

ADAM M. RUDE
DIRECTOR



Allan Henderson
DEPUTY DIRECTOR

PLAN COMMISSION

Meeting Date: 05/23/2022

Case Number and Name:	2022-09 Twelve Oaks Preliminary Plat			
Petitioner's Name:	Pyatt Builders			
Petitioner's Representative:	Paul Claire			
Address of Subject Property:	E McKay Road			
Subject Property Zoning Classification:	PUD- Planned Unit Development			
Comprehensive Plan Future Land Use:	Single Family Residential			
	North	East	South	West
Surrounding Properties' Zoning Classification:	A1- Conservation Agriculture	RE- Residential Estate (Shelby County)	PUD- Planned Unit Development	PUD- Planned Unit Development
Surrounding Properties' Comprehensive Plan Future Land Use:	Single-Family Residential	Single-Family Residential	Single-Family Residential	Single-Family Residential
History:	This parcel was initially proposed for development in 2001. The western half of the area was developed partially and was left undeveloped when the developer went defunct. Arbor Homes finished developing the remaining lots in the first section starting in 2017. The remaining land was left completely undeveloped since this time. The first section has limited drainage capacity, and is not fully compliant with current road and construction standards. This proposal would complete the Twelve Oaks neighborhood and provide higher design standards and common spaces for the whole neighborhood.			
Vicinity Map:				
Action Requested:	A request for approval of a Preliminary Plat for the Twelve Oaks development.			

1. The Twelve Oaks preliminary plat consists of 148 residential lots, on approximately 37.6 acres. The construction will be phased in three (3) sections; the first contains 24 lots, the second contains 61 lots, and the third contains 63 lots.
 - a. The Twelve Oaks addition connects to a new proposed residential subdivision by MI Homes to the south through "Street B"
 - b. The development will also connect to the fully developed first section of Twelve Oaks via two streets, Twelve Oaks Drive. This will allow the new addition to have an entrance on Progress Parkway in two locations and to build a new entrance on McKay Road. The addition will have more than three entrances once the MI Homes subdivision to the south is finished.
 - c. There will be three (3) common areas, and Pyatt Builders also has plans to create a programmed common area in the first section of Twelve Oaks, to the west of Lot 7.
 - d. The original Twelve Oaks development had a drainage system that does not meet today's standards, so the proposed development will provide two ponds- one on the northern edge, and the other in the southern half of the site.
 - e. The PUD Detail Plan is being reviewed concurrently and dictates the standards by which the subdivision must develop.
2. Pursuant to Section 9.05 (D) of the City of Shelbyville Unified Development Ordinance, the Plan Commission SHALL APPROVE the Preliminary Plat if the following criteria has been satisfied:
 - a. Satisfies the applicable requirements of Article 6. During the Technical Review Committee process, Planning Staff were able to conduct a comprehensive review of the submitted plans and identify any deficiencies that existed at that time. Those items, and the petitioner's responses are listed below:
 - i. Lot Standards (UDO 6.09): The petitioner needed to provide lot width sizes at the building setback line for all lots. The petitioner needed to revise plans to increase the lot size for Lots 60 and 76, as they were smaller than 6,000 square feet. The petitioner has since provided all lot widths at the building setback line. The petitioner also increased the lot sizes for Lots 60 and 76. This issue has been resolved.
 - ii. Open Space Standards (UDO 6.11): The committee suggested for the petitioner to consider putting native grasses and wildflowers around the ponds to deter geese and increase safety. It was also suggested that the petitioner program Common Area B with picnic tables, shelters, sports courts, and/or a playground. The petitioner responded that they are in negotiations with the current HOA, but will plan to incorporate these suggestions.
 - iii. Street Arrangement Standards (UDO 6.15): The petitioner needs to ensure that McKay Road is improved to the entrance of the neighborhood. The petitioner says that they are negotiating with the current HOA to update the entrance sign along Progress Parkway, and that this is the preferred solution. However, if there is no agreement reached between the two parties, they will improve McKay Road to allow access for a primary entrance into Phase 2 of the neighborhood. The petitioner has also agreed to work with the city to provide a pedestrian walkway along the south side of McKay Road from the entrance to Progress Parkway but

noted that the grading along McKay Road would require the walkway to be installed adjacent to the existing back of curb. Plan Commission Staff has determined that this placement satisfies the request with the provided topography.

- iv. Street Tree Standards (UDO 6.21): Petitioner was asked to provide street trees along McKay Road along with improvements. Petitioner responded that they plan to add some street trees if permitted by utilities.
 - v. Traffic Safety and Information Sign Standards (UDO 6.23): Petitioner was asked to provide a Signage Plan, however this was not provided with the set of updated plans. **Petitioner should submit a signage plan including stop signs, pedestrian crossing signs, and other safety or informational signs to the Plan Commission.**
 - vi. Subdivision and Street Name Standards: Petitioner was asked to provide street names. Street names have been provided by the petitioner, and are being reviewed by the Planning Staff in coordination with the County 911 Address Coordinator. Planning Staff will work with the petitioner to finalize these street names.
 - vii. There were issues identified by the Engineering Department, Wastewater Plant, and Stormwater Utility/MS4 Department, and each of these concerns has been addressed by the petitioner to the satisfaction of each respective department.
- b. Satisfies any other applicable provisions of the Unified Development Ordinance; Due to this project being a PUD, there are additional requirements imposed by the proposed PUD Ordinance (Ord. No. 22-2949).
- i. The PUD Detail Plan addresses standards for each specific lot. All other applicable standards have been satisfied at this time.

STAFF RECOMMENDATION: Approval

Site Development Plan: 2022-09, Twelve Oaks Preliminary Plat
Findings Of Fact By The Shelbyville Plan Commission
Staff Prepared

Suggested Motion:

(I) would like to make a motion to approve the Preliminary Plat as presented to this body, pursuant to the planning staff's report and Findings of Fact

- ☐ The proposed preliminary plat is consistent with the subdivision control regulations and the development standards for the applicable zoning district, as outlined in the planning staff's report.
- ☐ The proposed preliminary plat is not consistent with the subdivision control regulations and the development standards for the applicable zoning district, as outlined in the planning staff's report.
- ☐ The proposed preliminary plat is consistent with any other applicable standards of the Unified Development Ordinance, as outlined in the planning staff's report.
- ☐ The proposed preliminary plat is not consistent with any other applicable standards of the Unified Development Ordinance, as outlined in the planning staff's report.

Additional Conditions Imposed by the Shelbyville Plan Commission:

1.

2.

Shelbyville Plan Commission

By: _____
Chairperson

Attest: _____
Secretary



MAJOR SUBDIVISION PRELIMINARY PLAT APPLICATION

Shelbyville Plan Commission
44 West Washington Street
Shelbyville, IN 46176
P: 317.392.5102

RECEIVED / FILED

MAR 29 2022

For Office Use Only

Case #: PL 2022-09
Hearing Date: 04-25-22
Fees: \$1740.00

Approved _____ Denied _____

1. Applicant/Property Owner

Applicant:

Name: Pyatt Builders LLC, Paul Claire, VP Land Acquisition & Development
Address: 630 3rd Avenue SW, Suite 200
Carmel, IN 46032
Phone Number: 317-714-3346
Fax Number: _____
E-mail Address: paul@pyattbuilders.com

Owner:

Name: Hamilton Family Farms LLC
Address: 43 E 975 South, Flatrock, IN 47234
Phone Number: _____
Fax Number: _____

2. Applicant's Attorney/Contact Person and Project Designer (if any):

Attorney/Contact Person:

Name: _____
Address: _____
Phone Number: _____
Fax Number: _____

Project Designer:

Name: Weihe Engineers, Inc., Jim Pence, Project Manager
Address: 10505 N. College Ave., Indianapolis, IN 46280
Phone Number: 317-846-6611
Fax Number: pencej@weihe.net

3. Project Information:

Address/Location of Property: directly east of Twelve Oaks Section One, bounded on the north by McKay Road, the west by Twelve Oaks, Section One, east by railroad & south by proposed Lewis Creek Dev.
Proposed Name of Subdivision: Twelve Oaks Phase Two
Area in Acres: 3.87 units per acre

Current Zoning: PUD
Proposed Use: Single-family residential
Proposed Number of Lots: 148 lots

4. Waivers:

Are any waivers to the requirements, standards or specifications of the Shelbyville Subdivision Control Ordinance being requested?

☒ No ☐ Yes (specify request and Section Number): _____

5. Attachments:

Please see checklist for detailed information about the required attachments.

- | | |
|---|---|
| <input checked="" type="checkbox"/> Preliminary Plat | <input checked="" type="checkbox"/> Subdivision Covenants |
| <input checked="" type="checkbox"/> Vicinity Map | <input checked="" type="checkbox"/> Drainage Plan & Report |
| <input type="checkbox"/> Contiguous Holdings Map | <input checked="" type="checkbox"/> Engineering Capacity Report |
| <input checked="" type="checkbox"/> Subdivision Phasing Description | <input checked="" type="checkbox"/> Application Fee |

The undersigned states the above information is true and correct as (s)he is informed and believes.

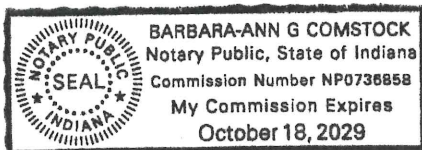
Signature of Applicant: [Signature] Date: 3/24/22

State of Indiana)
County of Shelby) SS:
Hamilton

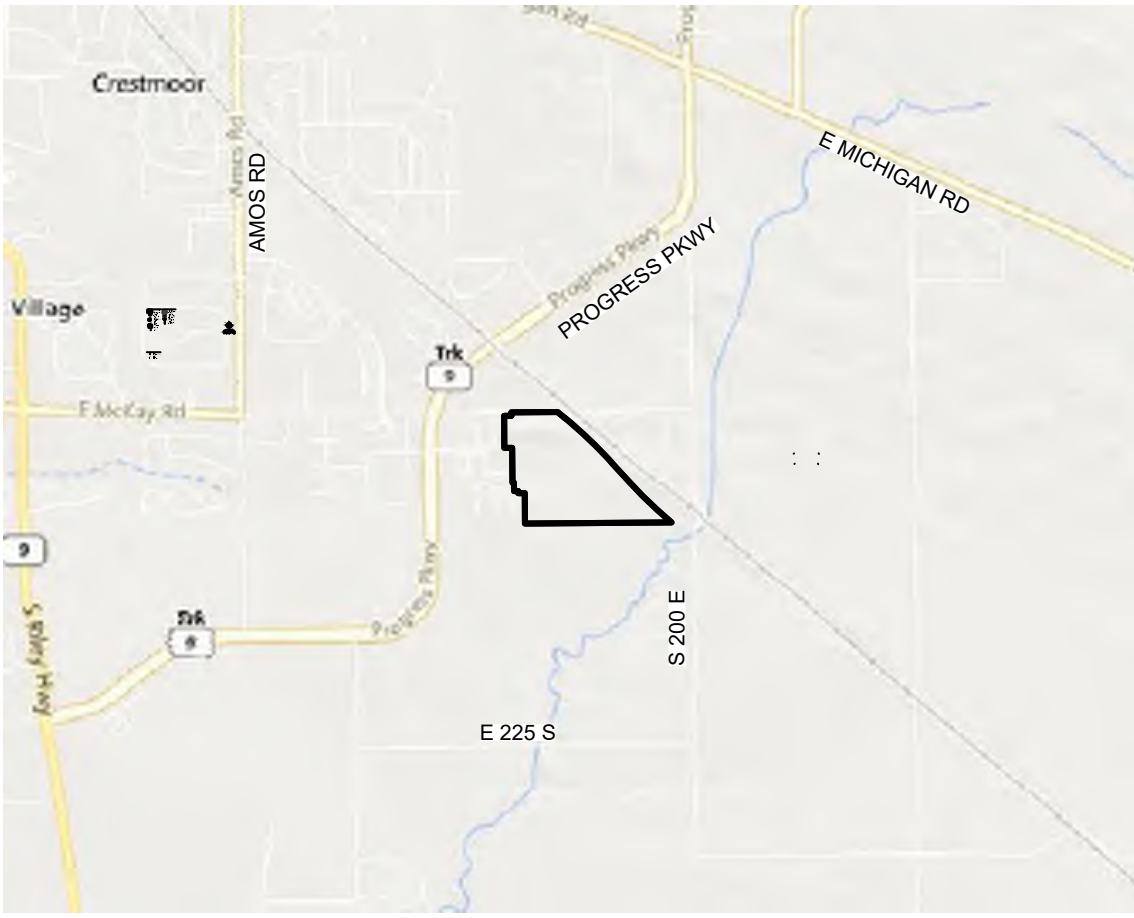
Subscribed and sworn to before me this 24 day of March, 2022

