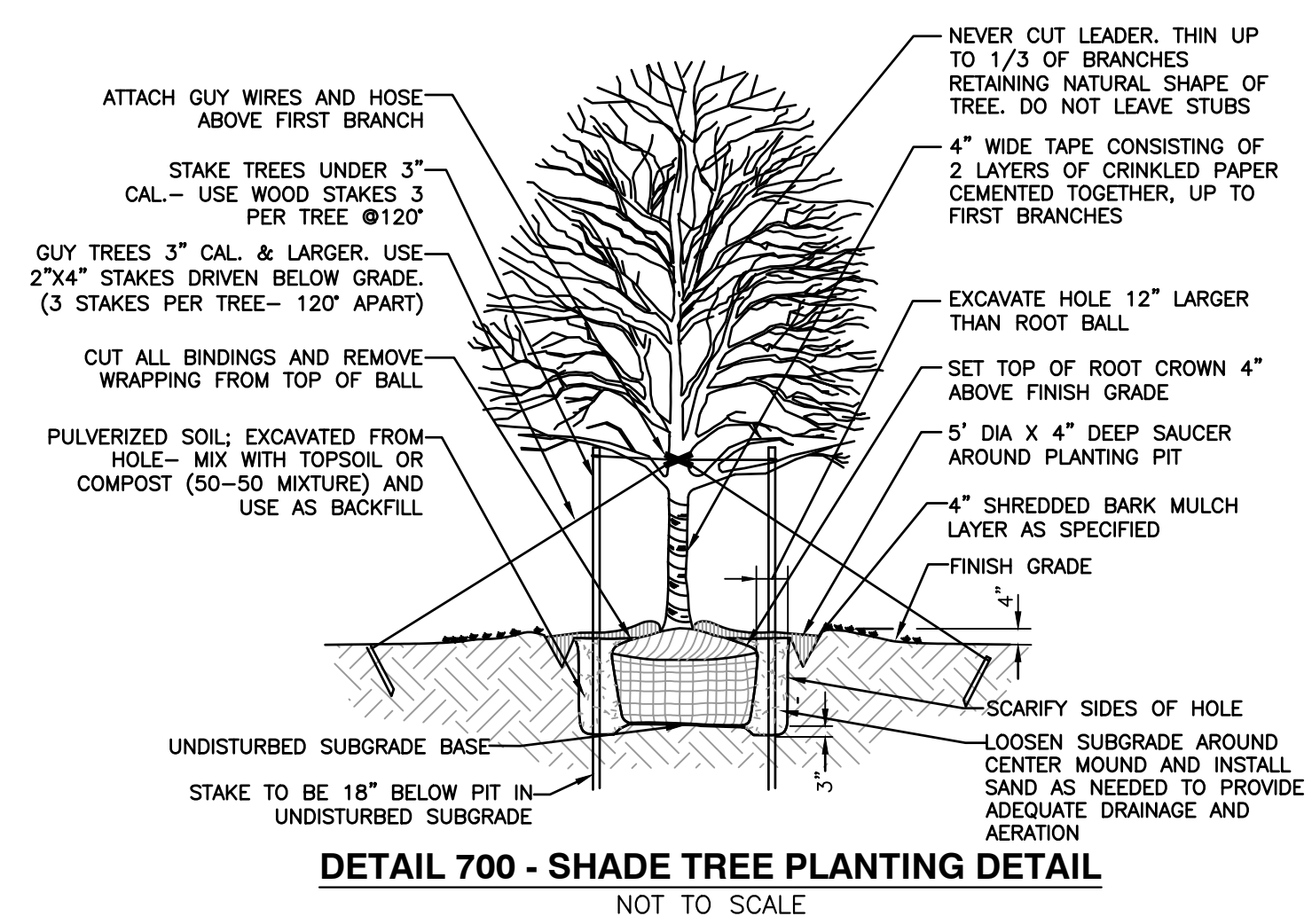
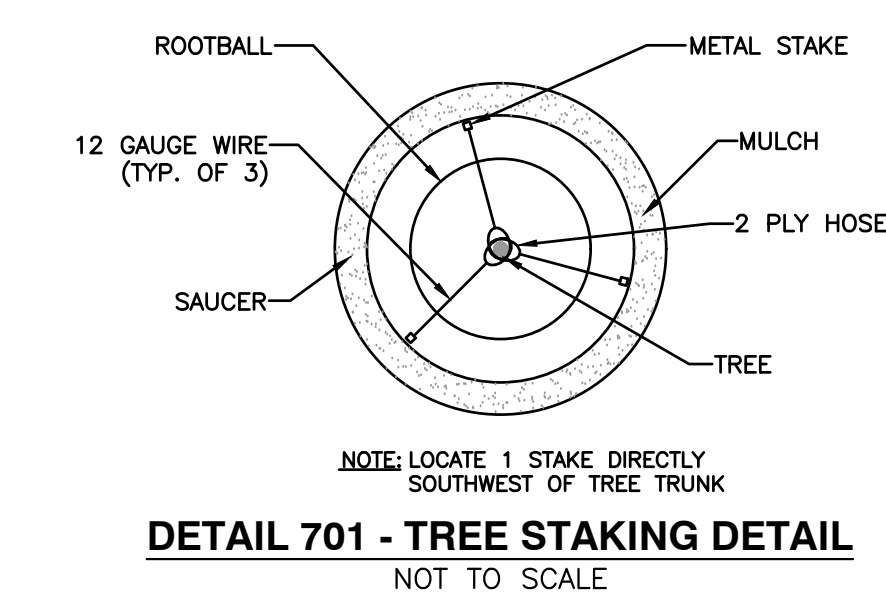
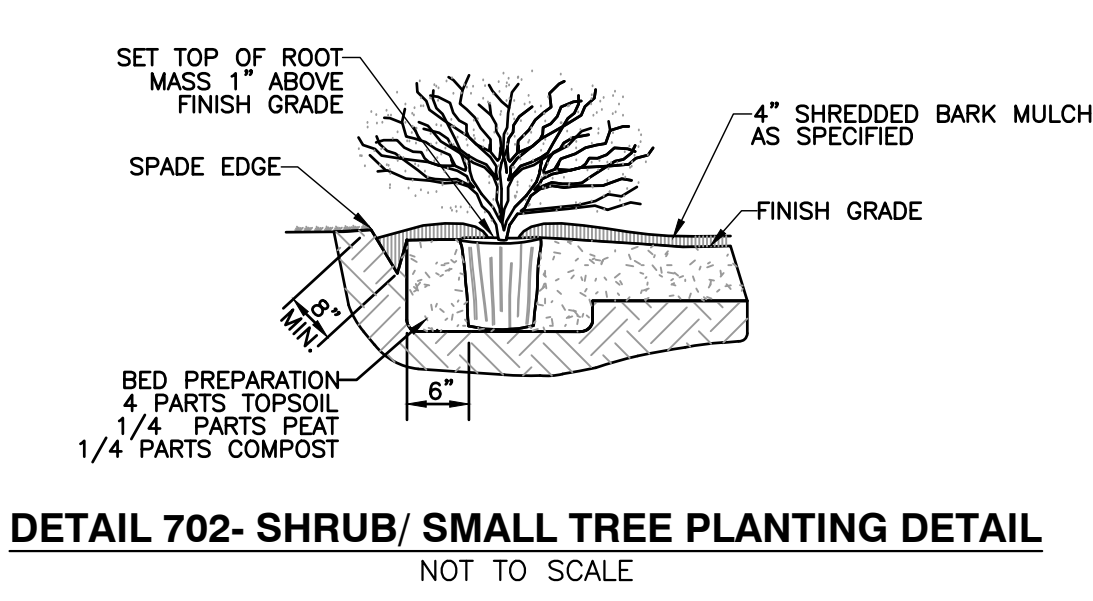
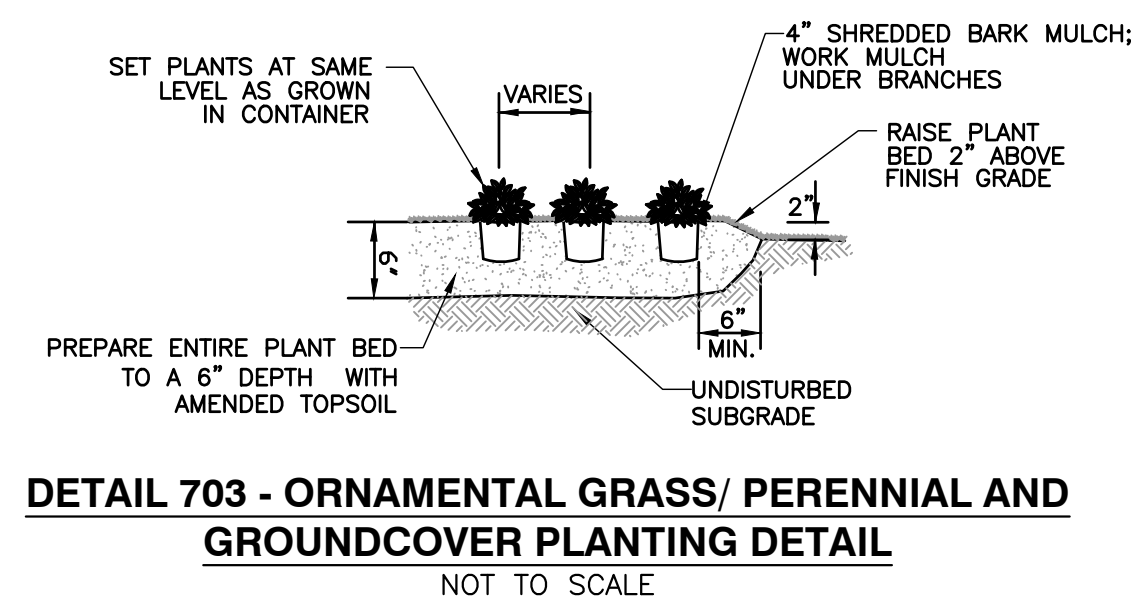
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT/RECORD DRAWINGS ON THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
- NO CHANGES TO THE SITE LANDSCAPE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
- CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUALITY AND QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON DRAWINGS.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT "AMERICAN ASSOCIATION OF NURSERY STOCK, ANSI Z60.1-2004", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED.
- ALL PLANTS SHALL BE PLANTED SO THAT THE ROOT CROWN IS PLANTED AT GRADE LEVEL.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING. TWINE OR ROPE SHALL BE REMOVED FROM AROUND CROWN OF TRUNK TO PREVENT GIRDLING OF TREE OR SHRUB.
- WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- THE DAY PRIOR TO PLANTING, THE LOCATIONS OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY OWNER(S).
- THE LANDSCAPE CONTRACTOR SHALL REFER TO CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE (1) CALENDAR YEAR FROM THE TIME OF SUBSTANTIAL COMPLETION OF PROJECT.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE PLANT SCHEDULE, THE PLANS SHALL TAKE PRECEDENCE.
- CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- STAKES AND OR GUY WIRES SHALL BE REMOVED AFTER ONE (1) YEAR OF INSTALLATION.
- ALL EXISTING LANDSCAPING SHALL BE MAINTAINED DURING CONSTRUCTION. ANY MATERIAL DEEMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT, WILL BE REPLACED EQUIVALENT IN SIZE AND SHAPE AT NO COST TO OWNER.
- IF PLANT SPECIES SPECIFIED ARE FOUND TO BE UNAVAILABLE OR NOT IN SUFFICIENT QUANTITIES AT TIME OF PLANTING, THE CONTRACTOR MAY SUBSTITUTE SPECIES UPON WRITTEN APPROVAL BY LANDSCAPE ARCHITECT AND CITY OF INDIANAPOLIS.

