

CITY OF SHELBYVILLE

Adam M Rude
Director



Allan Henderson
Deputy Director

PLAN COMMISSION

MEETING DATE: 3/27/2023

	PC 2023-4; Just Peachy; SDP			
Petitioner's Name:	Charity Elliott			
Owner's Name:	Charity Elliott			
Petitioner's Representative:	Tony Nicholson, Space and Sites			
Address of Property:	52 East Washington Street, Shelbyville, IN			
Subject Property Zoning Classification:	BC – Business Central			
Comprehensive Future Land use:	Central Business District			
	North	East	South	West
Surrounding Properties' Zoning Classifications:	BC – Business Central	BC – Business Central	BC – Business Central	BC – Business Central
Surrounding Properties' Comprehensive Future Land Use	Central Business District	Central Business District	Central Business District	Central Business District
History:	The site is the location of Just Peachy. The petitioner would like to expand to the east of the existing restaurant.			
Vicinity Map:				
Action Requested:	A request for Site Development Plan approval for a 1440 square foot expansion to an existing restaurant.			

1. This petition is to expand the existing Just Peachy's Restaurant by 1440 square feet adding 49 additional seats. The general circulation of the site will not change, and additional entry and exits are being added on the east side of the building.

2. The Zoning Ordinance (Section 9.05 (F) (5)) requires the Plan Commission make Findings of Fact that the Site Development Plan:

a. Is consistent with the City of Shelbyville Comprehensive Plan:

The planning staff has determined the subject petition is consistent with the goals of the Comprehensive Plan. A focus of the Comprehensive Plan:

Built Environment:

Objective 5: Promote Development and Redevelopment of Existing Sites and Buildings.

Action 1: Identify redevelopment sites, primarily around the city gateways and market these first.

Commerce and Economy:

Objective 5: Support Local Business Retention and Creation

The site for this subject petition is located in a highly commercial area, with different retail, office, and personal service uses surrounding it. The Comprehensive Plan and Future Land Use Map shows the area as the Central Business District.

b. Meets the Technical Review Committee's expectations for best practices and quality design:

The Technical Review Committee reviewed the site development plan against their applicable standards. The petitioner has responded and addressed the Technical Review Committee's comments.

c. Satisfies the applicable requirements of Article 2: Zoning Districts:

The planning staff has determined the subject petition is consistent with the BC - Business Central district. The Business Central district is intended to provide areas for the combination of land uses common to traditional central business districts. This zoning district is intended to accommodate the current uses and structures within Shelbyville's traditional downtown and permit the continued, contextually appropriate development of the area. Shelbyville should use this zoning district to protect the existing downtown area and its historic structures from incompatible uses and inappropriate site designs. This zoning district should also be used to provide for cohesive and appropriate infill development in and around the downtown area.

d. Satisfies the applicable requirements of Article 5: Development Standards:

Planning Staff has worked with the petitioner to satisfy the standards of Article 5 of the Unified Development Ordinance.

UDO 5.08 Architectural Standards

A. Roof: Roofs on all buildings that meet the "Retail Floor Area" limitation of "Retail (Type 1) Low Intensity" shall have no less than one (1) of the following features; roofs on all buildings that meet the "Retail Floor Area" limitation of "Retail (Type 2) Medium Intensity" shall have no less than two (2) of the following features; roofs on all buildings that meet the "Retail Floor Area" limitation of "Retail (Type 3) High Intensity" shall have no less than three (3) of the following features:

- a. Parapets concealing flat roofs and rooftop equipment such as HVAC units from public view. The average height of such parapets shall not exceed fifteen percent (15%) of the height of the supporting wall. Such parapets shall feature three-dimensional cornice treatment.
- b. Sloping roofs that do not exceed the average height of the supporting walls with an average slope greater than or equal to one (1) foot of vertical rise for every three (3) feet of horizontal run and less than or equal to one (1) foot of vertical rise for every one (1) foot of horizontal run.
- c. Three (3) or more roof slope planes.
- d. A sloped roof system containing at least two (2) or more dormers featuring windows and overhanging eaves that must extend at least three (3) feet past all supporting walls.
- e. Two (2) or more visible roof slopes in addition to dormers, turrets, or cornice work such as corbels, spaced consistently along all façade planes in a manner that is appropriate with the surrounding area.
- f. Installation of an on-site solar energy system covering an area anywhere on the roof of the building equal to or greater than thirty-five percent (35%) of the total roof area of all primary buildings. This solar energy system shall satisfy all requirements of Section 5.65-5.70 of this Ordinance.
- g. Varying roof heights, consisting of at least two percent (2%) variation in height of the overall length of the street-facing facade, with at least three different roof heights.

The expansion meets the requirements of Retail Type I and is only required to incorporate one the (1) elements of the Roof Standard. As designed the roof is meeting two (2) aspects of the roof plane requirements; (1) A(b) Sloping Roofs and A(g) varying roof heights.

This standard is being satisfied by the petitioner.

UDO 5.10 Commercial Standards

- A. Applicability: All buildings, primary and accessory, within the above Zoning Districts. Despite the specific use of a structure, square footage of the building as determined by “Retail (Type 1) Low Intensity”, “Retail (Type 2) Medium Intensity”, and “Retail (Type 3) High Intensity”, established in Article 11: Definitions, shall determine the applicable Commercial Standards as described below. These terms are solely used to reference the corresponding square footage limitations. These standards and guidelines apply to all Retail (Type 1) Low Intensity and Retail (Type 2) Medium Intensity.
- h. Weather protection features six (6) feet in depth, such as awnings or arcades shall be provided over all sidewalks beyond ten (10) feet of the edge of the frame of the entrance, on both sides, of all customer entrances. See Exhibit CM-01 below for guidance.

The petitioner has provided a canopy over the exterior doors on the east side of the building, however, the canopy needs to extend to the north and south edge of the building.

- e. Satisfies the applicable requirements of Article 6: Design Standards**

Article 6: Design Standards provides the standards for all subdivisions and generally apply to the construction of residential planned unit developments with public improvements. Article 6: Design Standards do not apply to this project.

f. Satisfies any other applicable provisions of the Unified Development Ordinance.

All other applicable provisions of the Unified Development Ordinance are being satisfied by the submitted civil plans.

STAFF RECOMMENDATION: APPROVAL W/ CONDITIONS:

1. Provide updated drawings showing canopy extending to north and south edge of the building.

Site Development Plan: PC 2023-4; Just Peachy; SDP

Findings of Fact by the Shelbyville Plan Commission

Staff Prepared

Motion:

(I) would like to make a motion to approve the site development plan as presented to this body, pursuant to the planning staff's report, proposed conditions of approval, and Findings of Fact.

1. ☐ The site development plan is consistent with the *City of Shelbyville Comprehensive Plan* as outlined in the planning staff's report.
☐ The site development plan is **not** consistent with the *City of Shelbyville Comprehensive Plan*, as outlined in the planning staff's report.
2. ☐ The site development plan meets the Technical Review Committee's expectations for best practices and quality design, as outlined in the planning staff's report, as outlined in the planning staff's report.
☐ The site development plan **does not** meet the Technical Review Committee's expectations for best practices and quality design, as outlined in the planning staff's report, as outlined in the planning staff's report
3. ☐ The site development plan satisfies the applicable requirements of Article 2: *Zoning Districts*, as outlined in the planning staff's report.
☐ The site development plan **does not** satisfy the applicable requirements of Article 2: *Zoning Districts*, as outlined in the planning staff's report.
4. ☐ The site development plan satisfies the applicable requirements of Article 5: *Development Standards*, as outlined in the planning staff's report.
☐ The site development plan **does not** satisfy the applicable requirements of Article 5: *Development Standards*, as outlined in the planning staff's report.
5. ☐ The site development plan satisfies the applicable requirements of Article 6: *Design Standards*, as outlined in the planning staff's report.
☐ The site development plan **does not** satisfy the applicable requirements of Article 6: *Design Standards*, as outlined by the planning staff's report.
6. ☐ This site development plan satisfies all other applicable provision of the *Unified Development Ordinance*, as outlined by the planning staff's report.
☐ The site development plan **does not** satisfy all other applicable provision of the *Unified Development Ordinance*, as outlined in the planning staff's report.