[Signature] Barbara-Ann G. Comstock
Notary Public - Signed Printed

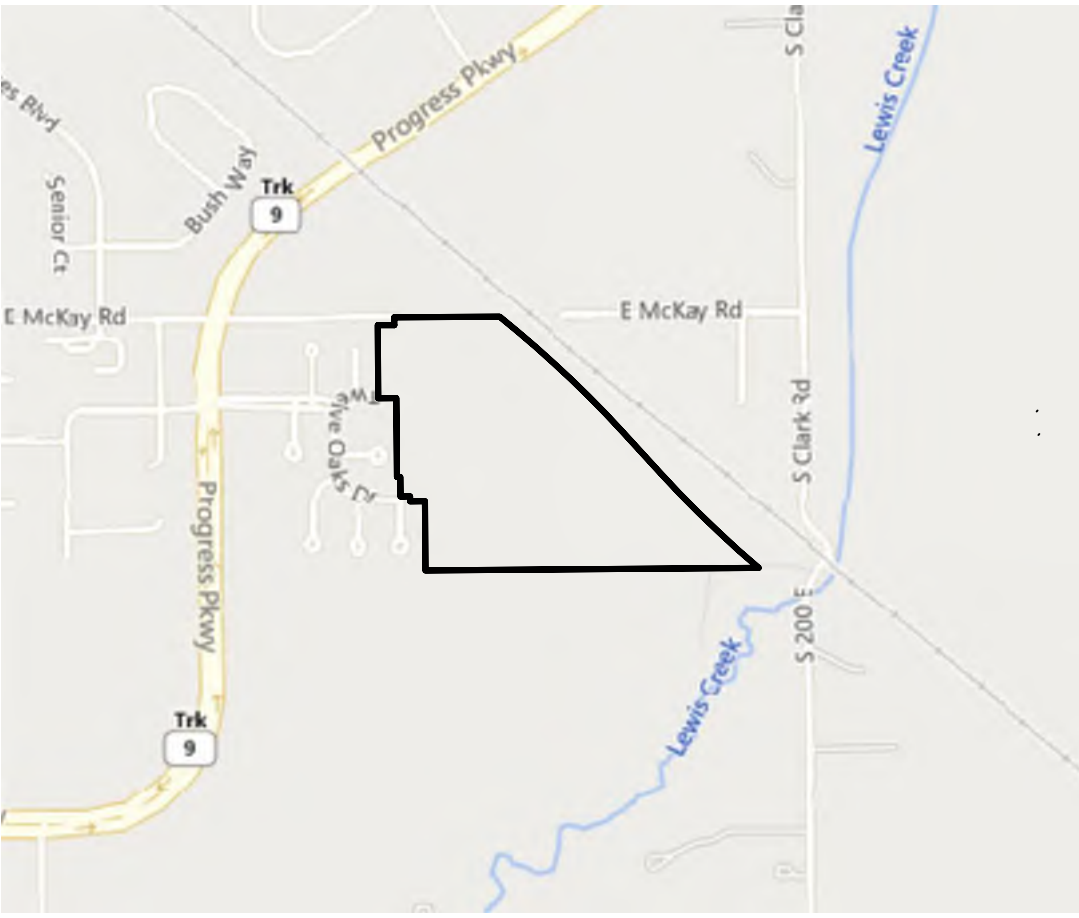
Residing in Johnson County My Commission expires October 18, 2029



OVERALL DEVELOPMENT PLAN & PRIMARY PLAT FOR
TWELVE OAKS PHASE TWO
PART OF SECTION 9, TOWNSHIP 12
NORTH, RANGE 7 EAST, ADDISON
TOWNSHIP, SHELBY COUNTY, CITY OF
SHELBYVILLE, INDIANA



VICINITY MAP



SITE LOCATION MAP

LEGAL DESCRIPTION:

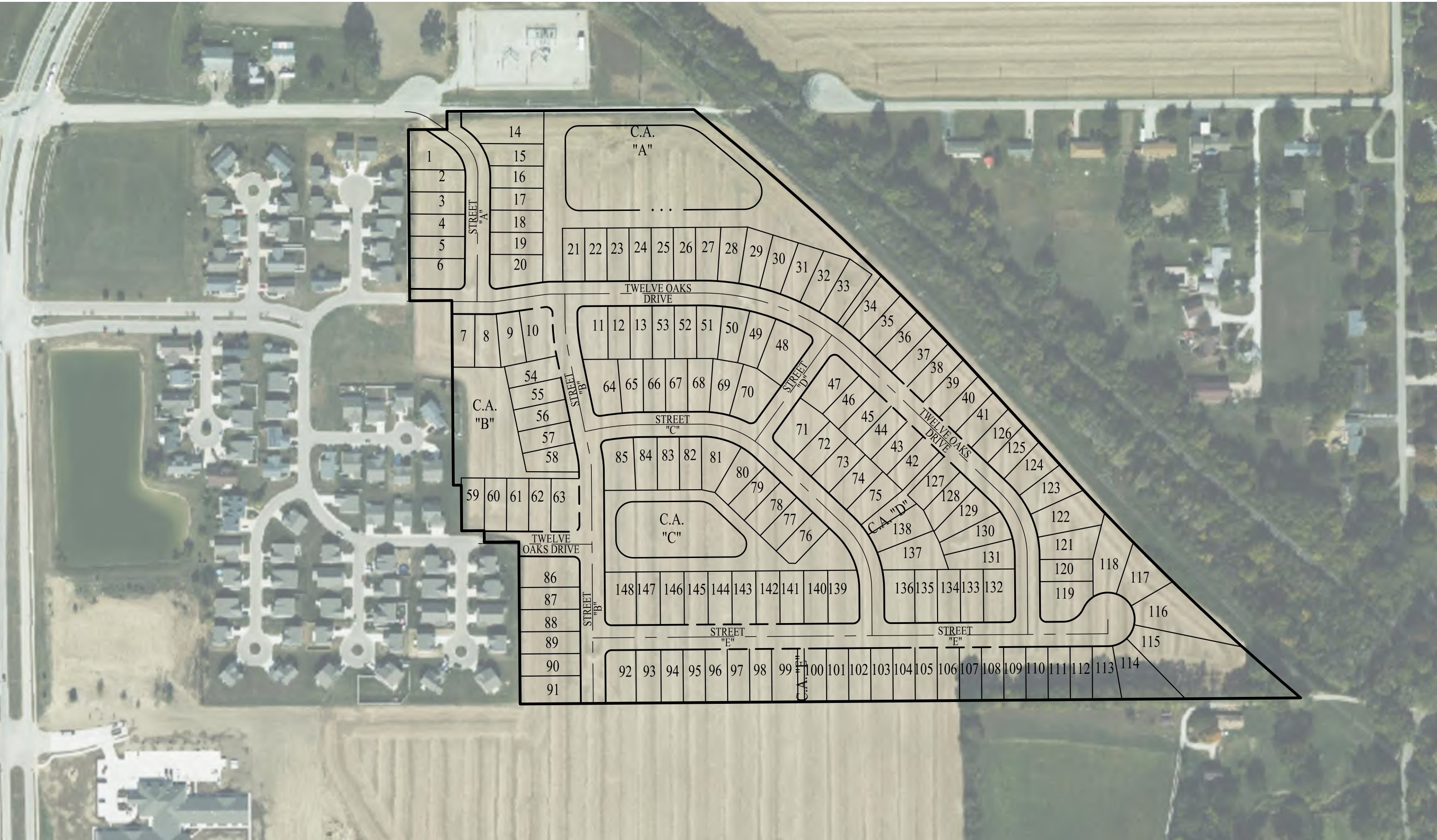
A PART OF THE NORTH HALF OF THE SOUTHEAST OF SECTION 9, TOWNSHIP 12 NORTH, RANGE 7 EAST, SHELBY COUNTY, INDIANA, BEING THAT 37.57 ACRE TRACT OF LAND SHOWN ON THE PLAT OF AN ORIGINAL BOUNDARY SURVEY OF SAID TRACT CERTIFIED BY AARON T. FATELEY PS LS20700097 ON MARCH 22, 2022, AS WEIHE'S PROJECT NUMBER W210678 (ALL REFERENCES TO MONUMENTS AND COURSES HEREIN SHOWN ON SAID PLAT OF SURVEY) AND BEING MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID QUARTER SECTION; THENCE NORTH 89 DEGREES 35 MINUTES 18 SECONDS EAST ALONG THE NORTH LINE OF SAID QUARTER SECTION, 566.21 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID NORTH LINE NORTH 89 DEGREES 35 MINUTES 18 SECONDS EAST, 557.48 FEET TO THE NORTHWEST CORNER OF A 5.21 ACRE AS DESCRIBED AT DEED RECORD 175, PAGE 127 IN THE OFFICE OF RECORDER OF SHELBY COUNTY, SAID POINT BEING 106 FEET MEASURED AT RIGHT ANGLES SOUTHWESTERLY FROM THE CENTERLINE OF THE PENN CENTRAL RAILROAD; THENCE WITH THE SOUTHWESTERLY LINE OF SAID 5.21 ACRE TRACT ALONG THE FOLLOWING FOUR CALLS: (1) PARALLEL WITH SAID RAILROAD CENTERLINE SOUTH 50 DEGREES 10 MINUTES 53 SECONDS EAST, 119.50 FEET; THENCE (2) ALONG A CURVE TO THE RIGHT FOR A DISTANCE OF 766.70 FEET TO A POINT 157.20 FEET MEASURED AT RIGHT ANGLES SOUTHWESTERLY FROM SAID RAILROAD CENTERLINE, SAID CURVE HAVING A RADIUS OF 5697.00 FEET AND A LONG CHORD WITH A BEARING AND LENGTH OF SOUTH 46 DEGREES 20 MINUTES 58 SECONDS EAST, 766.12 FEET; THENCE (3) SOUTH 42 DEGREES 31 MINUTES 09 SECONDS EAST, 301.50 FEET TO A POINT 197.40 FEET MEASURED AT RIGHT ANGLES SOUTHWESTERLY FROM SAID RAILROAD CENTERLINE, THENCE (4) ALONG A CURVE TO THE LEFT A DISTANCE OF 721.28 FEET (FORMERLY AS 719.7 FEET) TO THE SOUTH LINE OF THE NORTH HALF OF SAID SOUTHEAST QUARTER AT A POINT 249 FEET MEASURED AT RIGHT ANGLES SOUTHWESTERLY FROM SAID RAILROAD CENTERLINE, SAID CURVE HAVING A RADIUS OF 5763 FEET AND A LONG CHORD WITH A BEARING AND LENGTH OF SOUTH 46 DEGREES 04 MINUTES 34 SECONDS EAST, 720.81 FEET; THENCE SOUTH 89 DEGREES 32 MINUTES 47 SECONDS WEST ALONG SAID SOUTH LINE, 176.36 FEET TO A REBAR WITH A CAP STAMPED "POWELL LS29800024", SAID POINT ALSO BEING THE SOUTHEAST CORNER OF THE LAND DESCRIBED IN AN EXCEPTED AREA PER INSTRUMENT NUMBER 2020001418 IN THE OFFICE OF THE RECORDER FOR SHELBY COUNTY, INDIANA; THENCE FOLLOWING THE EAST LINE OF SAID EXCEPTION AREA FOR THE NEXT NINE (9) CALLS: (1) NORTH 00 DEGREES 27 MINUTES 25 MINUTES WEST, 365.97 FEET; (2) THENCE SOUTH 89 DEGREES 35 SECONDS WEST, 78.00 FEET; (3) THENCE NORTH 00 DEGREES 27 DEGREES 25 MINUTES WEST, 26.00 FEET; (4) THENCE SOUTH 89 DEGREES 32 MINUTES 35 SECONDS WEST, 50.89 FEET; (5) THENCE NORTH 00 DEGREES 27 MINUTES 25 SECONDS WEST, 103.00 FEET; (6) THENCE SOUTH 89 DEGREES 32 MINUTES 35 SECONDS WEST, 18.00 FEET; (7) THENCE NORTH 00 DEGREES 27 MINUTES 25 SECONDS WEST, 416.94 FEET; (8) THENCE SOUTH 89 DEGREES 31 MINUTES 03 SECONDS WEST, 95.13 FEET; (9) THENCE NORTH 00 DEGREES 24 MINUTES 42 SECONDS WEST, 386.33 FEET TO THE SOUTH LINE OF INSTRUMENT NUMBER 2005001820 IN THE OFFICE OF THE RECORDER FOR SHELBY COUNTY, INDIANA; THENCE NORTH 89 DEGREES 40 MINUTES 10 SECONDS EAST ALONG SAID SOUTH LINE, 87.08 FEET TO THE SOUTHEAST CORNER OF SAID INSTRUMENT NUMBER, THENCE NORTH 00 DEGREES 19 MINUTES 50 SECONDS WEST ALONG THE EAST LINE OF SAID INSTRUMENT NUMBER, 40.79 FEET TO THE POINT OF BEGINNING, CONTAINING 37.57 ACRES, MORE OR LESS.

ERRORS AND OMISSIONS STATEMENT

DESIGN PROFESSIONAL CERTIFYING PLANS FOR THE PROJECT ACKNOWLEDGES HIS PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF AN ERROR OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED OF COMPLYING WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES.