SYMBOL	DESCRIPTION	1 AG ST	PLANT QUANTITY PLANT TYPE REQ. LOCATION
FN	FOUNDATION PLANTINGS		
YD	YARD PLANTINGS		
PP	PERIMETER PARKING		
IP	INTERIOR PARKING		
BY	BUFFER YARD		

PROPOSED LANDSCAPE KEY NOTES:

- (A) TURF
- (B) SHREDDED HARDWOOD MULCH
- (C) SPADE EDGE BEDLINE BETWEEN TURF AND MULCH

OVERALL PLANTING SCHEDULE						
TREE/ EVERGREENS SCHEDULE						
LEGEND	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE COND	REMARKS HEIGHT AT MATURITY SPREAD AT MATURITY
	AF	3	Acer x freemanii "Armstrong"	Armstrong Red Maple	2-1/2" Cal. B & B	Deciduous Tree 40'-50' 15'
	GS	3	Gleditsia triacanthos inermis "Skyline"	Skyline Honey Locust	2-1/2" Cal. B & B	Deciduous Tree 35'-45' 25'-35'
SHRUBS SCHEDULE						
	BUX	14	Buxus microphylla "Wintergreen"	Wintergreen Boxwood	18" SPB No. 7 Cont.	Evergreen Shrub 4'-6' 2'-4'
	FOT	7	Fothergilla gardenii "Mount Airy"	Mount Airy Fothergilla	18" HT. No. 5 Cont.	Deciduous Shrub 3'-5' 3'-5'
	WEI	20	Weigela florida "Elvera"	Midnight Wine Weigela	12" HT. No. 3 Cont.	Deciduous Groundcover 10'-12' 24'-26'
PERENNIALS/ GRASSES SCHEDULE						
	PAN	103	Panicum virgatum "Northwind"	Northwind Switchgrass	Full Clump No. 1 Cont. Space 24" O.C.	Perennial Grass 4'-6' 2'-2.5'



- REFERENCE
- EXISTING BOUNDARY SURVEY AND TOPOGRAPHY PREPARED BY CEC, INC.



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SHELBYVILLE, INDIANA 46176

LANDSCAPE PLAN

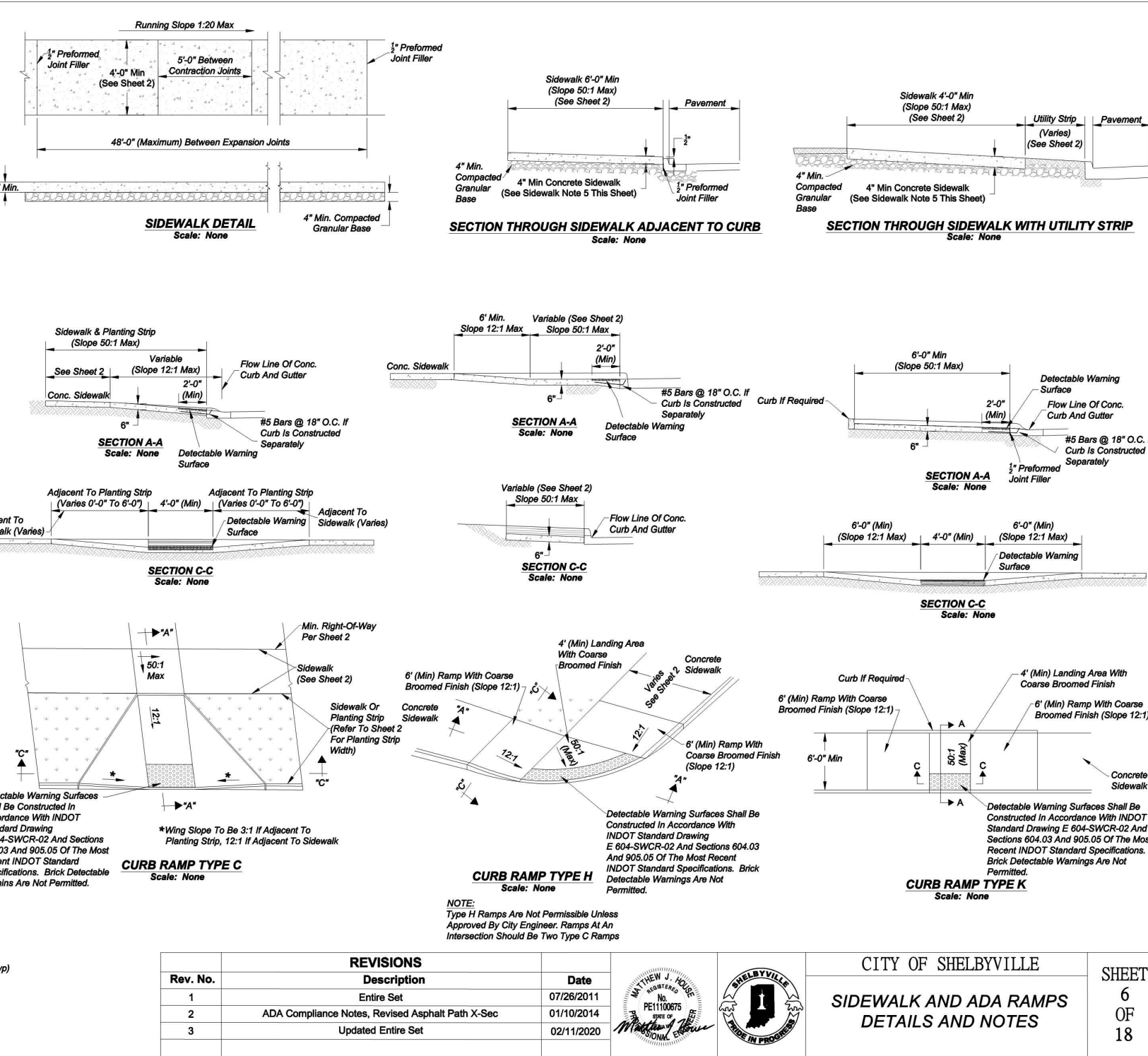
DATE: SEPTEMBER 6, 2021
DWG SCALE: 1"=20'
PROJECT NO: 312-885
APPROVED BY: [Signature]

DRAWING NO: **C700**
SHEET 9 OF 16

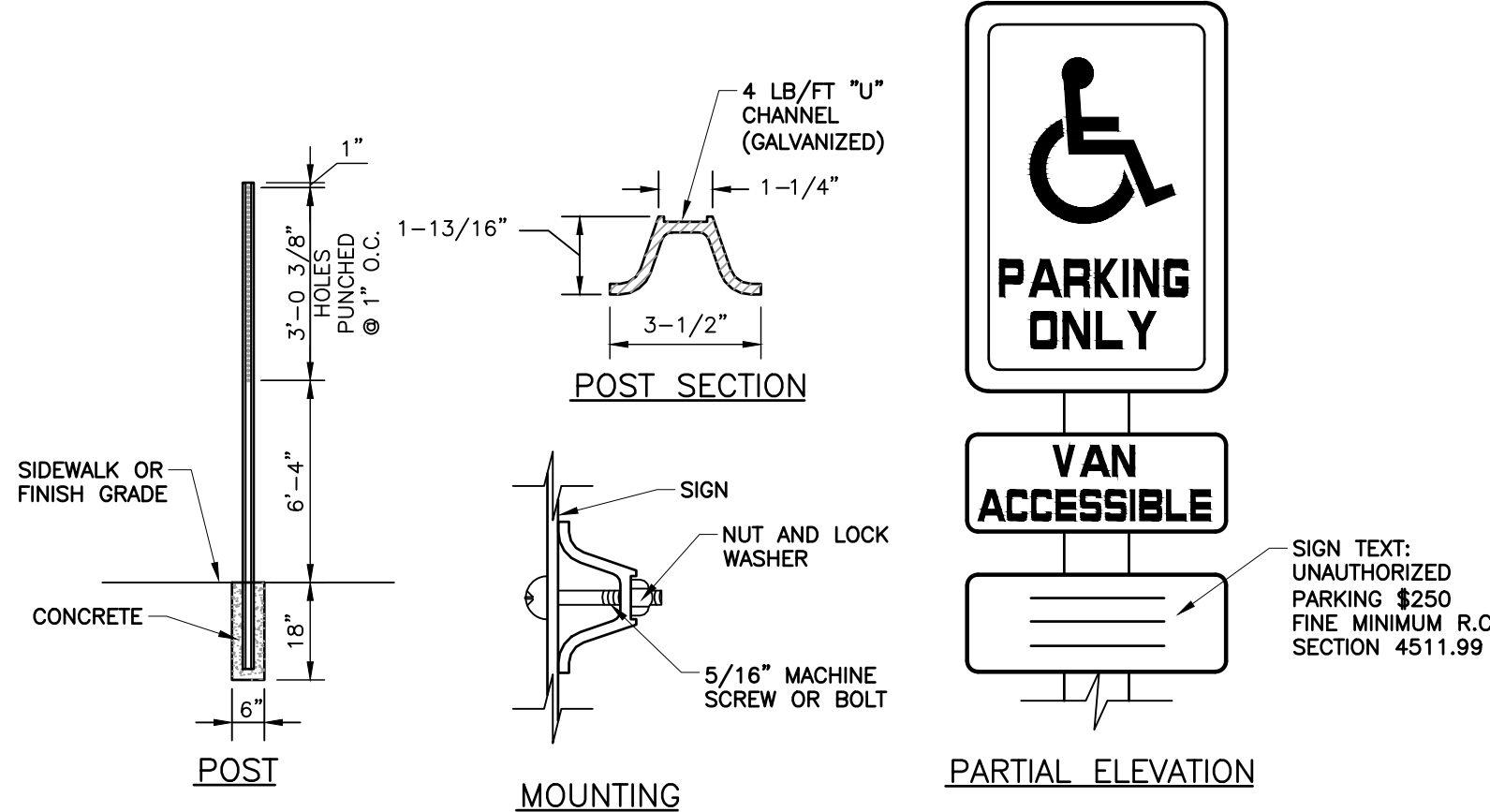
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A:\10-2001\312-885\1-CADD\DWG\CDOT-Construction Documents\112885-CVD-0800.dwg[20/11] LS(9/19/2021 - 9:06am) - LP: 9/19/2021 1:25 PM