Additional Conditions Imposed by the Shelbyville Plan Commission:

1.

2.

3.

Shelbyville Plan Commission

By: _____

Chairperson / Presiding Officer

Attest: _____

Adam M. Rude, Secretary



SITE DEVELOPMENT PLAN APPLICATION

Shelbyville Planning & Building Department
44 West Washington Street
Shelbyville, IN 46176
P: 317.392.5102

For Office Use Only:

Case #: PC 2023 - 04

Hearing Date: 03.27.23

Fees Paid: \$ 835.00

Final Decision:

Approved

Denied

1.

Applicant

Name: CHARITY ELLIOTT
Address: 52 E. WASHINGTON ST
SHELBYVILLE, IN 46176
Phone Number: 317-825-0669
Fax Number: _____
Email: JUSTPEACHYCAFE1N@gmail.com

Property Owners Information (if different than Applicant)

Name: _____
Address: SAME
Phone Number: _____
Fax Number: _____
Email: _____

2.

Applicant's Attorney/Representative

Name: SPACE & SITES LLC
Address: 6 E TAYLOR ST
SHELBYVILLE
Phone Number: 317-392-4444
Fax Number: N/A
Email: SPACE AND SITES @ SBC
GLOBAL.NET

Project Engineer

Name: SPACE AND SITES LLC
Address: SAME
Phone Number: _____
Fax Number: _____
Email: _____

3. Project Information:

General Location of Property (and address is applicable): 52 E. WASHINGTON ST CITY

Current Zoning: _____ Existing Use of Property: _____

Proposed Zoning: _____ Proposed Use: _____

4. Attachments

- | | |
|---|---|
| <input type="checkbox"/> Affidavit and Consent of Property Owner (if applicable) | <input type="checkbox"/> Lighting Plan |
| <input checked="" type="checkbox"/> Proof of Ownership (copy of deed, recent property card) | <input type="checkbox"/> Landscaping Plan |
| <input checked="" type="checkbox"/> Letter of Intent | <input type="checkbox"/> Drainage Plan and Report |
| <input checked="" type="checkbox"/> Civil Plans as prescribed in UDO 9.05 | <input type="checkbox"/> Dimensioned Site Plan |
| <input checked="" type="checkbox"/> Vicinity Map | <input checked="" type="checkbox"/> Filling Fee |

The undersigned states the above information is true and correct as s/he is informed and believes.

Applicant: Charity Elliott Date: 3-6-23

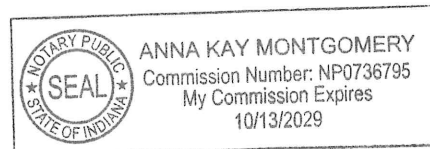
State of Indiana
County of Shelby SS:

Subscribed and sworn to before me this 6 day of March, 2023.

Anna Kay Montgomery
Notary Public Printed

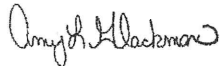
Residing in Shelby County.

My Commission Expires: 10/13/2029



ENTER FOR TAXATION

Nov 02, 2021


SHELBY COUNTY AUDITOR

2021008049 QCD \$25.00
11/2/2021 9:06:44 AM 3 PGS
Tawnya J Williams
SHELBY County Recorder IN
Recorded as Presented



QUITCLAIM DEED

PARCEL #73-11-05-100-279.000-002

~~DICKMAN~~

WITNESSETH, That ~~Lori Dickman~~ Grantor (s) of Shelby County in the State of Indiana, Quit-Claims to **Just Peachy Cafe, LLC, An Indiana Limited Liability Company**, Grantee (s) of Shelby County, in the State of Indiana, for the sum of ZERO Dollars and NO/100 (\$0.00), the receipt of which is hereby acknowledged, the following described real estate in Shelby County, Indiana.