LATITUDE: 39°30'10" N, LONGITUDE: 85°44'53" W



SITE MAP

BENCHMARK INFORMATION

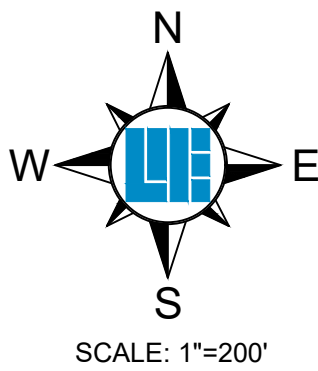
PROJECT BM

N269
ABOUT 2.05 MILES SOUTHEAST ALONG THE NEW YORK CENTRAL RAILROAD FROM THE STATION AT SHELBYVILLE, SET IN THE TOP OF THE SOUTHEAST END OF THE NORTHEAST HEAD WALL OF CONCRETE ARCH RAILROAD OVER PASS NO. 398A OVER AN EAST-WEST GRAVEL ROAD, ABOUT 30 YARDS NORTHWEST OF LIGHT SIGNAL NO. 802, 6 FEET NORTHEAST OF THE NORTHEAST RAIL AND ABOUT 0.4 FOOT BELOW THE TRACK.
ELEV. 798.17 (NAVD 88)

SITE TBM

SITE BM #1
A CUT "SQUARE" IN THE CURB ON THE NORTHERN STUB ROAD OF 12 OAKS DRIVE. APPROXIMATELY 8 FEET WEST OF THE END OF THE STUB ON THE NORTH SIDE OF THE ROAD
ELEV. 780.19 (NAVD 88)

SITE BM #2
A CUT "SQUARE" IN THE CURB ON THE SOUTHERN STUB ROAD OF 12 OAKS DRIVE. APPROXIMATELY 8 FEET WEST OF THE END OF THE STUB ON THE NORTH SIDE OF THE ROAD
ELEV. 780.25 (NAVD 88)



PLANS PREPARED FOR

PYATT BUILDERS LLC,
630 3RD AVENUE SW, SUITE 200
CARMEL, INDIANA 46032
TELEPHONE: (317) 714-3346
CONTACT PERSON: PAUL CLAIRE
EMAIL: PAUL@PYATTBUILDERS.COM

PLANS PREPARED BY

WEIHE ENGINEERS
10505 N. COLLEGE AVE.
INDIANAPOLIS, INDIANA 46280
TELEPHONE: (317) 846-6611
CONTACT PERSON: JIM PENCE
EMAIL: PENCEJ@WEIHE.NET



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DAYS BEFORE COMMENCING WORK.

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Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

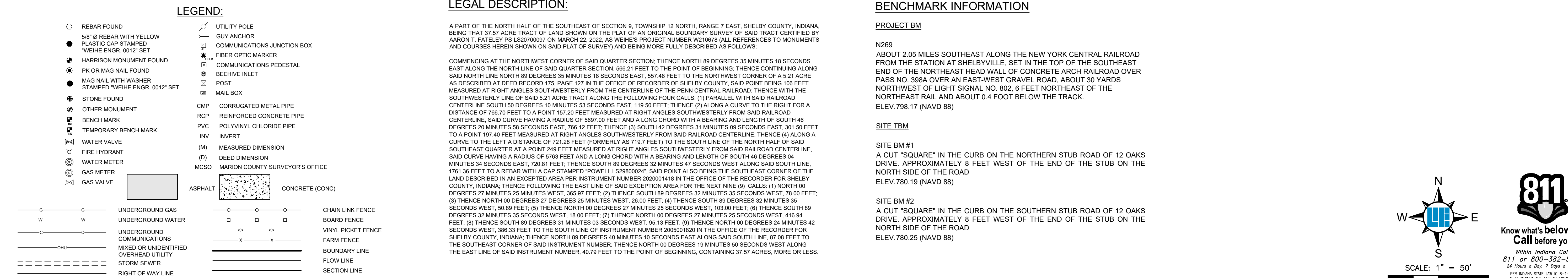
WEIHE
ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture
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PROJECT NO.	W210678
DWG NAME	P100 Cover Sheet
DESIGNED BY	SSS
DRAWN BY	MEN
CHECKED BY	JP
DATE	03/15/2022

APPROVAL PENDING
NOT FOR CONSTRUCTION

TWELVE OAKS PHASE TWO
PART OF SECTION 9, TOWNSHIP 12 NORTH, RANGE 7 EAST, ADDISON TOWNSHIP,
SHELBY COUNTY, CITY OF SHELBYVILLE, INDIANA
COVER SHEET

SHEET NO.
P100
PROJECT NO.
W21.0678



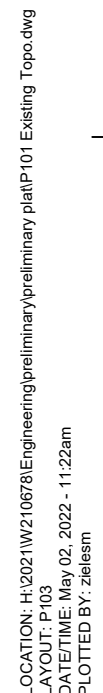
SHEET NO.
P101
PROJECT NO.
W21.0678



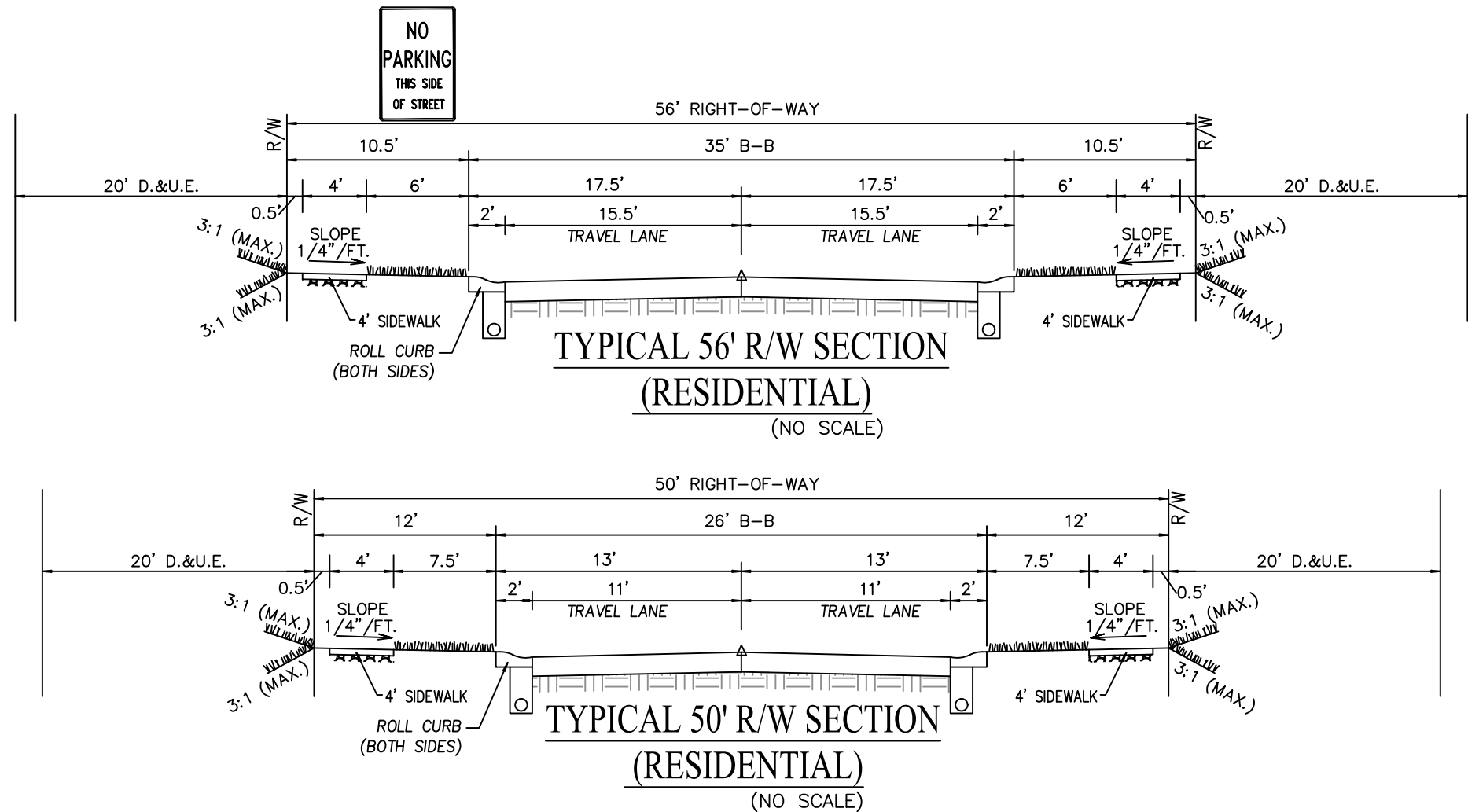


SHEET NO.
P102
PROJECT NO.
W21.0678

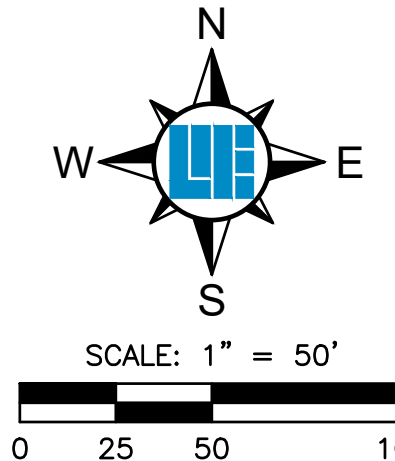
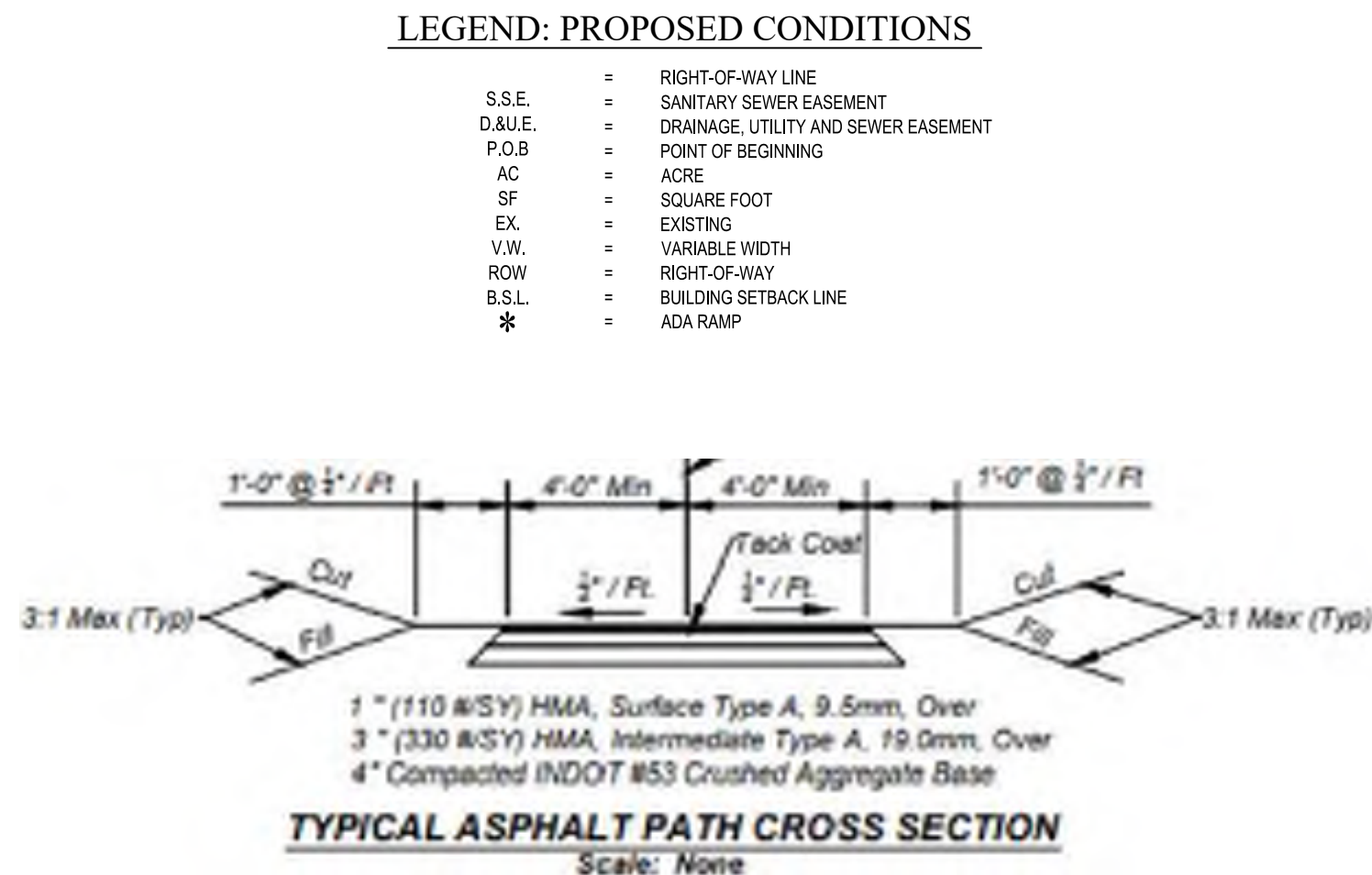
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LAYOUT: P102
DATE/TIME: May 02, 2022 - 11:22am
PLOTTED BY: zshern



LOCATION: 142021 W21.0678 Engineering preliminary plat#104 Primary Plat.dwg
DATE: 05/15/2022
DRAWN BY: J. JONES



DEVELOPMENT STANDARDS	
PROPOSED ZONING: PUD	
GROSS SITE AREA	37.57 AC. ±
TOTAL COMMON AREA	6.07 AC. ±
COMMON AREA AS PERCENTAGE OF GROSS SITE AREA	16.16%
DENSITY (NO. OF LOTS/GROSS SITE AREA)	3.94 LOTS/AC.
NUMBER OF LOTS	148
MINIMUM LOT AREA	6,000 SF
AVERAGE LOT AREA DEPICTED	7,137 SF
PROPOSED MINIMUM LOT WIDTH AT BUILDING LINE	50'
MINIMUM SETBACK LINES	
FRONT YARD	25'
SIDE YARD	7'
REAR YARD	20'