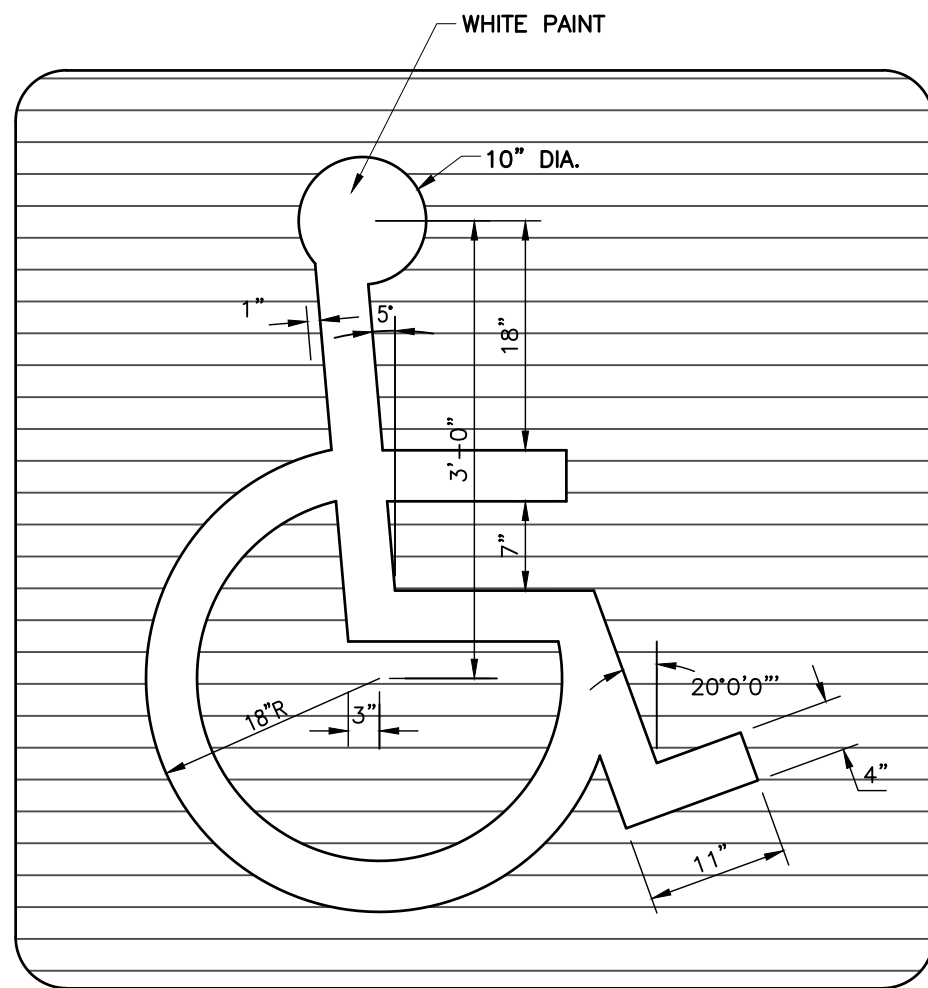
- SIDEWALK CONSTRUCTION**
- Care Shall Be Taken To Assure A Uniform Grade On All Ramps With No Grade Breaks.
 - 1" Prefabricated Joint Filler Shall Be Incorporated At A Maximum Spacing Of 48" Feet Of Walk And When Abutting Concrete Curb, Structures, Walls, Or Other Fixed Objects.
 - Surface Texture Shall Be Obtained By A Course Brooming, Transverse To The Profile Of The Sidewalk.
 - Expansion Between Construction Joints Shall Be Consistent Between Driveways.
 - All Concrete Sidewalks Shall Be 4" Thick, Except At Residential Drive Crossings Where The Minimum Thickness Shall Be 6". At Commercial Drives, The Concrete Sidewalk Thickness Shall Be 6".
 - Concrete Sidewalks Shall Be Constructed In Accordance With The Latest Version Of INDOT Specification Section 604. Sidewalks To Travel Joints Shall Be Vertical, Vented, And Have A Minimum 1/4" Expansion Joint.
 - A Minimum Of 4" Thick Compacted Granular Base Or 4" Fine Gravel Bed Shall Be Placed Prior To The Construction Of The Sidewalk. Subgrade Shall Be Compacted With Proper Compactor. Any Utility Trenches Shall Be Backfilled And Compacted Per City Standards.
 - Sidewalk Longitudinal Grade Shall Be Within ± 1% Of The Adjacent Roadway's Longitudinal Grade Except At Curb Ramps.
 - For Cold-Weather Concrete Placement, Contractor Shall Comply With Provisions Of ACI 308R For Protection From Physical Damage Or Reduced Strength. For Hot Weather Concrete Placement, Contractor Shall Comply With Provisions Of ACI 308R For Protection From Physical Damage Or Reduced Strength. As Associated With Rapid Moisture Loss.
 - At Sidewalk Walks Public Right-Of-Way Shall Comply With The Most Recent Requirements Of The Americans With Disabilities Act (ADA). Sidewalks Shall Meet The Standards Set Forth In The Current ADA Accessibility Guidelines (AGAG) And Public Right-Of-Way Guidelines (PROWAG).
- ADA SIDEWALK CURB RAMP CONSTRUCTION**
- All ADA Sidewalk Curb Ramps Shall Comply With The Most Recent Requirements Of The Americans With Disabilities Act (ADA). ADA Ramps Shall Meet The Requirements Set Forth In The Current ADA Accessibility Guidelines (AGAG) And Public Right-Of-Way Guidelines (PROWAG). All Ramps Shall Comply With The Most Recent INDOT Standard Specifications And The City Of Shelbyville Standard Specifications. Curb Ramps Required For Curb Ramps Shall Be Provided At Time Of Walk Construction.
 - Minimum Width Of Curb Ramps Shall Be 4' For On-Street Sidewalk Walks, Unless It Is Otherwise Specified In The City Of Shelbyville Standard Specifications. Maximum Vertical Slope Of Ramps Shall Be 12:1. Maximum Horizontal Slope Shall Be 5:1.
 - ADA Curb Ramps Shall Be Located As Shown On The Plans Or As Directed By The City Engineer Or Street Commissioner.
 - Type C Ramps Shall Be Provided Adjacent To Each Port Of Access At All Corners Of Every Intersection Where There Is A Change In The Direction Of Travel. Type C Ramps Shall Be 11' Minimum At 11' Intersections. At 11' Ramps Shall Be Provided Adjacent To Each Port Of Access. Type C Ramps Shall Be Provided At Walk Locations At 45-Degree To The Street. Ramps Shall Be Provided At Time Of Walk Construction. The Use Of Grassy Areas To These Ramps Shall Be Provided At Time Of Walk Construction.
 - Ramps Shall Have A Minimum Vertical Slope Of 12:1. Maximum Horizontal Slope Shall Be 5:1.
 - Surface Texture Of The Ramp Shall Be Obtained By A Course Brooming Transverse To The Slope Of The Ramp.
 - Ramps Shall Be Provided On Both Sides Of A Driveway Whenever A Curb Driveway Closes A Sidewalk.
 - Care Shall Be Taken To Assure A Uniform Grade On All Ramps With No Breaks In Grade.
 - Driveway Structures Shall Not Be Placed In Line With The Ramp Except Where Existing Structures Are Located In The Same Location. Location Of The Ramp Shall Be Provided On Both Sides Of A Driveway.
 - The Normal Outer Line Profile Shall Be Maintained Through The Area Of The Ramp.
 - The Expansion Joint For The Ramp Shall Be A Maximum 7' Width. The Top Of The Joint Filler For All Ramp Types Shall Be Flush With Adjacent Concrete.
 - Crosswalk And Stop Line Markings, When Used, Shall Be Located As To Stop Traffic Short Of Ramp Crossing.
 - Slope Of Ramps May Be Reduced Only When Field Conditions Warrant And When Approved By The City Engineer Or Street Commissioner.
 - Sidewalk Ramps Shall Not Be Constructed Within Any Portion Of A Driveway.
 - Items On This Sheet Shall Be Constructed In Accordance With Sections 604 And 605 Of The Most Current Indiana Department Of Transportation Standard Specifications.
 - Refer to INDOT Standard Drawings For Alternate Sidewalk Curb Ramp Configurations And Construction Details.



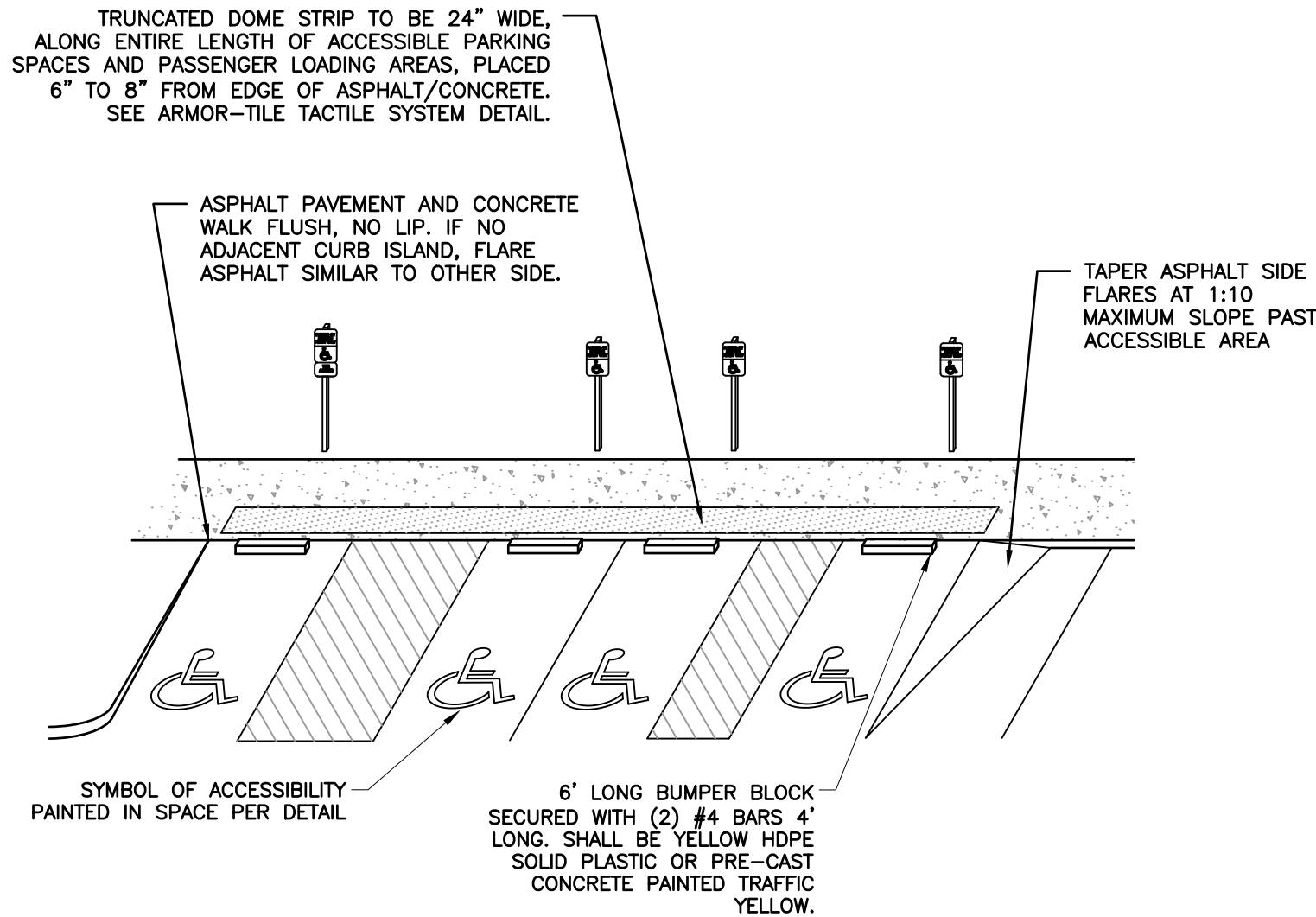
DETAIL 209 - SHELBYVILLE ADA DETAILS
NOT TO SCALE



DETAIL #206 - ADA ACCESSIBLE PARKING SIGNS
NOT TO SCALE



DETAIL #207 - PAINTED ADA ACCESSIBLE SYMBOL
DETAIL
NOT TO SCALE



- NOTES:**
- ACCESSIBLE SPACE / LOADING AREA: MAXIMUM 2.0% (1:50) SLOPE IN ANY DIRECTION.
 - ASPHALT TO CONCRETE BLENDED TRANSITION TO BE COMPLETELY FLUSH, NO LIP.
 - PLACEMENT AND STRIPING SHOWN IN DETAIL IS SCHEMATIC, SEE SITE PLAN FOR CONFIGURATION.
 - PASSENGER LOADING AREAS SHALL BE PAINT STRIPED AT 45° ANGLE, EACH 6" WIDE STRIPE AT 24" ON CENTER.

DETAIL #208 - ACCESSIBLE PARKING
NOT TO SCALE

PRELIMINARY
NOT FOR CONSTRUCTION

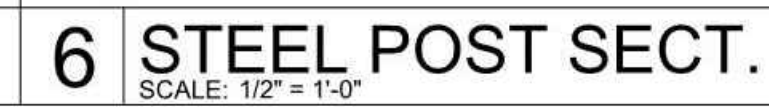
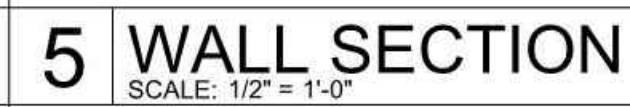
REVISION RECORD	
NO.	DESCRIPTION

Civil & Environmental Consultants, Inc.
530 E. Ohio Street - Suite G - Indianapolis, IN 46204
317-655-7777 - 877-746-0749
www.cecinc.com

DXU ARCHITECTS
RURAL KING OUTLET
SHELBYVILLE, INDIANA 46176

SITE DETAILS	
DATE: SEPTEMBER 6, 2021	DRAWN BY: SQJ
DWG SCALE: NTS	CHECKED BY: AES
PROJECT NO: 312-885	APPROVED BY: AES

DRAWING NO: **C801**
SHEET 11 OF 16



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530 E. Ohio Street · Suite G · Indianapolis, IN 46204
317-655-7777 · 877-746-0749
www.cedic.com

SEPTEMBER 6, 2021	DRAWN BY:	SGJ
	NTS	AES
	CHECKED BY:	312-885
		AES

DRAWING NO.:
C803
SHEET **13** OF **16**



NORTH



Br - BROOKSTON SILTY CLAY LOAM - 0 TO 2 PERCENT SLOPES

Br SOIL IS POORLY DRAINED. THE MOST COMMON LANDFORMS FOR THIS SOIL TYPE ARE TILL PLAINS AND DEPRESSIONS. THE SURFACE LAYER IS SILTY CLAY LOAM. PERMEABILITY IS MODERATELY HIGH (0.20 - 0.60 IN/HR) IN THE MOST RESTRICTIVE LAYER ABOVE 0 - 80 INCHES. AVAILABLE WATER CAPACITY IS MODERATE (0-60 INCHES). THIS IS PRIME FARMLAND IF DRAINED.

CrA - CROSBY SILT LOAM - 0 TO 2 PERCENT SLOPES

GRA SOIL IS SOMEWHAT POORLY DRAINED. THE MOST COMMON LANDFORMS FOR THIS SOIL TYPE ARE WATER-LAIN MORAINES, RECESSIONAL MORAINES, AND GROUND MORAINES. THE SURFACE LAYER IS SILT LOAM. PERMEABILITY IS LOW TO MODERATELY HIGH (0.01 - 0.20 IN/HR) IN THE MOST RESTRICTIVE LAYER ABOVE 24 TO 40 INCHES. AVAILABLE WATER CAPACITY IS MODERATE (0-60 INCHES). THIS IS PRIME FARMLAND IF DRAINED.

EROSION CONTROL RESPONSIBLE PERSON:

THE PERSON RESPONSIBLE FOR THE INSTALLATION AND
MAINTENANCE OF THE EROSION CONTROL IS LISTED BELOW.

OWNER:
ERIC STYER
408 S. WELLS ST.
CHICAGO, IL 60607
PHONE: 312-955-0334

BENCHMARKS:

UNLESS OTHERWISE NOTED, ELEVATIONS SHOWN HEREON ARE BASED UPON A
OPUS SOLUTION AND ARE ON THE 1988 NORTH AMERICAN VERTICAL DATUM
(NAVD88). IT IS MY OPINION THAT THE UNCERTAINTY IN THE ELEVATION OF THE
PROJECT BENCHMARK DOES NOT EXCEED 0.10 FOOT.


TBM#1: CUT SQUARE ON TOP OF THE WEST FACE OF A LIGHT POLE BASE
LOCATED ON THE NORTH END OF THE CURB ISLAND TO THE EAST OF THE SITE.
ELEV. = 789.25

TBM#2: CUT "X" ON THE NORTHEAST ANCHOR BOLT OF THE INFINITY HOME CAR SIGN LOCATE SOUTHWEST OF THE SITE.

TBM#3: CUT SQUARE ON TOP OF THE NORTH FACE OF A LIGHT POLE
LOCATED APPROXIMATELY 62 FEET NORTHEAST OF THE NORTHEAST CORNER
THE INFINITY HOME CARE BUILDING.

GENERAL EROSION CONTROL NOTES

1. CONTRACTOR SHALL INSTALL ALL REQUIRED SILT FENCES, SILT TRAPS, TREE PROTECTION AND INLET PROTECTION FOR EXISTING INLETS PRIOR TO THE START OF ANY EARTH MOVING OR STRIPPING.
2. CONTRACTOR SHALL INSTALL A STONE CONSTRUCTION ENTRANCE OR SOME OTHER DEVICE PRIOR TO THE START OF EARTHWORK AS NECESSARY TO PREVENT SOIL FROM BEING TRACKED OR WASHED INTO EXISTING ROADWAYS.
3. LAND ALTERATIONS WHICH STRIP THE LAND OF VEGETATION, INCLUDING REGRADING, SHALL BE DONE IN A WAY THAT WILL MINIMIZE EROSION. WHERE FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED. AS GRADING IS DONE, INSTALL SILT TRAPS, SILT FENCES, SLOPE DRAINS, TEMPORARY DIVERSIONS AND OTHER RUNOFF CONTROL MEASURES AT APPROPRIATE LOCATIONS TO KEEP SEDIMENT CONTROLLED ON SITE.
4. ALL DISTURBED AREAS SHALL BE SEEDED AND STRAW MULCHED AS SHOWN ON THE PLANS IMMEDIATELY AFTER COMPLETION OF GROUND ADJUSTMENT. FOR LARGE PROJECTS, THIS SEEDING SHOULD BE COMPLETED IN PHASES AS THE DIFFERENT AREAS OF THE SITE ARE COMPLETED.
5. PERMANENT AND FINAL VEGETATION OR STRUCTURAL EROSION CONTROL DEVICES SHALL BE INSTALLED AS SOON AS PRACTICAL UNDER THE CIRCUMSTANCES.
6. THE DURATION OF TIME WHICH AN AREA REMAINS EXPOSED SHALL BE KEPT TO A PRACTICAL MINIMUM DEPENDING UPON THE WEATHER. IF CONSTRUCTION ACTIVITY IS TO CEASE FOR MORE THAN TWO WEEKS, THE DISTURBED AREAS SHALL BE TEMPORARILY SEEDED.
7. ALL STORM SEWER INLET PROTECTION DEVICES SHALL BE PUT IN PLACE AT THE TIME EACH INLET IS CONSTRUCTED.
8. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES AND DEVICES DURING CONSTRUCTION AND UNTIL SILTATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR.
9. ONCE ONSITE EROSION AND SILTATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES.
10. THESE GENERAL PROCEDURES MAY NOT COVER ALL SITUATIONS. REFER TO EROSION CONTROL PLANS FOR SPECIFIC NOTES AND ADDITIONAL DETAILS.
11. EROSION CONTROL TO COMPLY WITH INDIANA 327 IAC AND RULE #5, AND INDIANA STORMWATER QUALITY HANDBOOK.
12. ALL PROPOSED EROSION AND SEDIMENT CONTROL SHALL BE IN CONFORMANCE WITH CHAPTER 600 OF THE CITY OF INDIANAPOLIS STORMWATER SPECIFICATIONS MANUAL, LATEST EDITION. DISCREPANCIES BETWEEN THE PLANS AND THE MANUAL SHALL NOT ALLEVIATE THE CONTRACTOR FROM ADHERING TO THE REQUIREMENTS AS SET FORTH IN THE MANUAL.
13. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY THE INSPECTOR.

[illegible]

Civil & Environmental Consultants, Inc.

**DXU ARCHITECTS
RURAL KING OUTLET
SHELBYVILLE, INDIANA 46176**

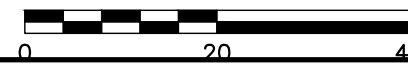
<h1 style="text-align: center;">TEMPORARY STORMWATER POLLUTION PREVENTION PLAN</h1>	
DATE:	SEPTEMBER 6, 2021
DRAWN BY:	AML
DWG SCALE:	AES
PROJECT NO:	1-20
CHECKED BY:	312-885
APPROVED BY:	AES

DRAWING NO.:
C900
SHEET 14 OF 16

REFERENCE

1. EXISTING BOUNDARY SURVEY AND TOPOGRAPHY PREPARED BY CEC, INC.

SCALE IN FEET



PRELIMINARY
NOT FOR CONSTRUCTION

P: \310-000\312-885\ -CAD0\ Dwg\ CV03-Construction Documents\ 312885-CV03-C900.dwg\ LS: (9/13/2021 - close) - LP: 9/13/2021 1:25 PM

PERMANENT SEEDING DATES

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
NON-IRRIGATED*												
IRRIGATED												
DORMANT SEEDING **												

IRRIGATION NEEDED DURING THIS PERIOD. TO CONTROL EROSION AT TIMES OTHER THAN IN THE SHADED AREAS. USE MULCH.

* LATE SUMMER SEEDING DATES MAY BE EXTENDED 5 DAYS IF MULCH IS APPLIED.

** INCREASE SEEDING APPLICATION BY 50%.

SEEDBED PREPARATION

1. APPLY LIME TO RAISE THE pH TO THE LEVEL AS NEEDED FOR SPECIES BEING SEED.
2. APPLY 23 POUNDS OF PHOSPHOROUS FREE FERTILIZER: 12-0-12 ANALYSIS (OR EQUIVALENT) PER 1000 SQ. FT. (APPROXIMATELY 1000 POUNDS PER ACRE) OR FERTILIZE ACCORDING TO TEST. APPLICATION OF 150 LBS. OF AMMONIUM NITRATE ON AREAS LOW IN ORGANIC MATTER AND FERTILITY WILL GREATLY ENHANCE VEGETATIVE GROWTH.
3. WORK THE FERTILIZER AND LIME INTO THE SOIL TO A DEPTH OF 2-4 INCHES WITH A HARROW, DISK OR RAKE OPERATED ACROSS THE SLOPE AS MUCH AS POSSIBLE.

SEEDING

SELECT A SEED MIXTURE BASED ON PROJECTED USE OF THE AREA (SEE PERMANENT SEED MIXTURE CHART). WHILE CONSIDERING BEST SEEDING DATES. IF PERMANENT SEEDING IS NOT PERMITTED USE TEMPORARY SEEDING UNTIL PERMANENT SEEDING CAN BE APPLIED. IF TOLERANCES ARE A PROBLEM, SUCH AS 'SALT TOLERANCE OF SEEDINGS ADJACENT TO STREETS AND HIGHWAYS, SEE SEED TOLERANCE CHART.

	SOIL CONDITION	WET	NORM	DRY	SHADE TO 2-3 1/2 INCHES	CLOSE MOWING	FERTILITY NEEDS	WINTER HARDNESS	FLOODING TOLERANCE (DAYS)	MATURE (INCHES)	EMERGENCE TIME (DAYS)	SOIL TOLERANCE GEN.	SOIL SPRAY
CREEPING RED FESCUE FESTUCA RUBRA	2	1	2	1	1	1	MED.	1	20-25	12-18	7-21		S
KENTUCKY BLUEGRASS POA PROTENSIS	2	1	2	1	1	1	MED.	1	20-35	12-18	10-20		MT
TALL FESCUE FESTUCA L. ARUNDINACEA	2	1	1	1	1	1	LOW	1	24-35	24-36	5-14		T
PERENNIAL RYEGRASS LOLLIUM PERENNE	2	1	2	-	1	2	MED. HIGH	2	15-20	12-18	5-10		MT
RED CLOVER TRIFOLIUM PROTENSE	-	1	-	2	-	-	MED.	1	7-10	18	5-10	S	S

RANKING: 1 GOOD 2 MEDIUM - NOT TOLERANT
SALT TOLERANCE (TO BOTH SOIL SALTS & SPRAY)
T TOLERANCE MT MEDIUM TOLERANCE S SLIGHT TOLERANCE

TYPE OF SEED	1000 SQ. FT.	ACRE	REMARKS
WHEAT OR RYE	3.5 LBS.	2 BU.	COVER SEED 1" TO 1 1/2" DEEP
SPRING OATS	2.3 LBS.	3 BU.	COVER SEED 1" DEEP
ANNUAL RYEGRASS	1 LB.	40 LB.	COVER SEED 1/4" DEEP

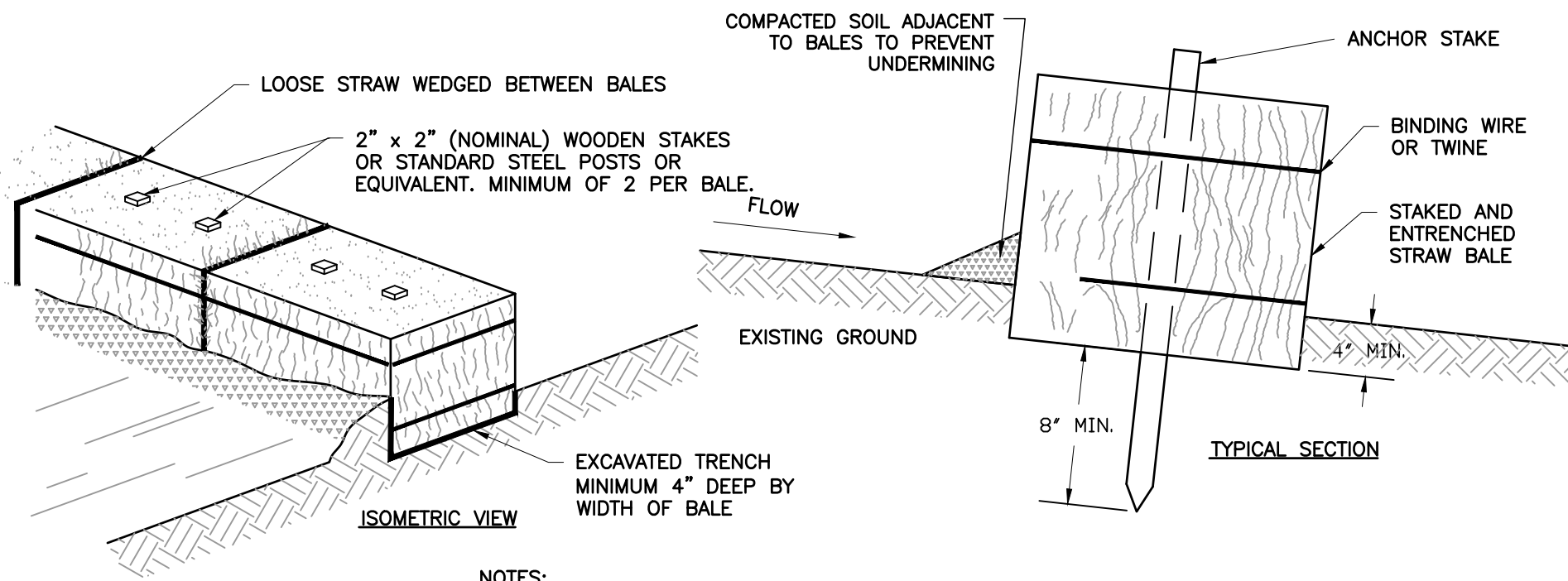
* NOT NECESSARY WHERE MULCH IS APPLIED.