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WITHOUT NOTIFYING THE UNDERGROUND
UTILITY SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

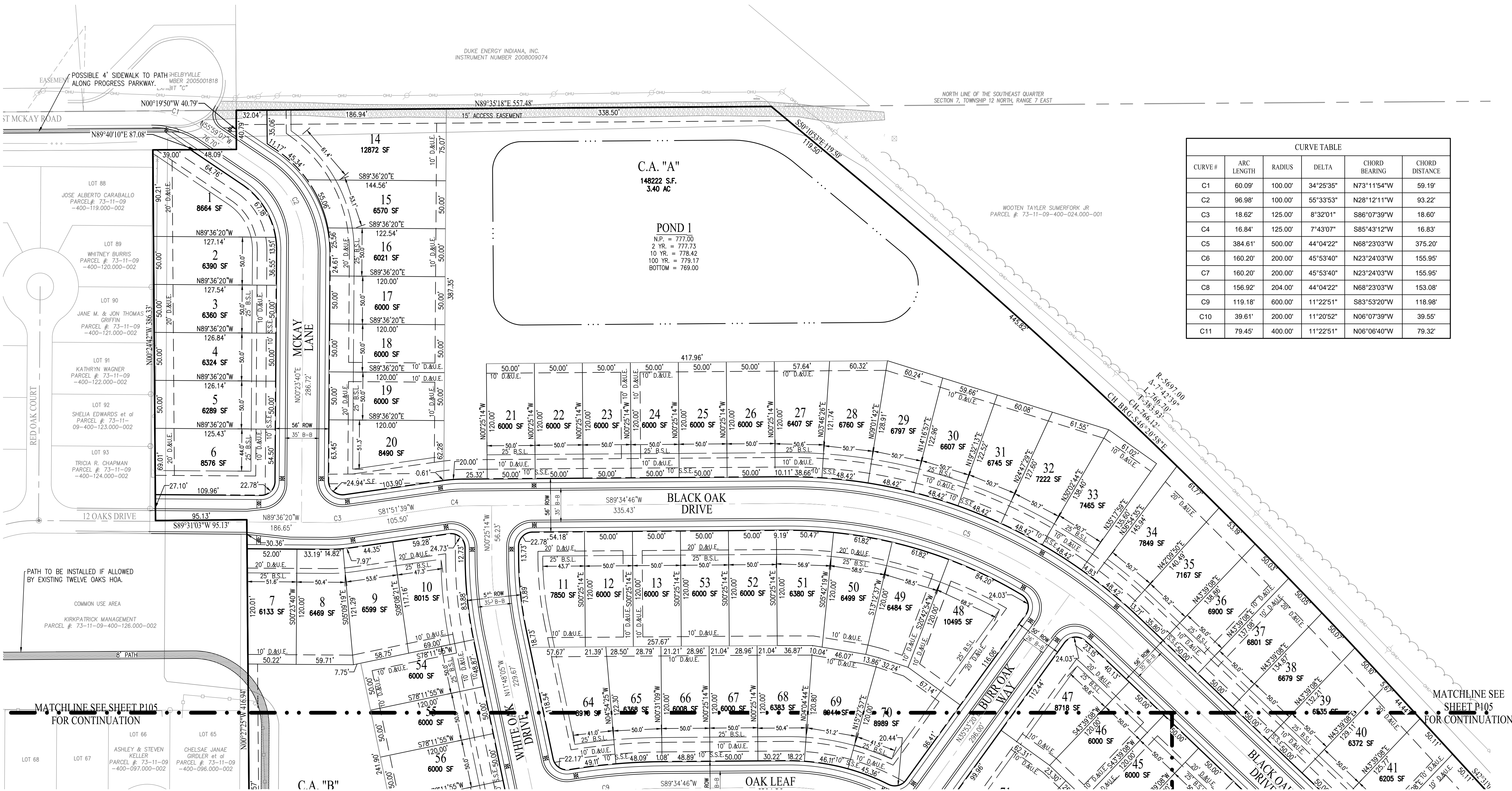
TWELVE OAKS PHASE TWO
PART OF SECTION 9, TOWNSHIP 12 NORTH, RANGE 7 EAST, ADDISON TOWNSHIP,
SHELBY COUNTY, CITY OF SHELBYVILLE, INDIANA
PRIMARY PLAT
SHEET NO. **P104**
PROJECT NO. **W21.0678**

APPROVAL PENDING
NOT FOR CONSTRUCTION

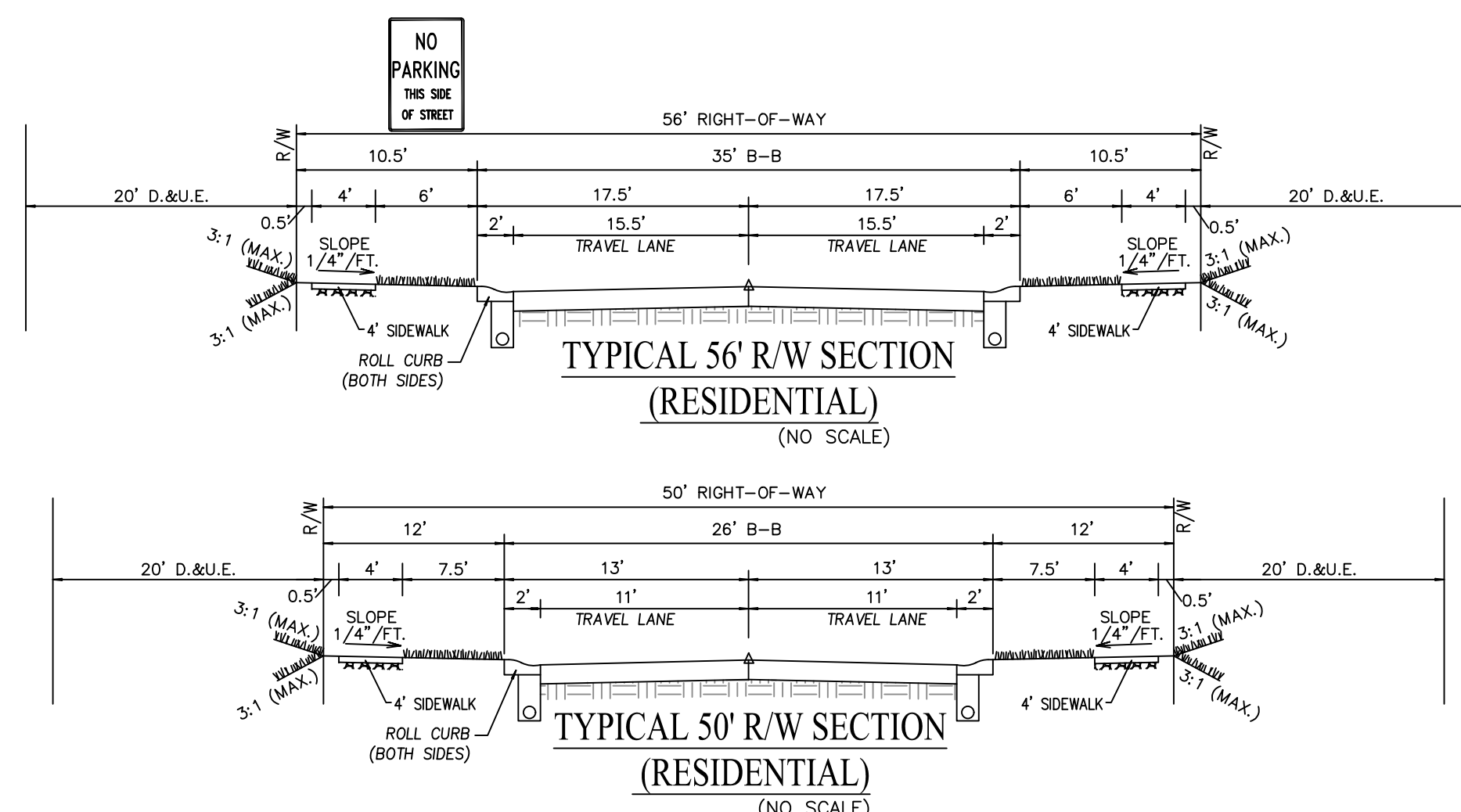
REVISIONS AND ISSUES	DATE	BY
APPROVAL PENDING NOT FOR CONSTRUCTION		

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CURVE TABLE				
CURVE #	ARC LENGTH	RADIUS	DELTA	CHORD BEARING
C1	60.09'	100.00'	34°25'35"	N73°11'54"W
C2	96.98'	100.00'	55°33'53"	N28°12'11"W
C3	18.62'	125.00'	8°32'01"	S86°07'39"W
C4	16.84'	125.00'	7°43'07"	S85°43'12"W
C5	384.61'	500.00'	44°04'22"	N68°23'03"W
C6	160.20'	200.00'	45°53'40"	N23°24'03"W
C7	160.20'	200.00'	45°53'40"	N23°24'03"W
C8	156.92'	204.00'	44°04'22"	N68°23'03"W
C9	119.18'	600.00'	11°22'51"	S83°53'20"W
C10	39.61'	200.00'	11°20'52"	N06°07'39"W
C11	79.45'	400.00'	11°22'51"	N06°06'40"W



LEGEND: PROPOSED CONDITIONS

S.S.E.	=	RIGHT-OF-WAY LINE
D.W.E.	=	SANITARY SEWER EASEMENT
P.O.B	=	DRAINAGE, UTILITY AND SEWER EASEMENT
AC	=	POINT OF BEGINNING
SF	=	ACRE
EX	=	SQUARE FOOT
V.W.	=	EXISTING
ROW	=	VARIABLE WIDTH
B.S.L.	=	RIGHT-OF-WAY
*	=	BUILDING SETBACK LINE
	=	ADA RAMP