PERMANENT SEEDING	SEEDING RATE	SUITABLE pH	SITE SUITABILITY*
SPECIES	LBS/ACRE	LBS/1000 SQ. FT.	DROUGHTY WELL DRAINED WET
LEVEL AND SLOPING, OPEN AREAS			
1. TALL FESCUE	35	.8	5.5-8.3 2 1 2
2. TALL FESCUE	25	.6	5.5-8.3 1
3. RED CLOVER	5	.12	5.8-7.5 2 1
4. CREEPING RED FESCUE	15	.4	5.8-7.5 2 1
STEEP BANKS AND CUTS			
4. TALL FESCUE	15	.4	5.8-7.5 2 1 2
5. KENTUCKY BLUEGRASS	25	.6	5.5-8.3 2 1
5. TALL FESCUE	35	.8	5.5-8.3 2 1
LAWNS AND HIGH MAINTENANCE AREAS			
6. KENTUCKY BLUEGRASS	40	.9	5.8-7.5 2 1
7. CREEPING RED FESCUE	40	.9	5.8-7.5 2 1
8. PERENNIAL RYEGRASS (TURF TYPE)	170	4.0	5.0-7.5 1
8. TALL FESCUE	170	4.0	5.5-8.3 2 1 2

* 1 - PREFERRED 2 - WILL TOLERATE

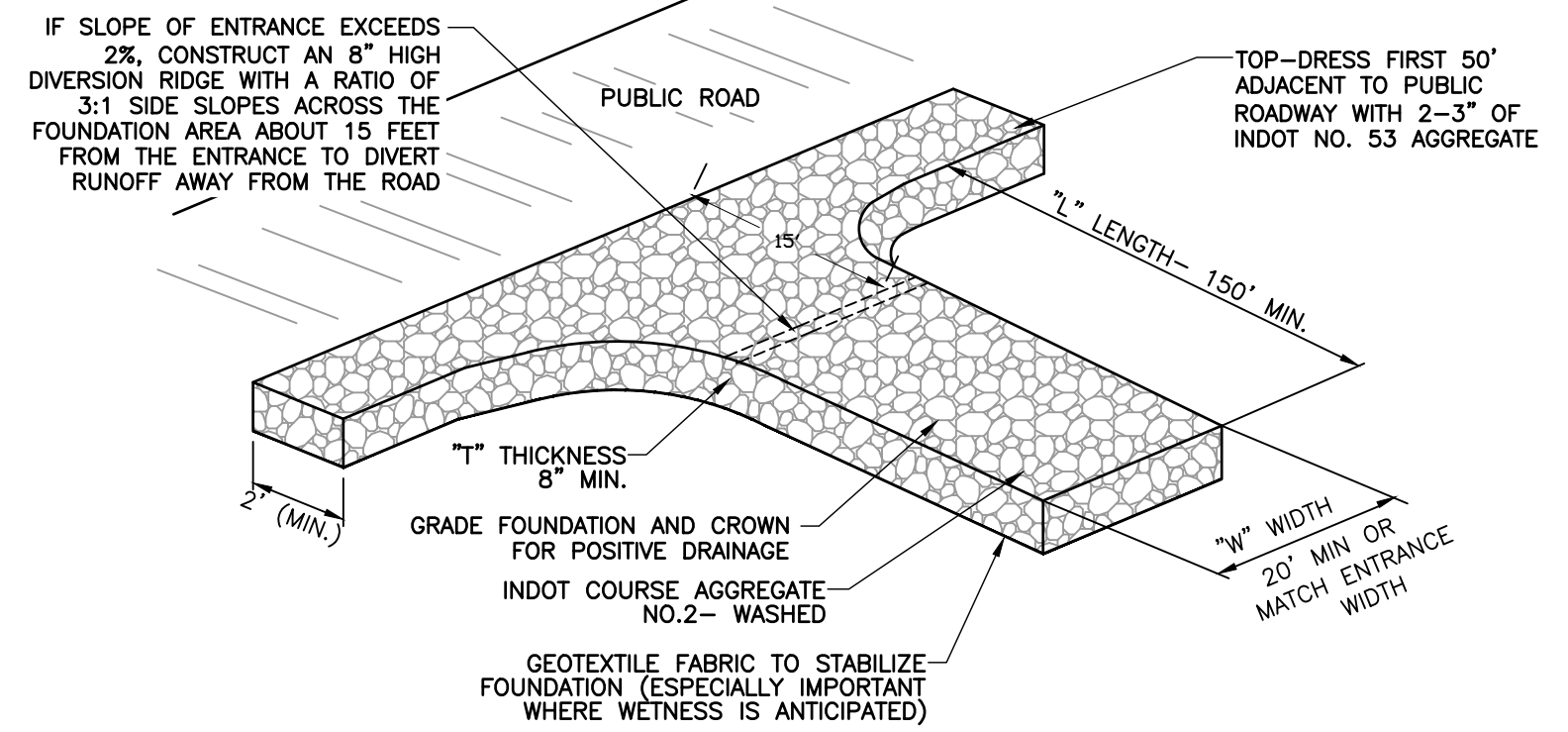
TEMPORARY SEEDING DATES

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
WHEAT OR RYE												
OATS												
ANNUAL RYEGRASS												



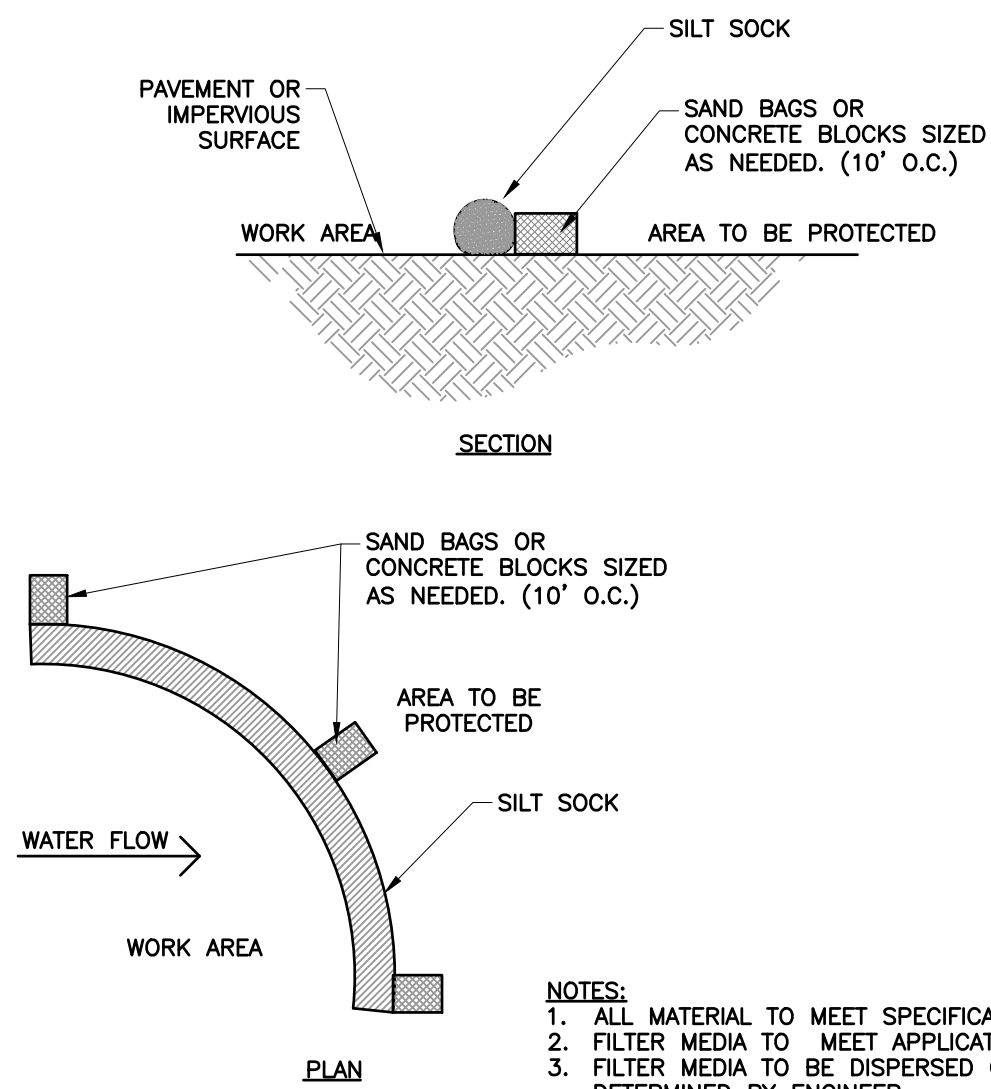
DETAIL 904 - STRAW BALE FOR CONCRETE WASHOUT ONLY

NOT TO SCALE



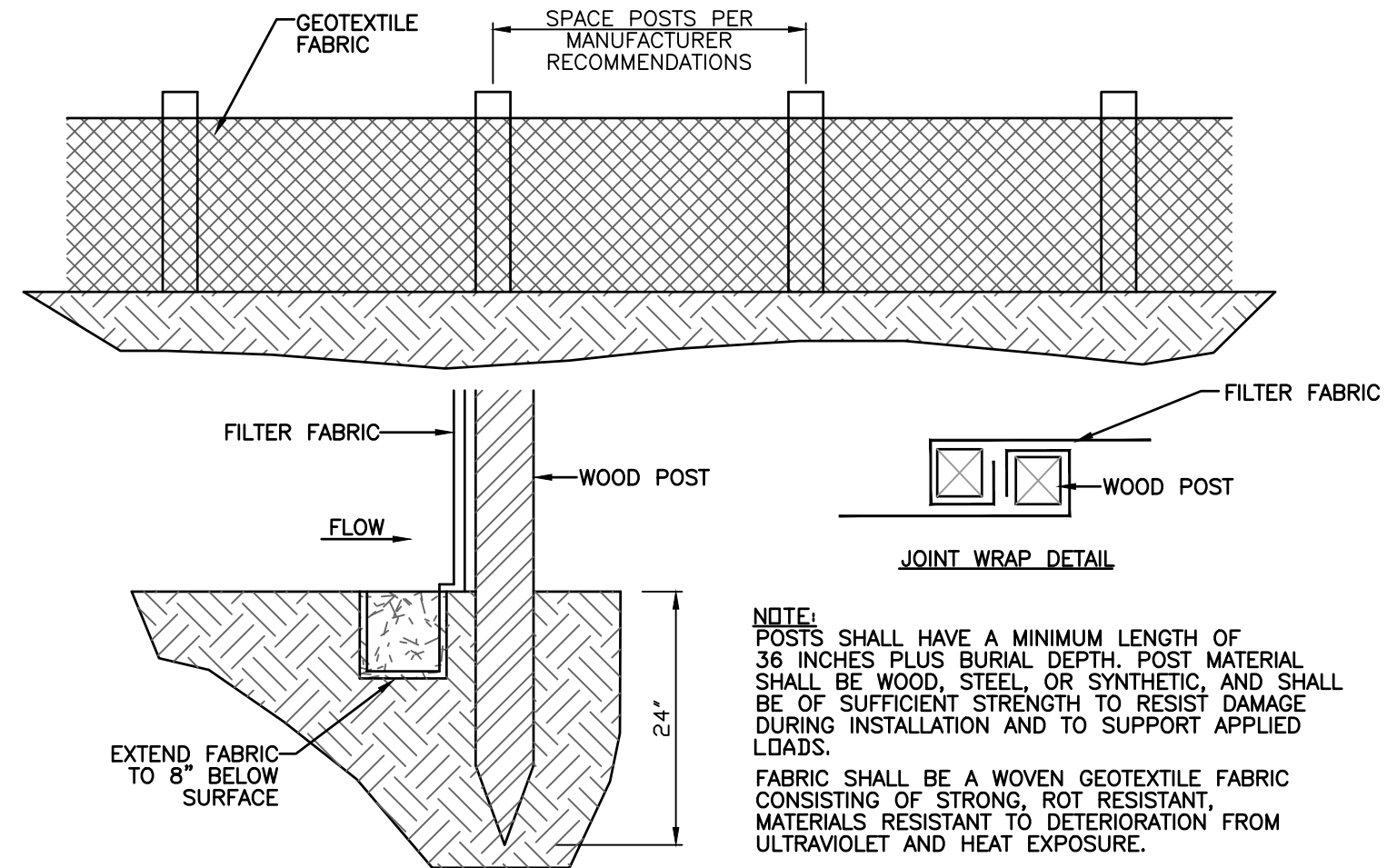
DETAIL 901 - TEMPORARY CONSTRUCTION ENTRANCE