1'-0" @ 1/2" / Ft

4'-0" Min

1'-0" @ 1/2" / Ft

3.1 Max (Typ)

1" (110 #/SY) HMA, Surface Type A, 9.5mm, Over

3" (330 #/SY) HMA, Intermediate DOT A, 19.0mm, Over

4" Compacted INDOT #53 Crushed Aggregate Base

1/2" / Ft

1/4" / Ft

1'-0" @ 1/2" / Ft

3.1 Max (Typ)

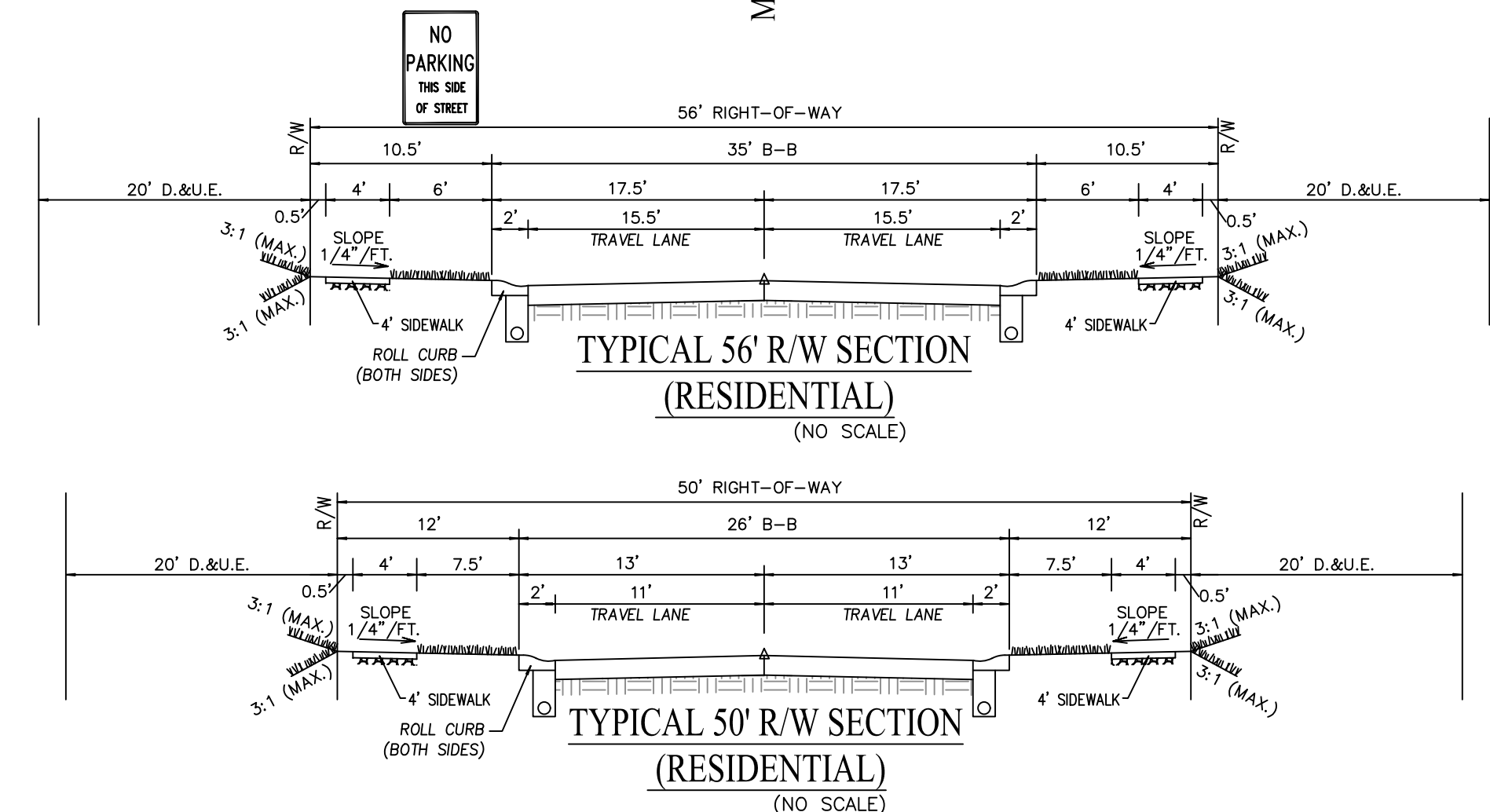
TYPICAL ASPHALT PATH CROSS SECTION

Scale: None

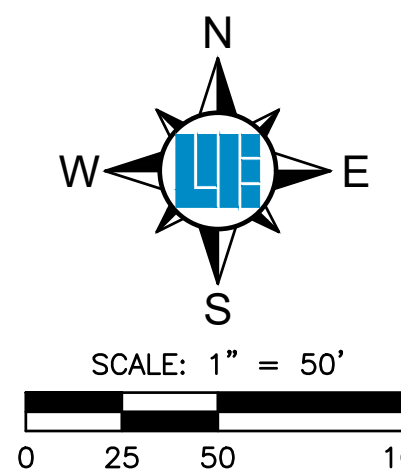
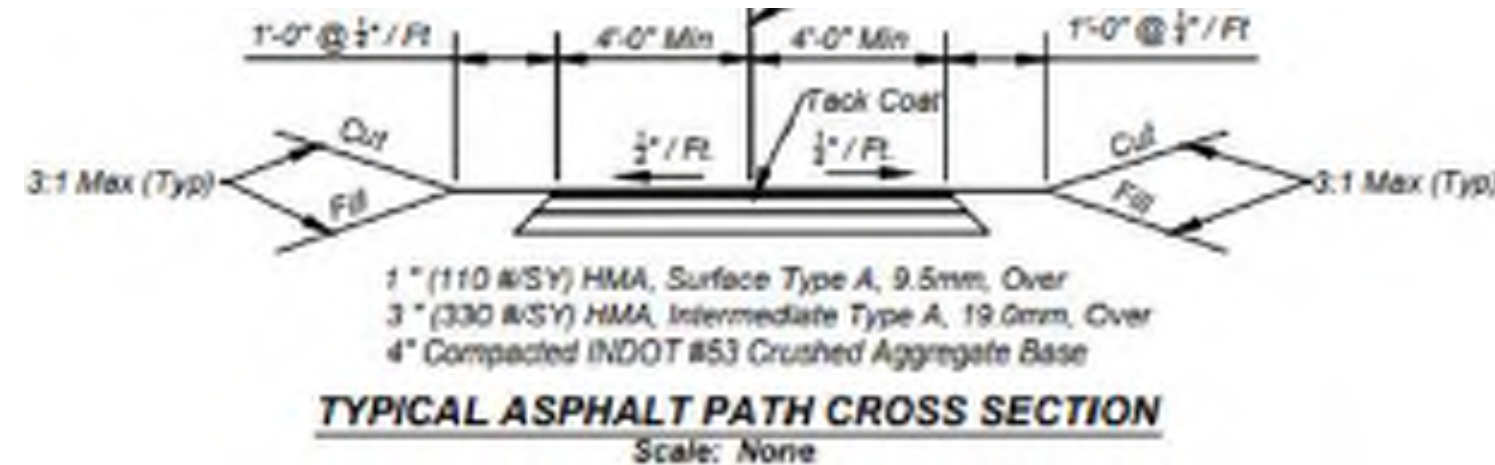
SHEET NO
P
PROJECT
V

58

LOCATION: 14205 W102100E Engineering preliminary plat#104 Primary Plat.dwg
DATE/TIME: May 02, 2022 - 11:24am
PLOTTER: J. Jensen



DEVELOPMENT STANDARDS	
PROPOSED ZONING: PUD	
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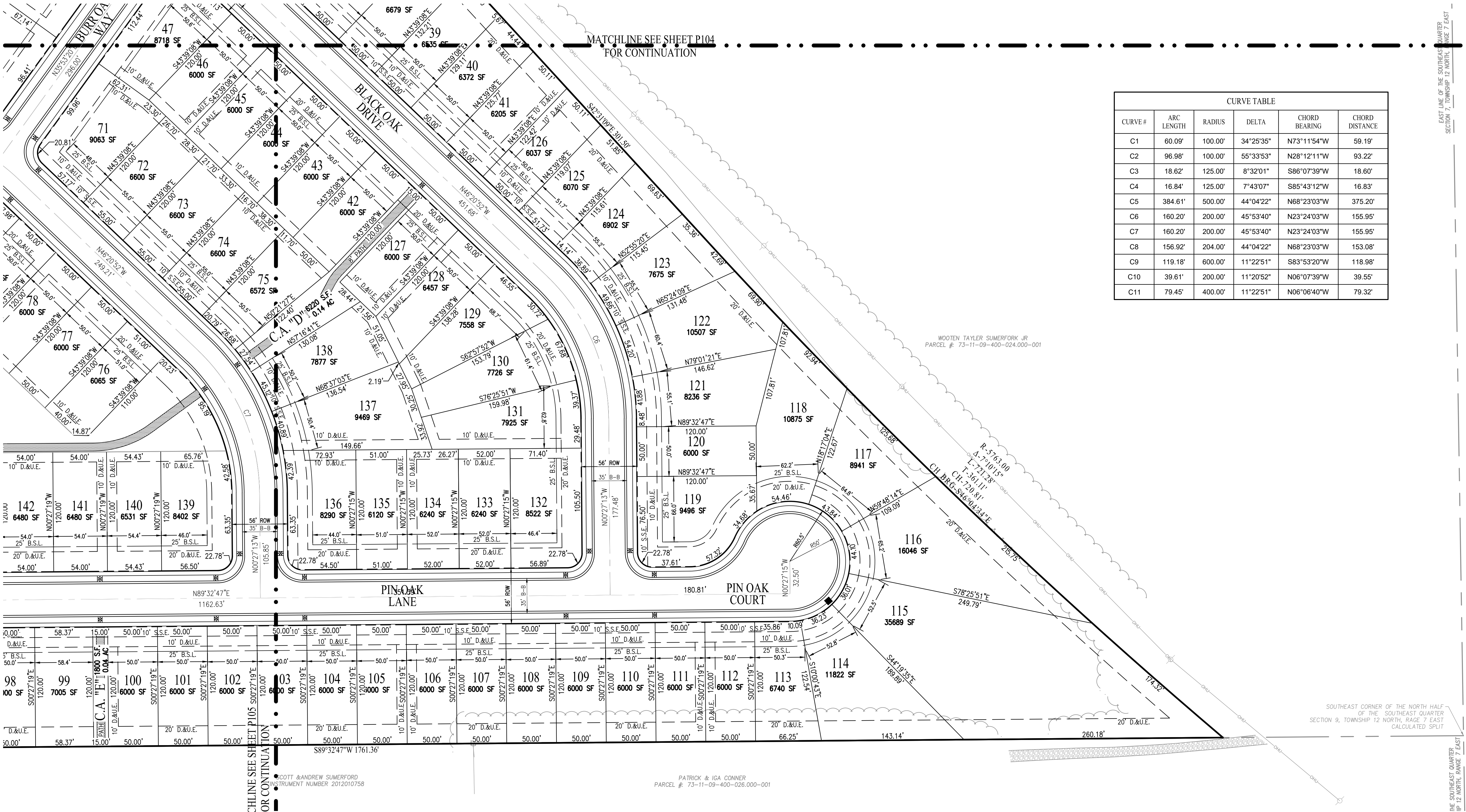


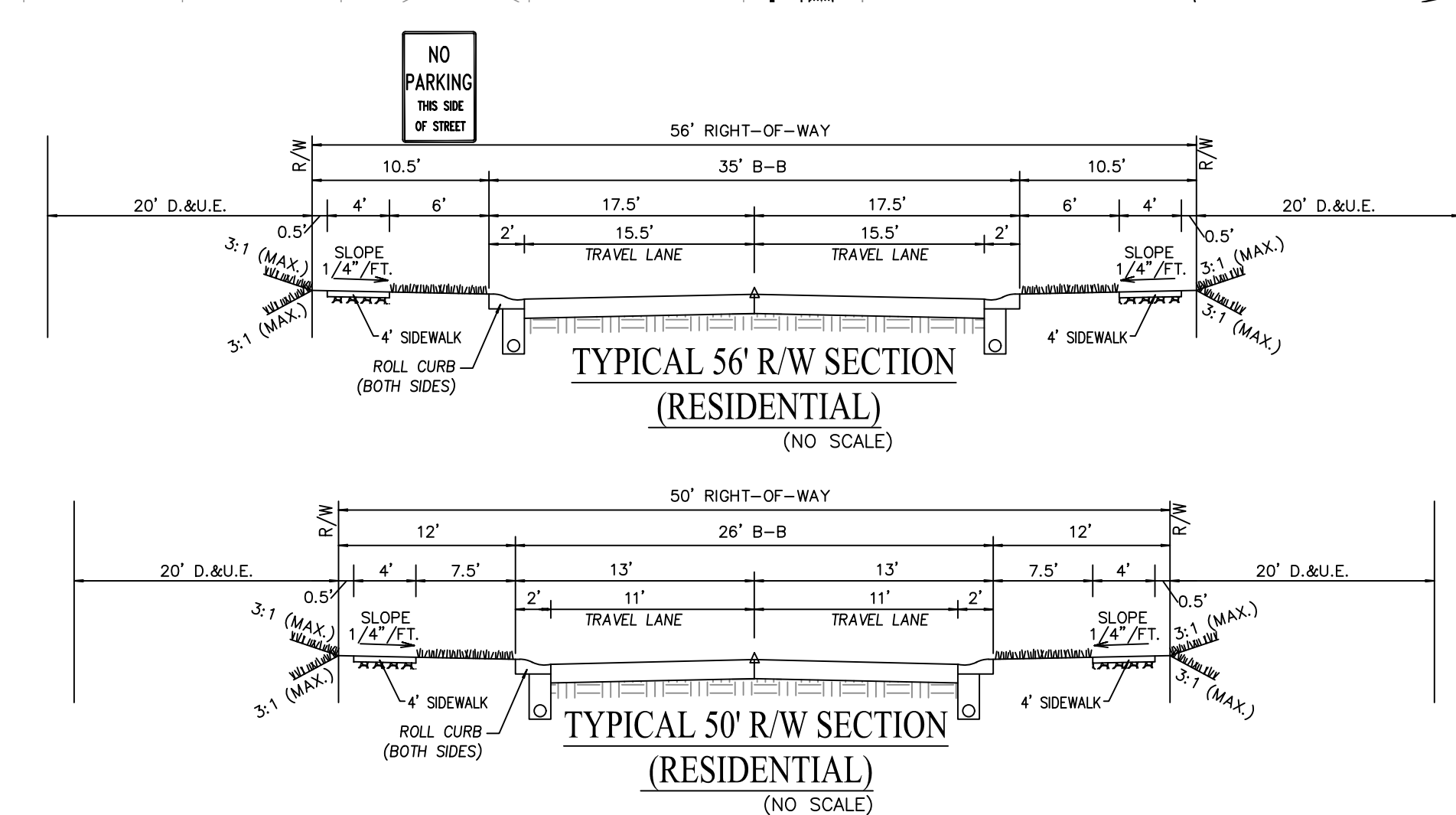
811
Know what's below.
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PER INDIANA STATE LAW IC 8-1-3-26,
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

LEGEND: PROPOSED CONDITIONS

- S.S.E. = RIGHT-OF-WAY LINE
- D.A.U.E. = SANITARY SEWER EASEMENT
- P.O.B. = DRAINAGE UTILITY AND SEWER EASEMENT
- AC = POINT OF BEGINNING
- SF = ACRE
- EX = SQUARE FOOT
- V.W. = EXISTING
- ROW = VARIABLE WIDTH
- B.S.L. = RIGHT-OF-WAY
- *
- = BUILDING SETBACK LINE
- = ADA RAMP