NOT TO SCALE



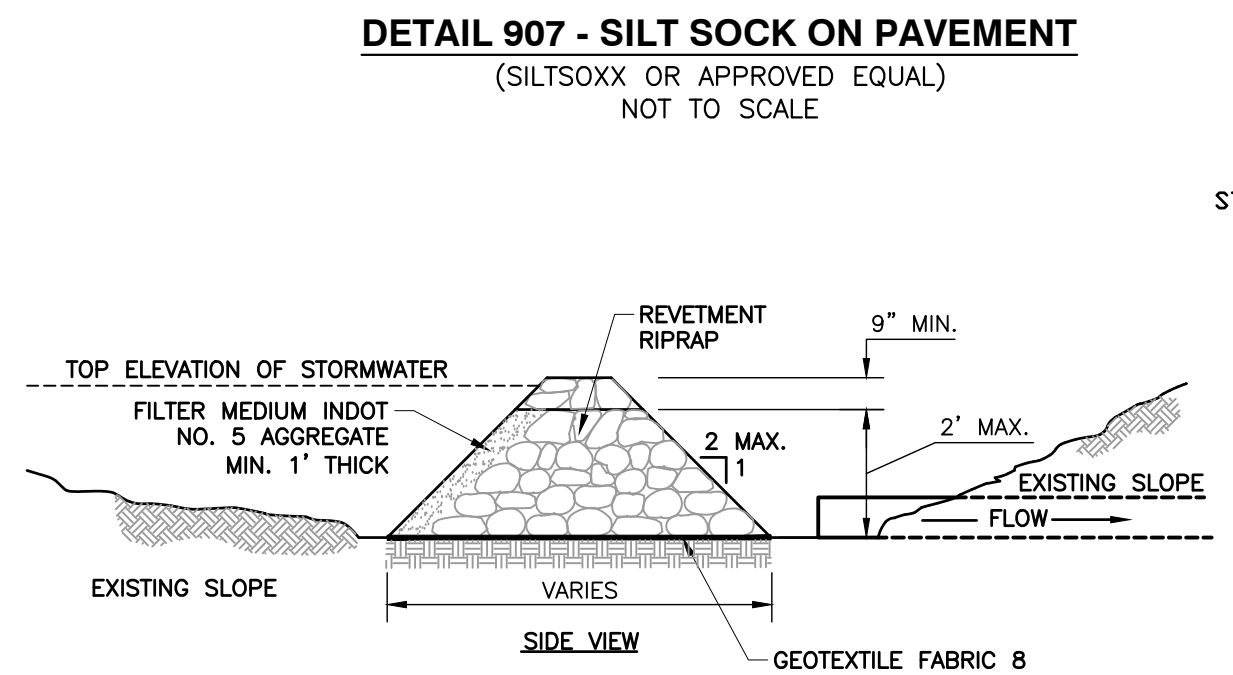
DETAIL 905 - CONCRETE WASHOUT BMP

NOT TO SCALE



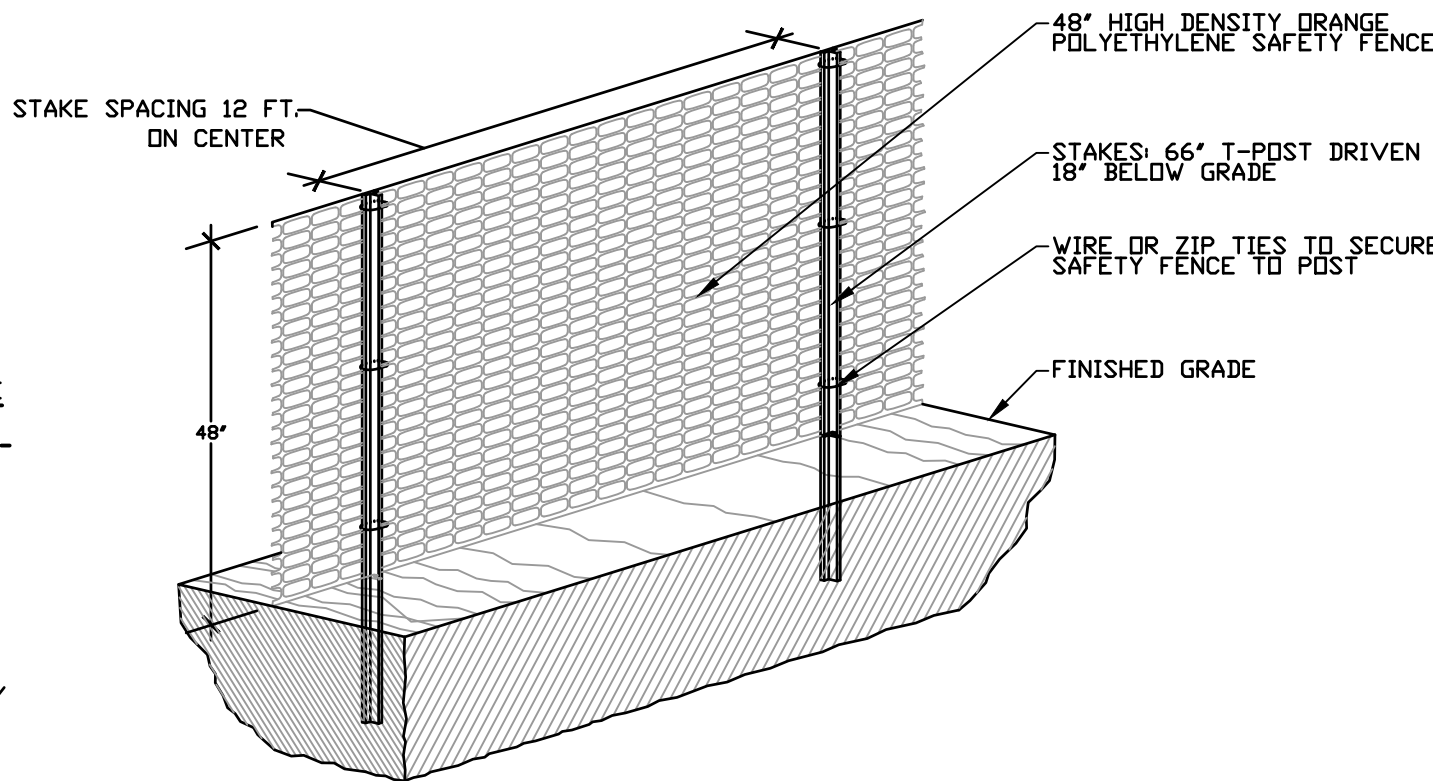
DETAIL 902 - SILT FENCE

NOT TO SCALE



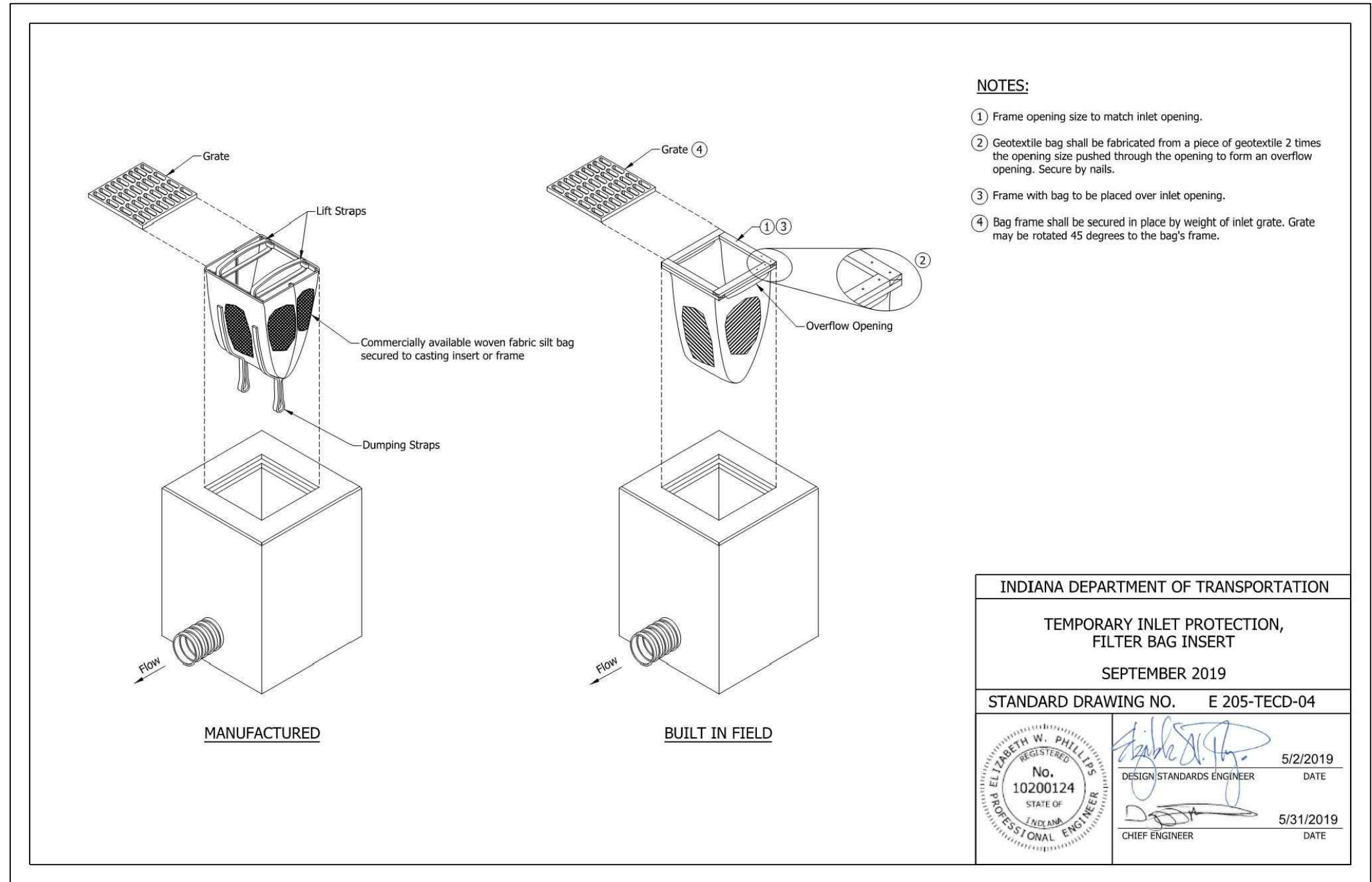
DETAIL 907 - SILT SOCK ON PAVEMENT

(SILT SOCK OR APPROVED EQUAL) NOT TO SCALE



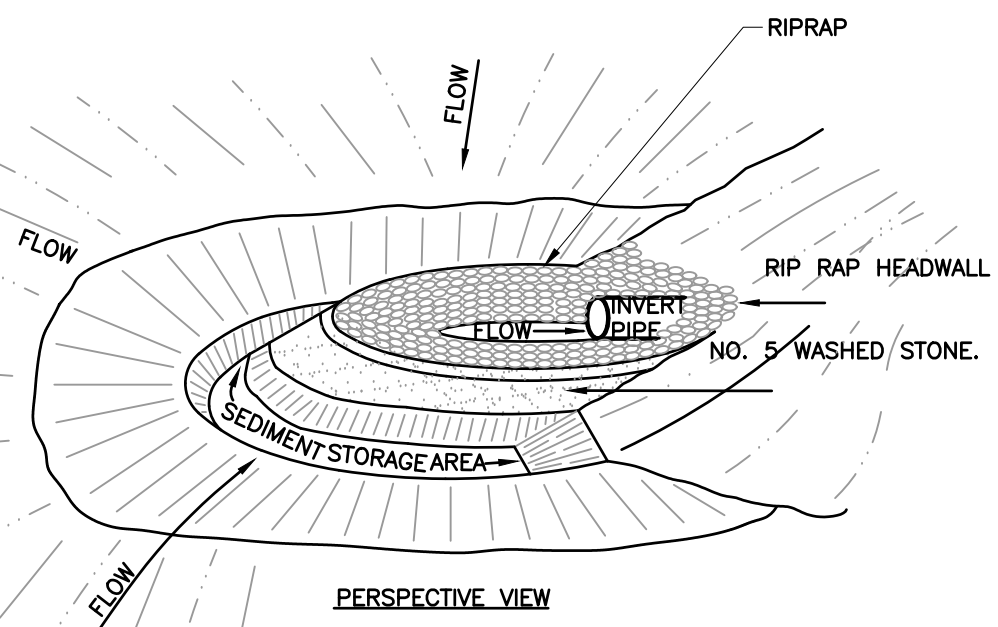
DETAIL 906 - 48" SAFETY FENCE

NOT TO SCALE



DETAIL 903 - TEMPORARY INLET PROTECTION, FILTER BAG INSERT

NOT TO SCALE



DETAIL 908 - ROCK HORSESHOE DAM DETAIL

NOT TO SCALE

REVISION RECORD

NO.	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
530 E. Ohio Street - Suite G - Indianapolis, IN 46204
317-655-7777 - 877-746-0749
www.cecinc.com