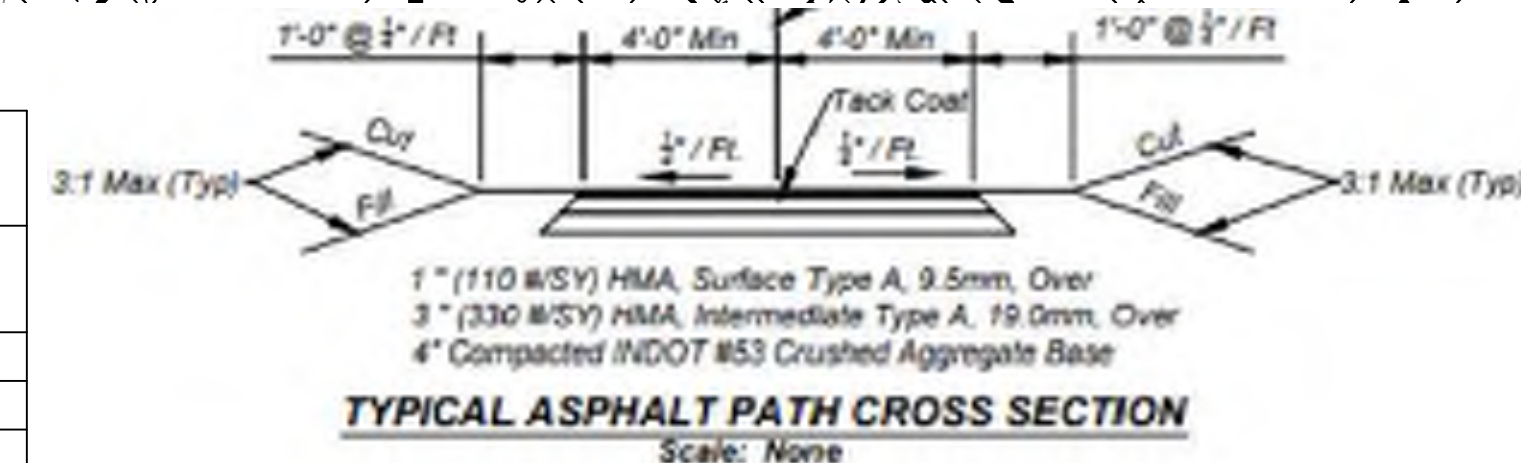
CURVE TABLE				
CURVE #	ARC LENGTH	RADIUS	DELTA	CHORD BEARING
C1	60.09'	100.00'	34°25'35"	N73°11'54"W
C2	96.98'	100.00'	55°33'53"	N28°12'11"W
C3	18.62'	125.00'	8°32'01"	S86°07'39"W
C4	16.84'	125.00'	7°43'07"	S85°43'12"W
C5	384.61'	500.00'	44°04'22"	N68°23'03"W
C6	160.20'	200.00'	45°53'40"	N23°24'03"W
C7	160.20'	200.00'	45°53'40"	N23°24'03"W
C8	156.92'	204.00'	44°04'22"	N68°23'03"W
C9	119.18'	600.00'	11°22'51"	S83°53'20"W
C10	39.61'	200.00'	11°20'52"	N06°07'39"W
C11	79.45'	400.00'	11°22'51"	N06°06'40"W






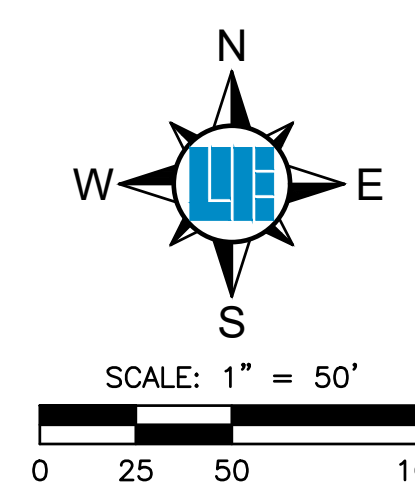


	=	RIGHT-OF-WAY LINE
	=	PROPOSED STORM SEWER LINE
	=	SWALE
	=	SSD
	=	PROPOSED SANITARY SEWER LINE
	=	SANITARY SEWER MANHOLE
	=	PROPOSED WATER LINE
	=	STORM BLEEVE INLET
	=	STORM INLET
	=	TOP OF CASTING
	=	INVERT
	=	REINFORCED CONCRETE PIPE
	=	MANHOLE
	=	STRUCTURE
	=	DRAINAGE EASEMENT
	=	SANITARY SEWER EASEMENT
	=	DRAINAGE, UTILITY AND SEWER EASEMENT
	=	CONCRETE END SECTION
	=	MATCH EXISTING
	=	TYPICAL
	=	PROPOSED
	=	EXISTING
	=	RADIUS
	=	VARIABLE WIDTH
	=	RIGHT-OF-WAY
	=	BACK OF CURB
	=	PAD (TYP. PAD SIZE 36'x55')
	=	BUILDING SETBACK LINE
	=	ADA RAMP
	=	FIRE HYDRANT

DEVELOPMENT STANDARDS	
PROPOSED ZONING: PUD	
GROSS SITE AREA	37.57 AC. ±
TOTAL COMMON AREA	6.07 AC. ±
COMMON AREA AS PERCENTAGE OF GROSS SITE AREA	16.16%
DENSITY (NO. OF LOTS/GROSS SITE AREA)	3.94 LOTS/AC.
NUMBER OF LOTS	148
MINIMUM LOT AREA	6,000 SF
AVERAGE LOT AREA DEPICTED	7,137 SF
PROPOSED MINIMUM LOT WIDTH AT BUILDING LINE	50'
MINIMUM SETBACK LINES	
FRONT YARD	25'
SIDE YARD	7'
REAR YARD	20'



SYMBOL	TYPE	SPECIFICATION	QUANTITY
	STOP SIGN WITH STREET SIGN	SEE SHELBYVILLE STANDARD DETAILS	9
	STREET LIGHT	SEE SHELBYVILLE STANDARD DETAILS	8
	"NO PARKING THIS SIDE ONLY"	SEE SHELBYVILLE STANDARD DETAILS	15



TWELVE OAKS PHASE TWO	
PART OF SECTION 9, TOWNSHIP 12 NORTH, RANGE 10 NORTH, SHELBY COUNTY, CITY OF SHELBYVILLE, INDIANA	
UTILITY, STREET, LIGHTING PLAN	
SHEET NO.	
P107	
PROJECT NO.	
W21 0678	

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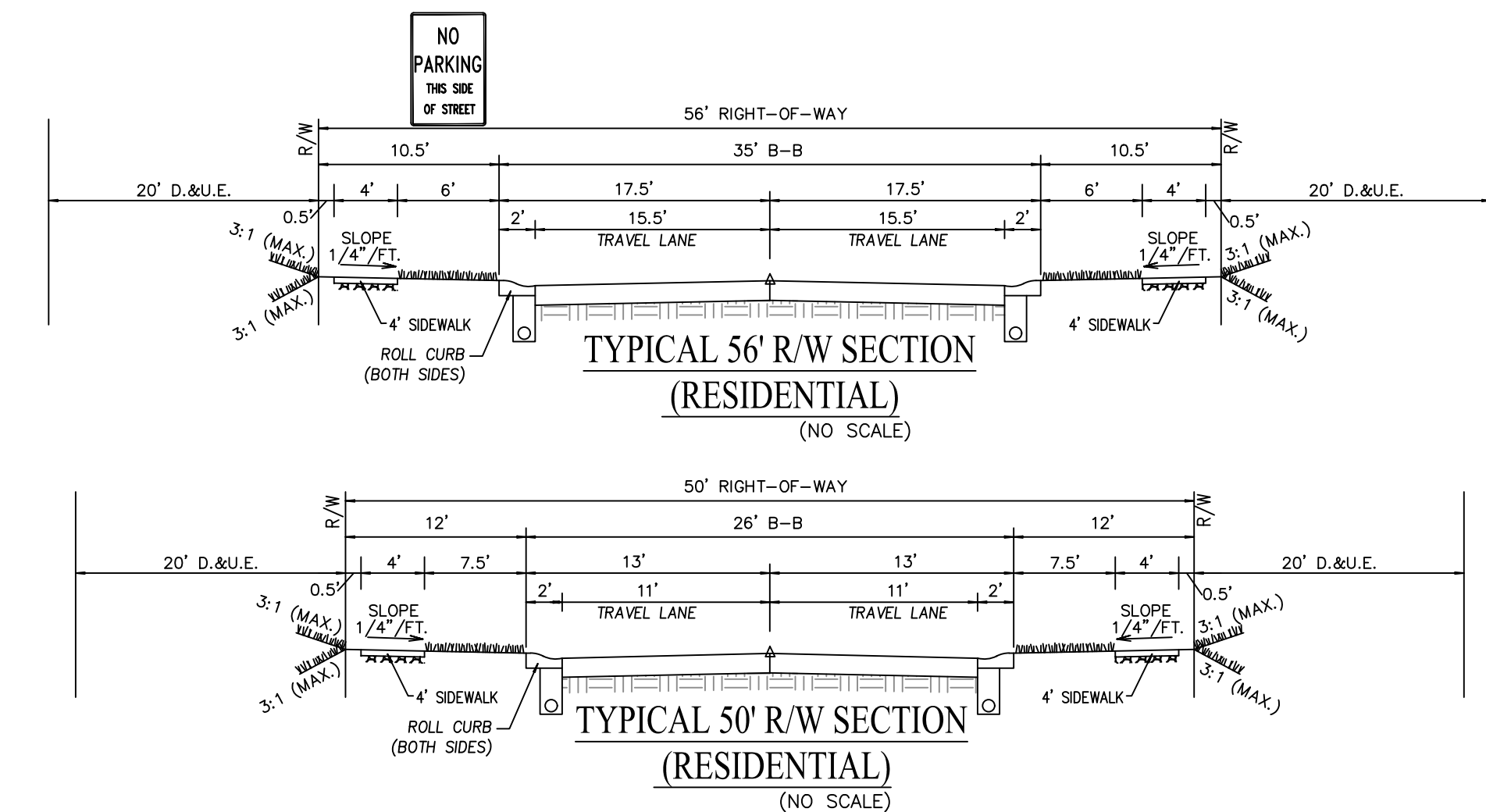
PROJECT NO.:	W21.0078
DWG NAME:	P107 Utility Plan
DESIGNED BY:	SCS
DRAWN BY:	AMN
CHECKED BY:	JF
DATE:	
BY:	
REVISIONS AND ISSUES	
APPROVAL PENDING NOT FOR CONSTRUCTION	
DATE:	
BY:	
NAME:	

APPROVAL PENDING
NOT FOR CONSTRUCTION

TWELVE OAKS PHASE TWO
PART OF SECTION 9, TOWNSHIP 12 NORTH, RANGE 7 EAST, ADDISON TOWNSHIP,
SHELBY COUNTY, CITY OF SHELBYVILLE, INDIANA
UTILITY, STREET, LIGHTING PLAN

SHEET NO.
P107

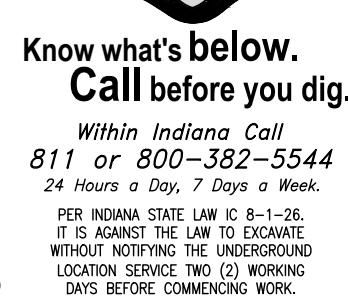
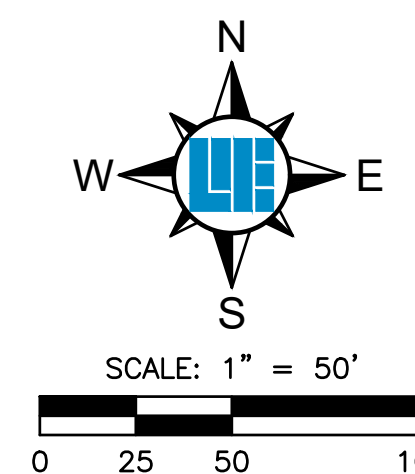
PROJECT NO.
W21.0678



	=	RIGHT-OF-WAY LINE
	=	PROPOSED STORM SEWER LINE
	=	SWALE
	=	SSD
	=	PROPOSED SANITARY SEWER LINE
	=	SANITARY SEWER MANHOLE
	=	PROPOSED WATER LINE
	=	STORM BLEEVE INLET
	=	STORM INLET
	=	TOP OF CASTING
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	=	DRAINAGE EASEMENT
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	=	DRAINAGE, UTILITY AND SEWER EASEMENT
	=	CONCRETE END SECTION
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	=	EXISTING
	=	RADIUS
	=	VARIABLE WIDTH
	=	RIGHT-OF-WAY
	=	BACK OF CURB
	=	PAD (TYP. PAD SIZE 36'x55')
	=	BUILDING SETBACK LINE
	=	ADA RAMP
	=	FIRE HYDRANT

The diagram illustrates a typical asphalt path cross-section. It features a central travel lane with a width of 10'-0" @ 1/2" / Ft. This lane is flanked by shoulders, each 4'-0" Min wide. The total width of the paved area is 18'-0" @ 1/2" / Ft. The cross-section shows three distinct material layers: a top layer of 1" (110 M/SV) HMA, Surface Type A, 9.5mm, over a middle layer of 3" (33G M/SV) HMA, Intermediate Type A, 19.0mm, over a base of 4" Compacted INDOT #53 Crushed Aggregate Base. The diagram also indicates a 3:1 Max (Typ) slope for the shoulders, with a 1'-0" @ 1/2" / Ft. section on the right. A 'Tack Coat' is applied between the HMA layers. The base is labeled '4" Compacted INDOT #53 Crushed Aggregate Base'.

TYPICAL ASPHALT PATH CROSS SECTION
 Scale: None



Part of the North half of the SE of Section 9, Township 12 North, Range 7 East, Addison Township, Shelby County, Indiana

PROJECT

W21.0678

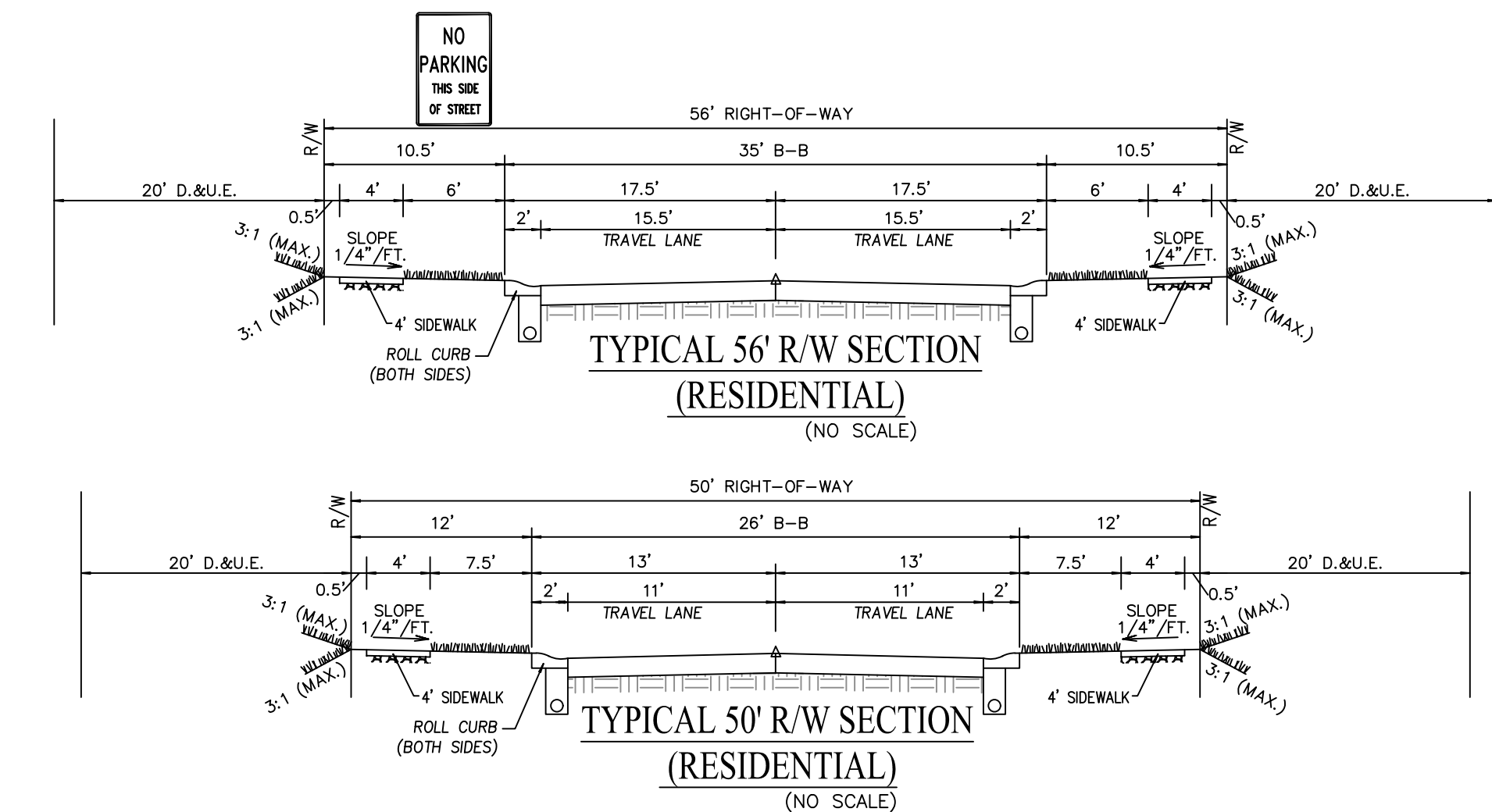
800	+JZ = 0+06
217	942 054C































L. J. Österman et al.




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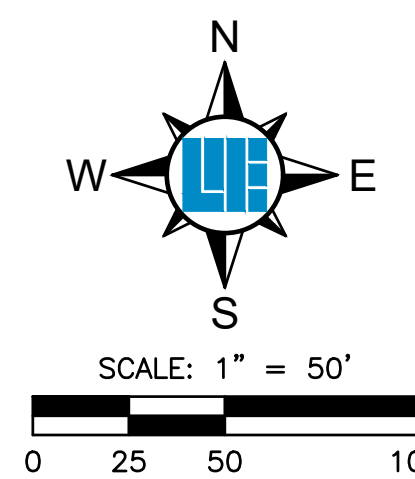
REVISIONS AND ISSUES	DATE	BY	PROJECT NO.: P-07-0078
APPROVAL PENDING NOT FOR CONSTRUCTION			
		DWG NAME: P107 Utility Plan	
		DESIGNED BY: SCS	
		DRAWN BY: MEN	
		CHECKED BY: JP	
		DATE:	

APPROVAL PENDING
NOT FOR CONSTRUCTION



	=	RIGHT-OF-WAY LINE
	=	PROPOSED STORM SEWER LINE
	=	SWALE
	=	SSD
	=	PROPOSED SANITARY SEWER LINE
	=	SANITARY SEWER MANHOLE
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SYMBOL	TYPE	SPECIFICATION	QUANTITY
	STOP SIGN WITH STREET SIGN	SEE SHELBYVILLE STANDARD DETAILS	9
	STREET LIGHT	SEE SHELBYVILLE STANDARD DETAILS	8
	"NO PARKING THIS SIDE ONLY"	SEE SHELBYVILLE STANDARD DETAILS	15



TWELVE OAKS PHASE TWO
PART OF SECTION 9, TOWNSHIP 12 NORTH, RANGE 7 EAST, ADDISON TOWNSHIP,
SHELBY COUNTY, CITY OF SHELBYVILLE, INDIANA
UTILITY, STREET, LIGHTING PLAN

SHEET NO.
P109

PROJECT NO.
W21.0678

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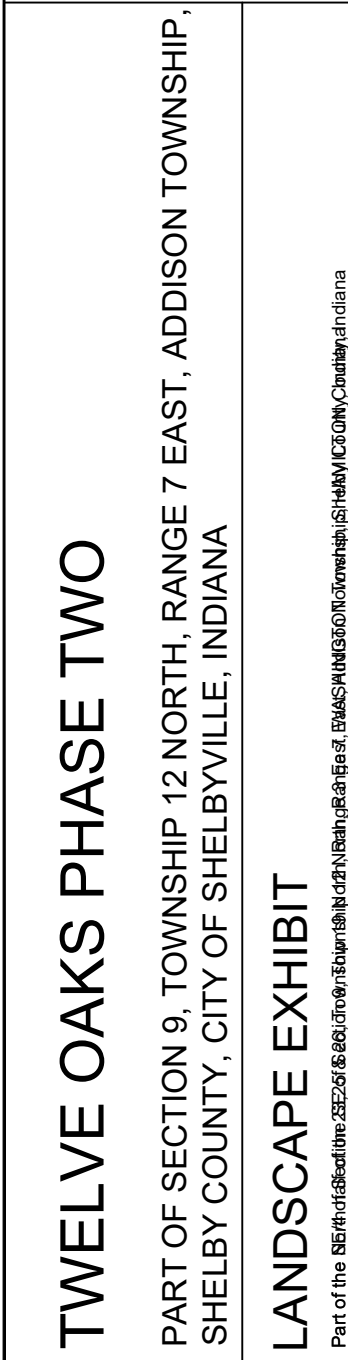
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REVISIONS AND ISSUES	DATE	BY	PROJECT NO.:
APPROVAL PENDING NOT FOR CONSTRUCTION			W211878
			DWG. TITLE
			PROJ. FILE
			DESIGNED BY:
			SCS
			DRAWN BY:
			MEN
			CHECKED BY:
			JP
			DATE:
			03/14/2022

APPROVAL PENDING
NOT FOR CONSTRUCTION



SHEET NO.
P110
PROJECT NO.
W21.0678

REVISIONS AND ISSUES APPROVAL PENDING NOT FOR CONSTRUCTION	DATE	BY	PROJECT NO.: W21.0078
			DWG NAME: P-110 Landscape Exhibit
			DESIGNED BY: JESUS GARCIA
			DRAWN BY: MEN
			CHECKED BY: JP
	DATE:	APPROVED BY: [Signature]	

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ENGINEERS

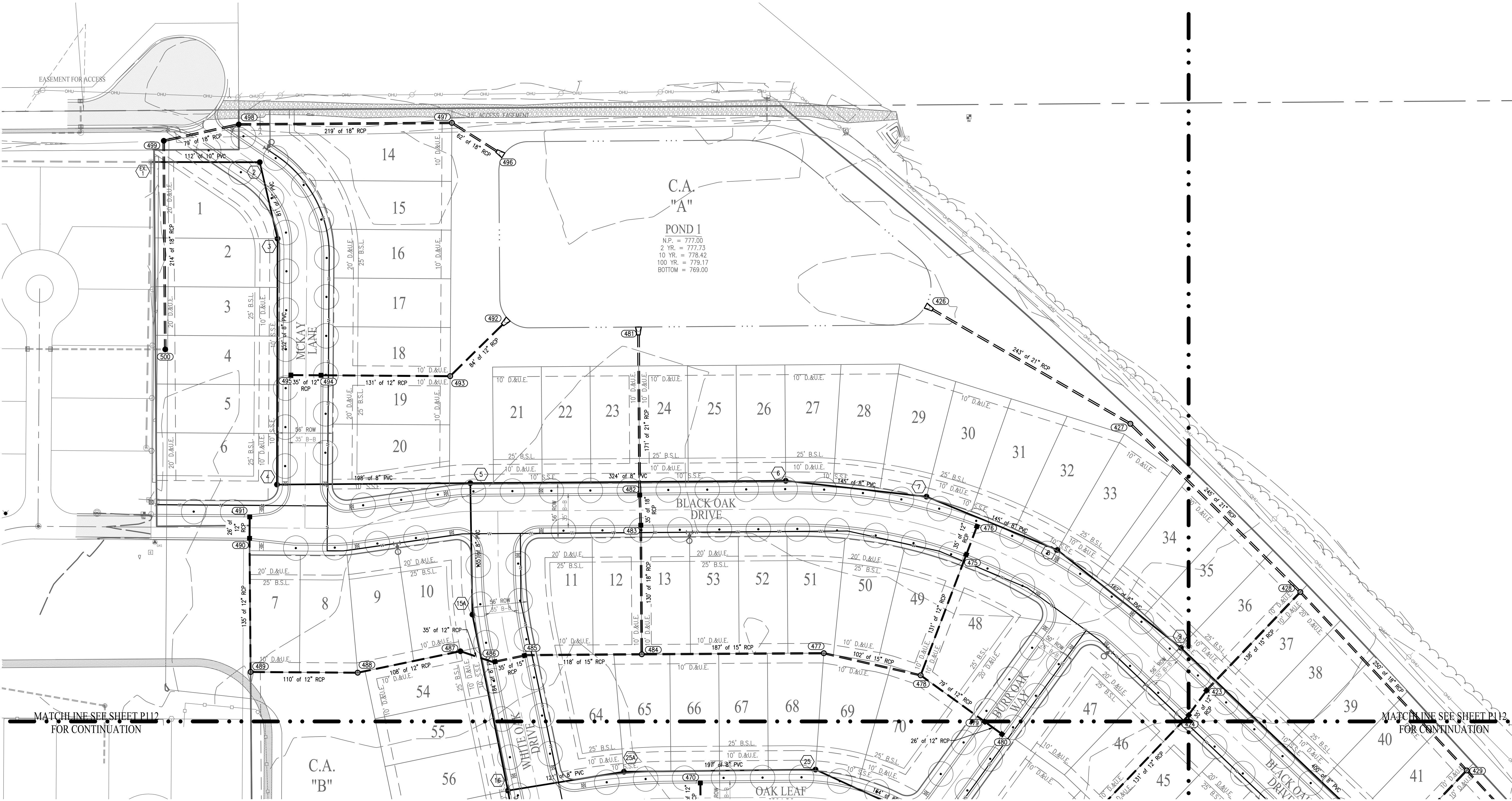
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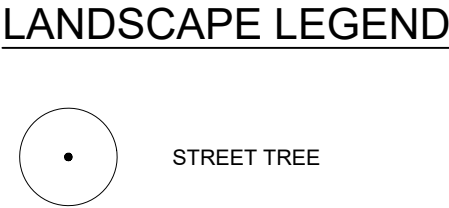
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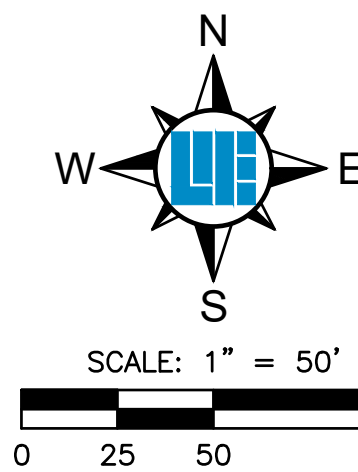
ALLAN H. WEIHE, P.E., L.S. - FOUNDER



LANDSCAPE ORDINANCE REQUIREMENTS			
	REQUIREMENT:	REQUIRED:	PROVIDED:
ST	6.21 STREET TREE STANDARDS: - ONE STREET TREE SHALL BE PLANTED FOR EVERY FORTY (40) FEET OF STREET FRONTAGE. TREES MAY BE EVENLY SPACED OR GROUPED TOGETHER. (10,800 LF STREET FRONTAGE)	- 270 STREET TREES	- 240 STREET TREES - SEPARATION FROM UTILITIES - VISUAL CLEARANCE @ STREET INTERSECTIONS