DXU ARCHITECTS
RURAL KING OUTLET
SHELBYVILLE, INDIANA 46176

STORMWATER POLLUTION PREVENTION DETAILS

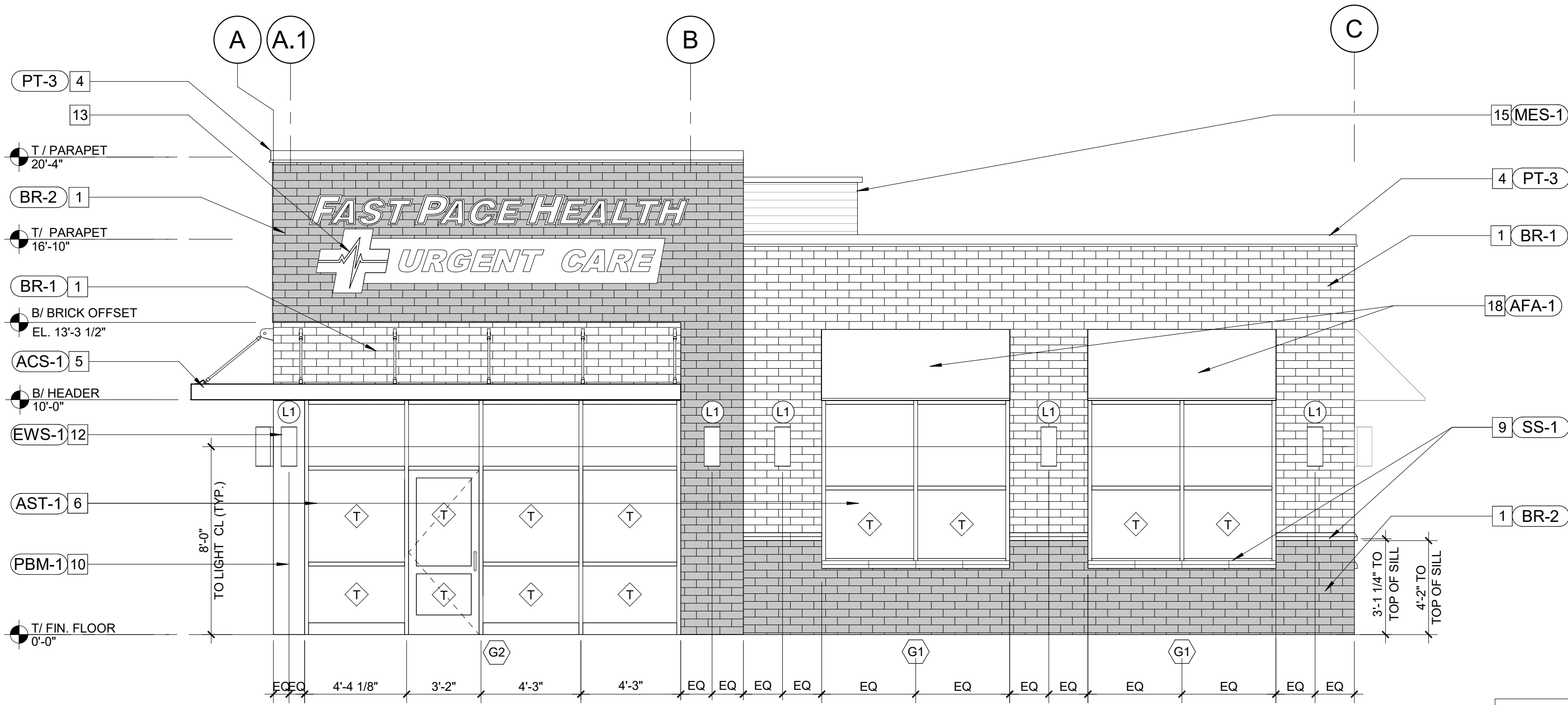
DRAWING NO. **C902**

SHEET 16 OF 16



PRELIMINARY
NOT FOR CONSTRUCTION

INDIANA DEPARTMENT OF TRANSPORTATION	DATE: SEPTEMBER 6, 2021	DESIGNED BY: NTS	CHECKED BY: NTS	DATE: 5/31/2019
TEMPORARY INLET PROTECTION, FILTER BAG INSERT	DATE: 5/2/2019	DESIGNED BY: NTS	CHECKED BY: NTS	DATE: 5/31/2019
SEPTEMBER 2019	DATE: 5/2/2019	DESIGNED BY: NTS	CHECKED BY: NTS	DATE: 5/31/2019
STANDARD DRAWING NO. E 205-TECD-04	DATE: 5/2/2019	DESIGNED BY: NTS	CHECKED BY: NTS	DATE: 5/31/2019
No. 10200124	DATE: 5/2/2019	DESIGNED BY: NTS	CHECKED BY: NTS	DATE: 5/31/2019
STATE OF INDIANA	DATE: 5/2/2019	DESIGNED BY: NTS	CHECKED BY: NTS	DATE: 5/31/2019
REGISTERED PROFESSIONAL ENGINEER	DATE: 5/2/2019	DESIGNED BY: NTS	CHECKED BY: NTS	DATE: 5/31/2019
CHEF ENGINEER	DATE: 5/2/2019	DESIGNED BY: NTS	CHECKED BY: NTS	DATE: 5/31/2019



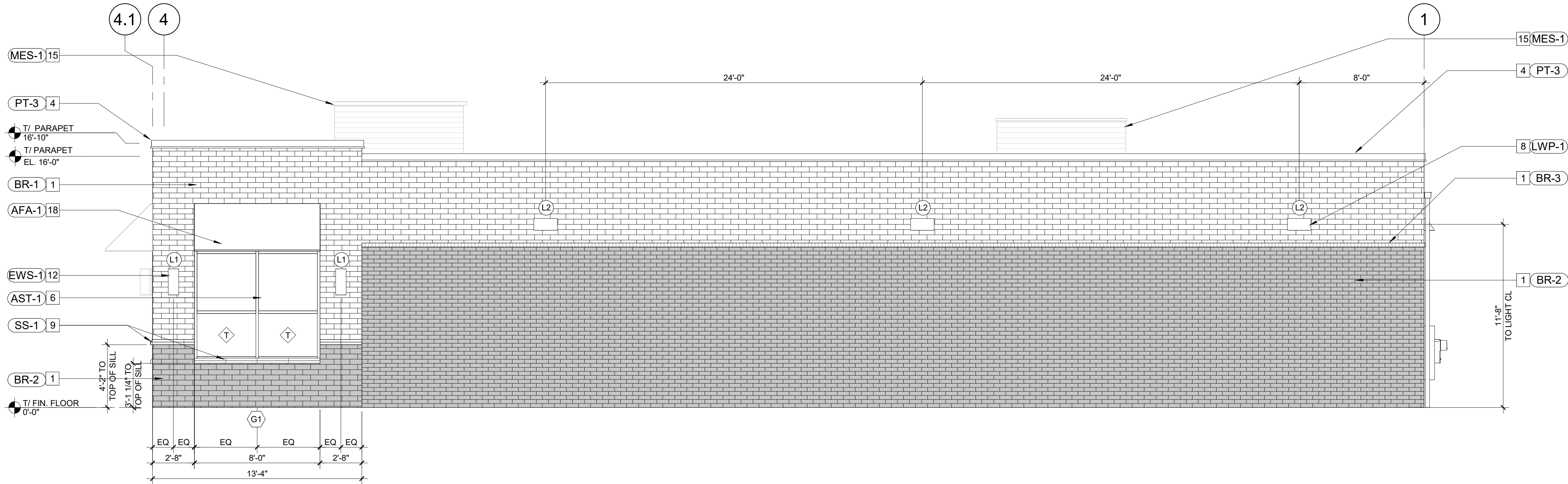
KEYNOTE LEGEND - ELEVATIONS	
1	BRICK VENEER-SEE BUILDING ELEVATIONS & EXTERIOR FINISH SCHEDULE*
4	24 GA PREFINISHED GALVANIZED METAL COPING - SEE EXTERIOR FINISH SCHEDULE*
5	PREFABRICATED ALUMINUM CANOPY - ANCHOR TO WALL PER VENDOR SHOP DRAWINGS*
6	ALUMINUM STOREFRONT SYSTEM-KAWNEER TRIFAB VG 451 OR EQUAL - SEE SPECS FOR DETAILS*
7	GAS SERVICE - SEE MEP & CIVIL SHEETS*
8	LED WALL PACK FIXTURE - SEE SPECS & ELEC. DWGS*
9	STONE SILL W/ 1" PROJECTION-SEE EXTERIOR FINISH SCHEDULE*
10	PREFINISHED BREAK METAL CLADDING - COLOR TO MATCH STOREFRONT*
11	PREFINISHED GUTTER AND DOWNSPOUTS - TIE TO STORM SEWER SYSTEM*
12	EXTERIOR WALL SCONCE - UP/DOWN WALL MOUNT LIGHT FIXTURE.INSTAL PER MANUF. SPECS.*
13	WALL SIGN PER FPUCG STANDARDS AND SPECIFICATIONS - SEE SIGN VENDOR DWGS FOR DETAILS*
15	RTU SCREEN(ON RTU MOUNTED SYSTEM) BY CITYSCAPES OR EQUAL*
16	KEY LOCKBOX*
17	PAINTED STEEL VERTICAL LADDER W/ LOCKABLE GATE-SEE WALL SECTIONS*
18	ALUMINUM FRAME/BLACK FABRIC AWNING SYSTEM*
20	REAR SERVICE HM DOOR & FRAME - PAINT TO MATCH MASONRY WALL*
21	ELECTRICAL SERVICE - SEE ELEC. & CIVIL SHEETS*
22	STRUCTURAL KICKERS/FRAMING FOR WALL OVERHANG SUPPORT - SEE STRUCTURAL DWGS.

KEYNOTE LEGEND-EXTERIOR FINISHES	
ACS-1	COLOR: BLACK, MATERIAL: FABRIC
AFA-1	COLOR: BLACK, SERIES: TRIFAB VG 451, 1" CLR LOW-E, INSULATED GLASS, MANUFACTURER: KAWNEER OR EQUAL
AST-1	COLOR: BLACK, SERIES: TRIFAB VG 451, 1" CLR LOW-E, INSULATED GLASS, MANUFACTURER: KAWNEER OR EQUAL
BR-1	BRICK VENEER - COLOR: SANDY SHORE - TUMBLED GEORGIA BRICK, MANUFACTURER: ARRISCRAFT
BR-2	BRICK VENEER - COLOR: MIDNIGHT MIST, MANUFACTURER: GENERAL SHALE
BR-3	BRICK VENEER - COLOR: MIDNIGHT MIST, MANUFACTURER: GENERAL SHALE
EWS-1	COLOR: BLACK, MANUF: SEE LIGHTING SCHEDULE AT ELEC. DWGS.
LWP-1	COLOR: BLACK, MANUF: SEE LIGHTING SCHEDULE - ELEC. DWGS.
MES-1	MECH. EQUIPMENT ALUMINUM SCREEN - COLOR: SLATE GREY
PBM-1	PREFINISHED BREAK METAL CLADDING- COLOR: MATCH ALUMINUM STOREFRONT
PT-1	COLOR: MATCH MASONRY BASE, FINISH: MATTE, MANUFACTURER: SHERWIN WILLIAMS
PT-2	EXTERIOR GRADE PAINT SYSTEM - COLOR: BLACK
PT-3	COLOR: MATTE BLACK, FINISH: KYNARS500 FINISHES
SS-1	COLOR: WHITE, MANUFACTURER: TBD

STOREFRONT SCHEDULE							
MARK	LENGTH	HEIGHT	MANUF	MODEL	DESCRIPTION	QTY	
G1	8'-0"	6'-10 3/4"	KAWNEER	TRIFAB VG 451T	2"X4-1/2" THERMALLY BROKEN ALUMINUM FRAME W/ INSULATED CENTER GLAZING, COLOR BLACK ANODIZED #29	3	
G2	16'-0 1/16"	9'-11 5/8"	KAWNEER	TRIFAB VG 451T	2"X4-1/2" THERMALLY BROKEN ALUMINUM FRAME W/ INSULATED CENTER GLAZING, COLOR BLACK ANODIZED # 29	1	