SHELBYVILLE APPROVED STREET TREES								
PLAN KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	B&B	CONT.	MATURE SIZE	SPECIAL INSTRUCTIONS
CANOPY DECIDUOUS TREES								
AoG	ACER RUBRUM 'RED SUNSET'	RED MAPLE	2.5" cal.		X		50'T x 40'W	
GaG	GINKGO BILOBA 'FAIRMOUNT'	FAIRMOUNT GINKGO	2.5" cal.		X		45'T x 30'W	
GIS	QUERCUS TRIACANTHOS INERMIS 'SKYLINE'	SKYLINE HONEYLOCUST	2.5" cal.		X		45'T x 35'W	
QuR	QUERCUS COCCINEA	RED OAK	2.5" cal.		X		60'T x 60'W	
TcG	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	2.5" cal.		X		60'T x 40'W	
UIH	ULMUS x 'HOMESTEAD'	HOMESTEAD HYBRID ELM	2.5" cal.		X		50'T x 40'W	



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PROJECT NO.: W21.0678
DWG NAME: P111 Landscape Plan
DESIGNED BY: SCS
DRAWN BY: MEN
CHECKED BY: JP
DATE: 03/15/2022

REVISIONS AND ISSUES

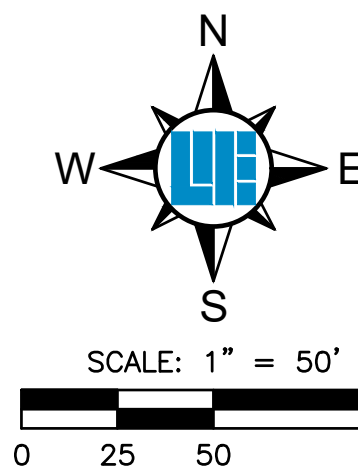
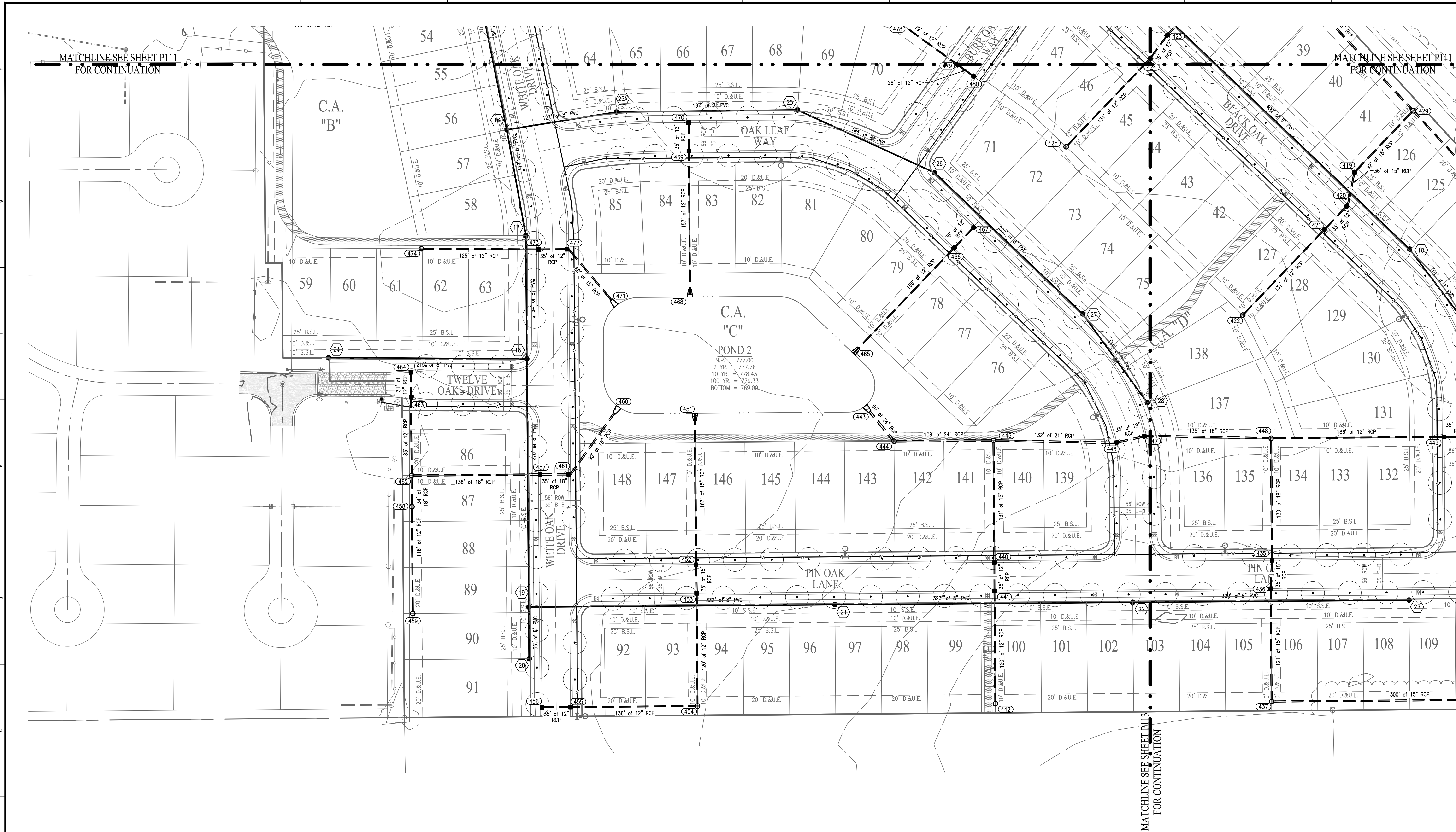
APPROVAL CITY OF SHELBYVILLE, INDIANA
NOT FOR CONSTRUCTION

TWELVE OAKS PHASE TWO
PART OF SECTION 9, TOWNSHIP 12 NORTH, RANGE 7 EAST, ADDISON TOWNSHIP, SHELBY COUNTY, INDIANA
LANDSCAPE PLAN
Part of the North half of the SE of Section 9, Township 12 North, Range 7 East, Addison Township, Shelby County, Indiana

SHEET NO.
P111
PROJECT NO.
W21.0678

LOCATION: I:\2021\W21.0678\Engineering\preliminary\p111 Landscape Plan.dwg
DATE/TIME: May 02, 2022 - 11:31 am
PLOT/DWG: 07 - 2021

LOCATION: H:\2021\W210678\Engineering\preliminary\p111 Landscape Plan.dwg
DATE: May 02, 2022 - 11:31 am
PLOT: 100% 0.7 x 26mm



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PROJECT NO.	W21.0678
DWG NAME	P111 Landscape Plan
DESIGNED BY	SCS
DRAWN BY	MEH
CHECKED BY	JP
DATE	03/15/2022

REVISIONS AND ISSUES

BY	DATE	DESCRIPTION

APPROVAL CITY OF SHELBYVILLE, INDIANA

NOT FOR CONSTRUCTION

TWELVE OAKS PHASE TWO

PART OF SECTION 9, TOWNSHIP 12 NORTH, RANGE 7 EAST, ADDISON TOWNSHIP, SHELBY COUNTY, INDIANA

LANDSCAPE PLAN

Part of the North half of the SE of Section 9, Township 12 North, Range 7 East, Addison Township, Shelby County, Indiana

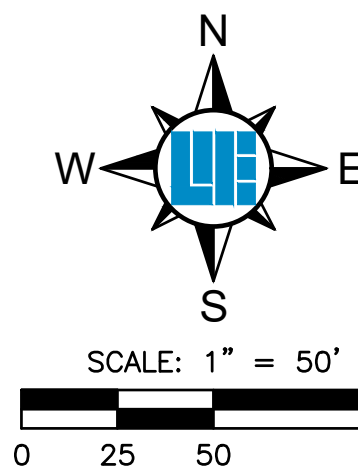
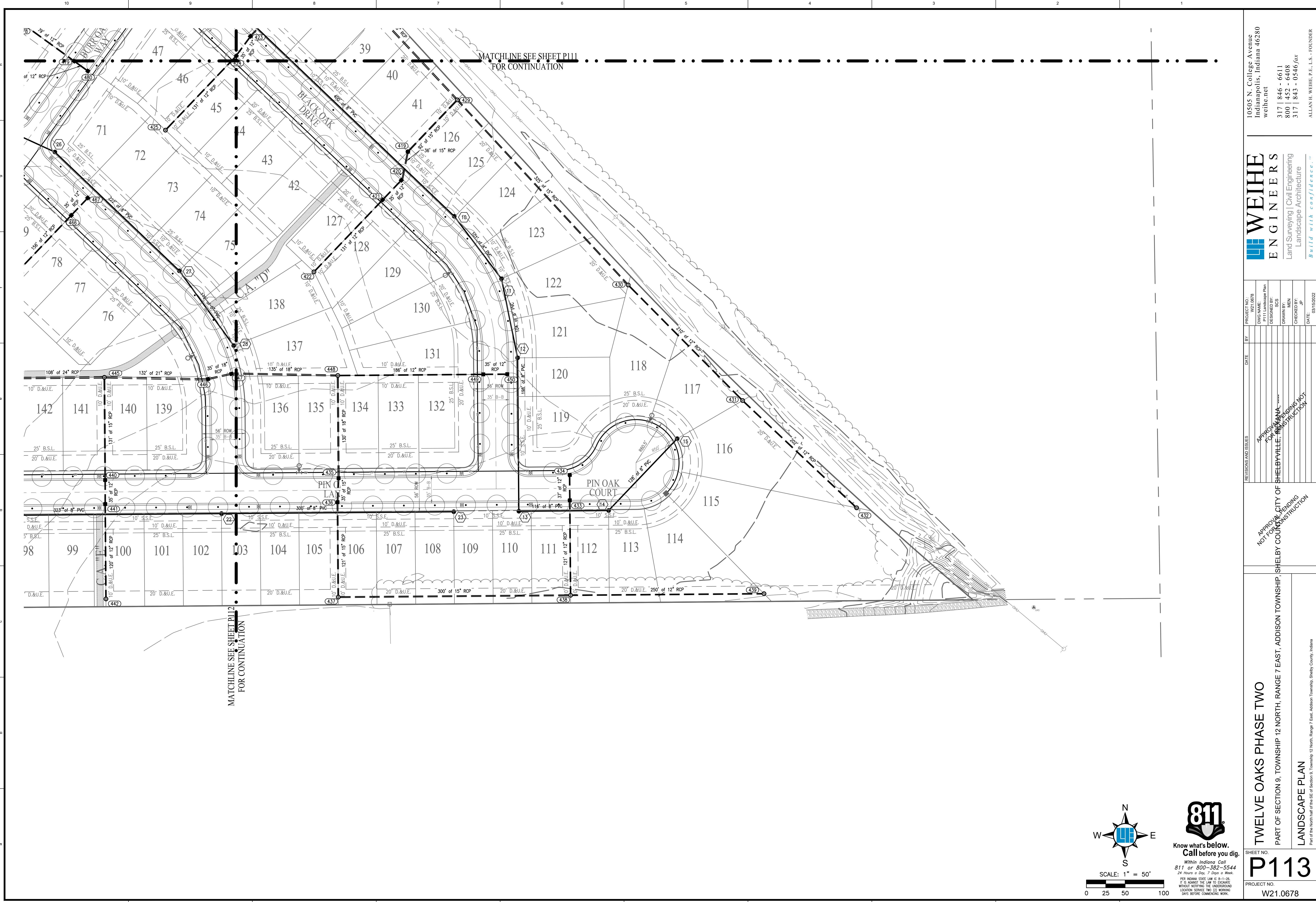
SHEET NO.

P112

PROJECT NO.

W21.0678

LOCATION: I:\2021\W210678\Engineering\preliminary\p111 Landscape Plan.dwg
DATE/TIME: May 02, 2022 - 11:31 am
PLOT/DWG: 7/20/2021



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IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

PROJECT NO.: W21.0678

DWG NAME: P111 Landscape Plan

DESIGNED BY: SCS

DRAWN BY: MEN

CHECKED BY: JP

DATE: 03/15/2022

BY: _____

DATE: _____

REVISIONS AND ISSUES

APPROVAL FOR CONSTRUCTION

TWELVE OAKS PHASE TWO

PART OF SECTION 9, TOWNSHIP 12 NORTH, RANGE 7 EAST, ADDISON TOWNSHIP, SHELBY COUNTY, INDIANA

LANDSCAPE PLAN

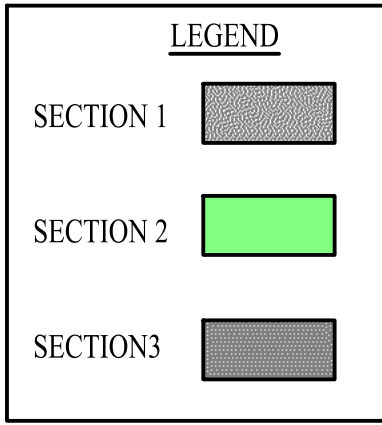
SHEET NO. **P1113**

PROJECT NO. W21.0678

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HEET NO.
P114
PROJECT NO.
W21.0678

		DWG NO:	W21.0678
		DWG NAME:	P11d Plating Plan
		DESIGNED BY:	SCS
		DRAWN BY:	MEN
		CHECKED BY:	JP
		DATE:	

APPROVAL PENDING NOT
FOR CONSTRUCTION

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LOCATION: H:\2021\W210678\Engineering\preliminary\plan\p114 Phasing Plan.dwg
LAYOUT: P114
DATE/TIME: May 02, 2022 - 11:32am
PLOTTED BY: z6leism