◇ - TEMPERED GLASS

2 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



BR-1 - SANDY SHORE GEORGIA BRICK



BR-2 - MIDNIGHT MIST

1 SIDE ELEVATION 1
SCALE: 1/4" = 1'-0"

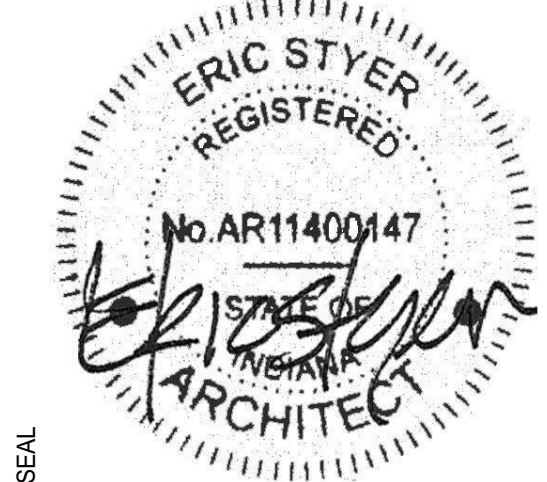
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FAST PACE HEALTH
URGENT CARE

MEDICAL CLINIC DEVELOPMENT
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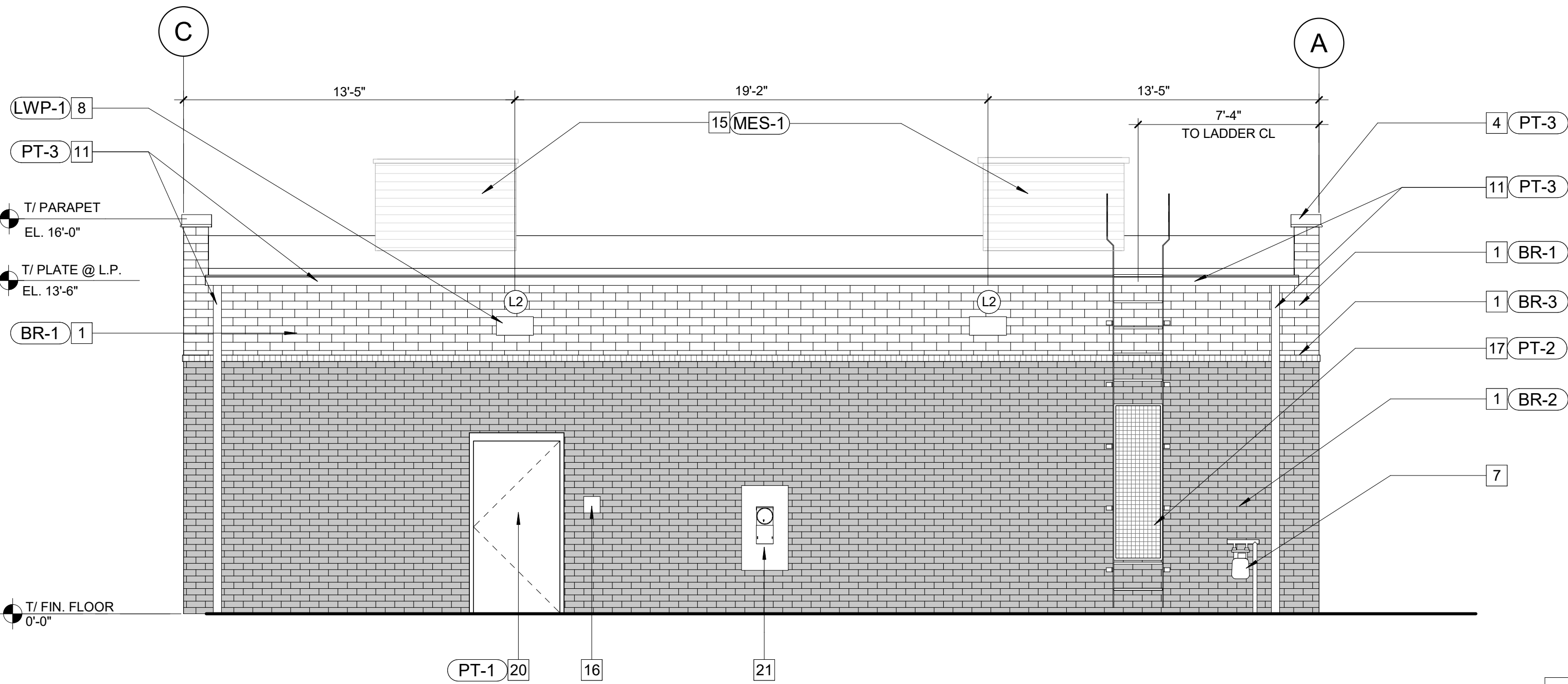
CITY REVIEW

PROJECT NUMBER: 21-XXX
DRAWN BY: APPROVED BY:
NO. DATE ISSUE
1 09-13-2021 BID/PERMIT

EXTERIOR
ELEVATIONS

A4-10

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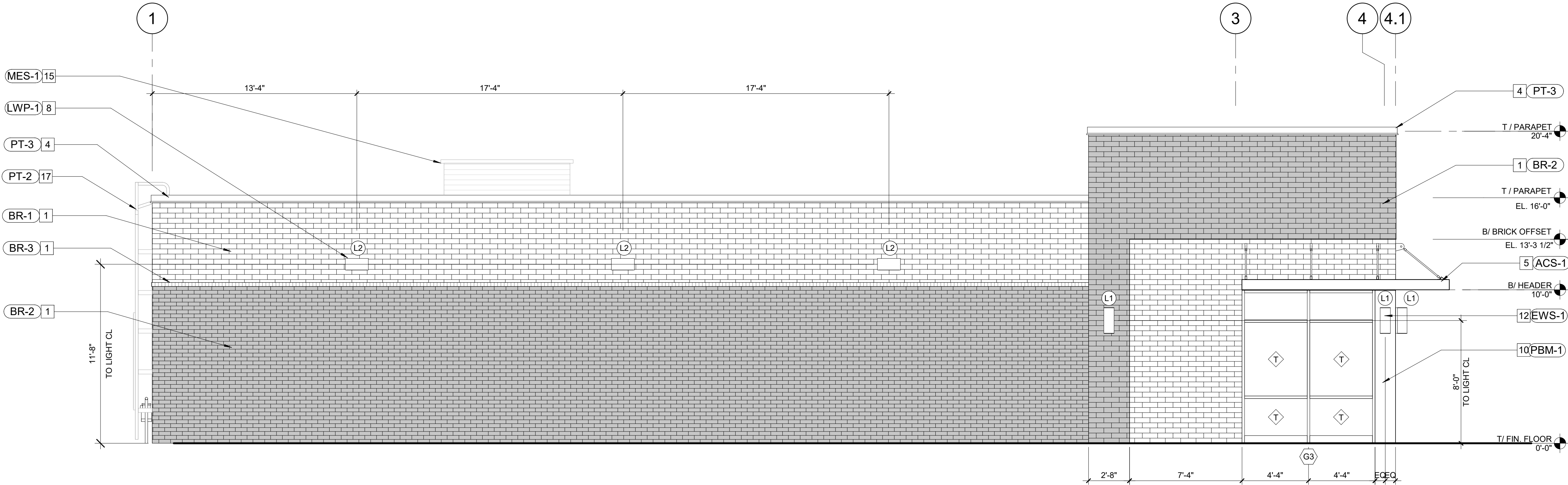
KEYNOTE LEGEND - ELEVATIONS	
1	BRICK VENEER-SEE BUILDING ELEVATIONS & EXTERIOR FINISH SCHEDULE*
4	24 GA PREFINISHED GALVANIZED METAL COPING - SEE EXTERIOR FINISH SCHEDULE*
5	PREFABRICATED ALUMINUM CANOPY - ANCHOR TO WALL PER VENDOR SHOP DRAWINGS*
6	ALUMINUM STOREFRONT SYSTEM-KAWNEER TRIFAB VG 451 OR EQUAL - SEE SPECS FOR DETAILS*
7	GAS SERVICE - SEE MEP & CIVIL SHEETS*
8	LED WALL PACK FIXTURE - SEE SPECS & ELEC. DWGS*
9	STONE SILL W/ 1" PROJECTION-SEE EXTERIOR FINISH SCHEDULE*
10	PREFINISHED BREAK METAL CLADDING - COLOR TO MATCH STOREFRONT*
11	PREFINISHED GUTTER AND DOWNSPOUTS - TIE TO STORM SEWER SYSTEM*
12	EXTERIOR WALL SCONCE - UP/DOWN WALL MOUNT LIGHT FIXTURE.INSTAL PER MANUF. SPECS.*
13	WALL SIGN PER FPUCG STANDARDS AND SPECIFICATIONS - SEE SIGN VENDOR DWGS FOR DETAILS*
15	RTU SCREEN(ON RTU MOUNTED SYSTEM) BY CITYSCAPES OR EQUAL*
16	KEY LOCKBOX*
17	PAINTED STEEL VERTICAL LADDER W/ LOCKABLE GATE-SEE WALL SECTIONS*
18	ALUMINUM FRAME/BLACK FABRIC AWNING SYSTEM*
20	REAR SERVICE HM DOOR & FRAME - PAINT TO MATCH MASONRY WALL*
21	ELECTRICAL SERVICE - SEE ELEC. & CIVIL SHEETS*
22	STRUCTURAL KICKERS/FRAMING FOR WALL OVERHANG SUPPORT - SEE STRUCTURAL DWGS.

KEYNOTE LEGEND-EXTERIOR FINISHES	
ACS-1	COLOR: BLACK, MATERIAL: FABRIC
AFA-1	COLOR: BLACK, SERIES: TRIFAB VG 451, 1" CLR LOW-E, INSULATED GLASS, MANUFACTURER: KAWNEER OR EQUAL
AST-1	COLOR: BLACK, SERIES: TRIFAB VG 451, 1" CLR LOW-E, INSULATED GLASS, MANUFACTURER: KAWNEER OR EQUAL
BR-1	BRICK VENEER - COLOR: SANDY SHORE - TUMBLED GEORGIA BRICK, MANUFACTURER: ARRISCRAFT
BR-2	BRICK VENEER - COLOR: MIDNIGHT MIST, MANUFACTURER: GENERAL SHALE
BR-3	COLOR: BLACK, MANUF: SEE LIGHTING SCHEDULE AT ELEC. DWGS.
EWS-1	COLOR: BLACK, MANUF: SEE LIGHTING SCHEDULE AT ELEC. DWGS.
LWP-1	COLOR: BLACK, MANUF: SEE LIGHTING SCHEDULE - ELEC. DWGS.
MES-1	MECH. EQUIPMENT ALUMINUM SCREEN - COLOR: SLATE GREY
PBM-1	PREFINISHED BREAK METAL CLADDING- COLOR: MATCH ALUMINUM STOREFRONT
PT-1	COLOR: MATCH MASONRY BASE, FINISH: MATTE, MANUFACTURER: SHERWIN WILLIAMS
PT-2	EXTERIOR GRADE PAINT SYSTEM - COLOR: BLACK
PT-3	COLOR: MATTE BLACK, FINISH: KYNAR500 FINISHES
SS-1	COLOR: WHITE, MANUFACTURER: TBD

STOREFRONT SCHEDULE							
MARK	LENGTH	HEIGHT	MANUF	MODEL	DESCRIPTION		QTY
G1	8'-0"	6'-10 3/4"	KAWNEER	TRIFAB VG 451T	2'X4-1/2"	THERMALLY BROKEN ALUMINUM FRAME W/ INSULATED CENTER GLAZING, COLOR BLACK ANODIZED #29	3
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◇ - TEMPERED GLASS

1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



BR-1 - SANDY SHORE GEORGIA BRICK
BR-2 - MIDNIGHT MIST

2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

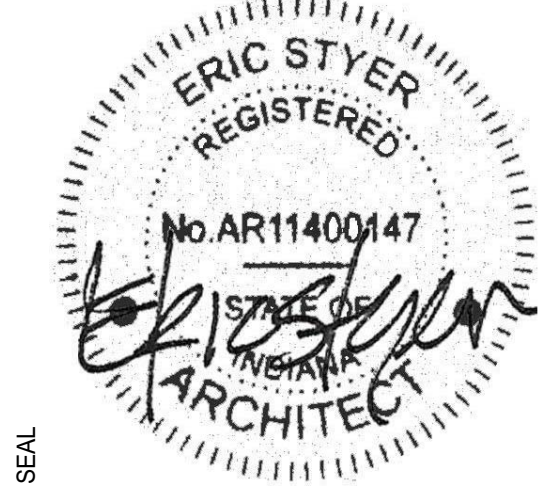
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CITY REVIEW

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EXTERIOR
ELEVATIONS

A4-11

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