Commonly known as: 52 & 54 E. Washington St. Shelbyville, IN 46176

Beginning at a point seventy-two (72) feet West of the Southeast corner of lot number thirteen (13) on Washington Street in the original town (now city) of Shelbyville and running thence West twenty-four (24) feet to the East line of the Glabb lot; thence North, ninety-nine (99) feet; thence East twenty-four (24) feet; thence South ninety-nine (99) feet to the Place of Beginning, subject to a right of way for a foot walk over a strip of ground two (2) feet wide off the entire East side of said described premises heretofore granted to Charles Forster by Charles Hogle and wife and also as appurtenant to said described premises the right of way over a strip of ground two (2) feet wide adjoining the said premises on the East heretofore reserved in a deed made by Charles Hogle and wife to said Charles Forster.

Beginning at a point 48 feet West of the Southeast corner of Lot 13 on the North side of Washington Street in the Original Town, now City of Shelbyville and running thence North 99 feet; thence West 24 feet; thence South 99 feet to the North side of Washington Street; thence East on Washington Street to the Place of Beginning.

Subject to a right-of-way of a foot walk over a strip of ground 2 feet wide off of the entire West side of the above described parcel of land reserved by a certain deed from one Mary Hogle and husband to Charles Forster.

Also granting the perpetual right-of-way for a foot walk over a strip of ground 2 feet in width immediately adjoining the above described tract on the west, it being the intention to keep and maintain an open alley or foot way 4 feet in width off the West side of the above described tract and off the entire East side of the tract formerly owned by Mary Hogle but conveyed by her to William B. Dunn and wife, being 2 feet of each side and for the mutual benefit and use of both properties.

LETTER OF INTENT:

The purpose of this addition is for additional seating for customers. The addition may add up to 49 for seating area. There are (2) glass overhead doors on the ends of the building that may be opened in good weather conditions. Also, included on the East sides are (3) glass passage doors for exits.

BUILDING PLANS FOR:

JUST PEACHY CAFE

52 E. WASHINGTON ST.

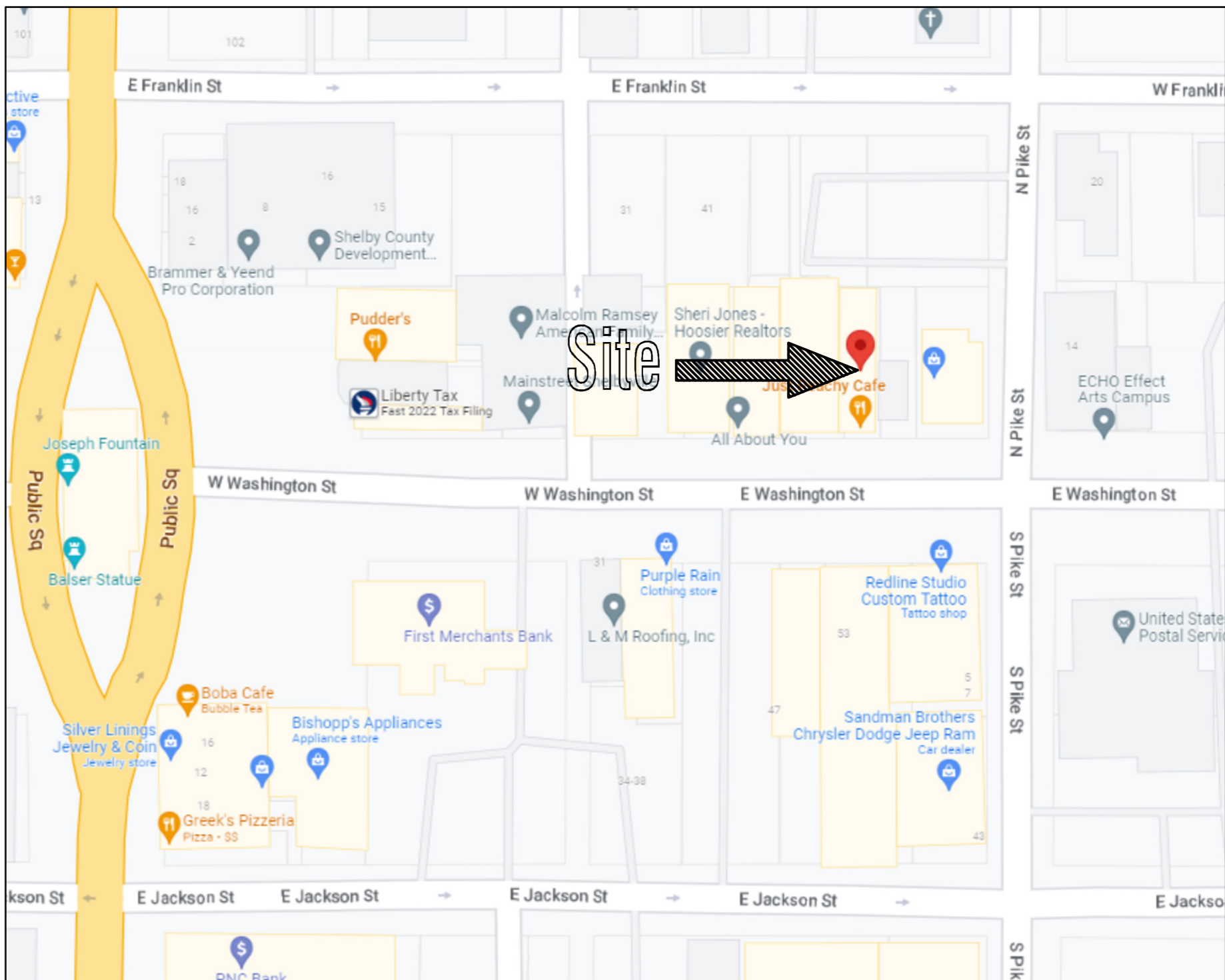
SHELBYVILLE, IN 46176

OWNER:

JUST PEACHY CAFE, LLC

52 E. WASHINGTON ST.

SHELBYVILLE, IN 46176



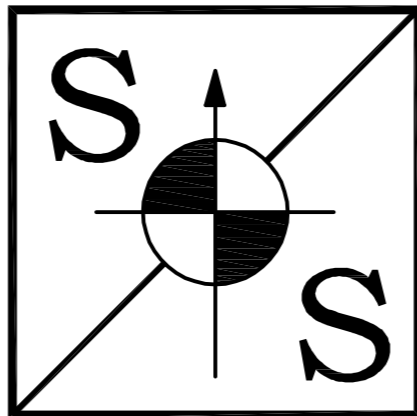
LOCATION MAP

VICINITY MAP

TECHNICAL REVIEW COMMITTEE SIGNATURE TABLE

<div>X</div> <div>ADAM RUDE</div> <div>PLANNING DIRECTOR</div> <div>44 W Washington St.</div> <div>Shelbyville, IN 46176</div> <div>TEL: 317.392.5102</div> <div>EMAIL: arude@cityofshelbyvillein.com</div> <div>Released via TRC Form</div>	<div>X</div> <div>ALLAN HENDERSON</div> <div>DEPUTY PLANNING DIRECTOR</div> <div>44 W Washington St.</div> <div>Shelbyville, IN 46176</div> <div>TEL: 317.392.5102</div> <div>EMAIL: ahenderson@cityofshelbyvillein.com</div> <div>Released via TRC Form</div>	<div>X</div> <div>TAYLOR SUMMERFORD</div> <div>SHELBY COUNTY SURVEYOR</div> <div>25 W Polk St., Room B020</div> <div>Shelbyville, IN 46176</div> <div>TEL: 317.392.6481</div> <div>EMAIL: norma.ross@co.shelby.in.us</div> <div>Released via TRC Form</div>
<div>X</div> <div>DOUG HUNT</div> <div>STREET COMMISSIONER</div> <div>605 Hale Road</div> <div>Shelbyville, IN 46176</div> <div>TEL: 317.392.5169</div> <div>EMAIL: dhunt@cityofshelbyvillein.com</div> <div>Released via TRC Form</div>	<div>X</div> <div>MARK WEIDNER</div> <div>CHIEF OF POLICE</div> <div>105 West Taylor St.</div> <div>Shelbyville, IN 46176</div> <div>TEL: 317.392.5106</div> <div>EMAIL: mweidner@cityofshelbyvillein.com</div> <div>Released via TRC Form</div>	<div>X</div> <div>TRAVIS EDINGTON</div> <div>INDIANA AMERICAN WATER</div> <div>1700 McCall Dr., P.O. Box 418</div> <div>Shelbyville, IN 46176</div> <div>TEL: 317.392.0711</div> <div>EMAIL: travis.edington@amwater.com</div> <div>Released via TRC Form</div>
<div>X</div> <div>KEVIN KREDIT</div> <div>WRRF SUPERINTENDENT</div> <div>775 West Boggsdown Rd.</div> <div>Shelbyville, IN 46176</div> <div>TEL: 317.392.5131</div> <div>EMAIL: kkredit@cityofshelbyvillein.com</div> <div>Released via TRC Form</div>	<div>X</div> <div>DERRICK BYERS</div> <div>MS4 OPERATOR</div> <div>44 W Washington St</div> <div>Shelbyville, IN 47201</div> <div>TEL: 317.392.5102</div> <div>EMAIL: dbyers@cityofshelbyvillein.com</div> <div>Released via TRC Form</div>	<div>X</div> <div>TOM DAVIS</div> <div>COMCAST</div> <div>1470 Jackson Street</div> <div>Columbus, IN 47201</div> <div>TEL: 812.799.0915 EXT. 3108</div> <div>EMAIL: Thomas_davis3@cable.comcast.com</div> <div>Released via TRC Form</div>
<div>X</div> <div>JOHN KUNTZ, PE</div> <div>CITY ENGINEER</div> <div>44 W Washington St.</div> <div>Shelbyville, IN 46176</div> <div>TEL: 317.392.5102</div> <div>EMAIL: jkuntz@cityofshelbyvillein.com</div> <div>Released via TRC Form</div>	<div>X</div> <div>BRETT HOPKINS</div> <div>SHELBYVILLE FIRE DEPARTMENT</div> <div>40 West Broadway St.</div> <div>Shelbyville, IN 46176</div> <div>TEL: 317-699-0179</div> <div>EMAIL: bhopkins@cityofshelbyvillein.com</div> <div>Released via TRC Form</div>	<div>X</div> <div>DEWAYNE HAMILTON</div> <div>FIBER OPTIC-CENTURYLINK</div> <div>TEL: 317.966.3356</div> <div>EMAIL: dewayne.hamilton@level3.com</div> <div>Released via TRC Form</div>
<div>X</div> <div>TROY BISHOP</div> <div>AT&T</div> <div>420 East 7th Street</div> <div>Columbus, IN 47201</div> <div>TEL: 812.376.2887</div> <div>EMAIL: tb2932@att.com</div> <div>Released via TRC Form</div>	<div>X</div> <div>LUKE LAUGLE</div> <div>DUKE ENERGY</div> <div>2910 East State Road 44</div> <div>Shelbyville, IN 46176</div> <div>TEL: 317.396.5345</div> <div>EMAIL: luke.laugle@duke-energy.com</div> <div>Released via TRC Form</div>	<div>X</div> <div>CHRIS CHASTAIN</div> <div>RUSH/SHELBY ENERGY</div> <div>2777 S 840 W PO Box 55</div> <div>Manilla, IN 46150</div> <div>TEL: 765.544.2800</div> <div>EMAIL: cchastain@rse.coop</div> <div>Released via TRC Form</div>
<div>X</div> <div>SANDRA CASEY/MOSTAFA KHALLAD</div> <div>VECTREN</div> <div>600 Industrial Dr.</div> <div>Franklin, IN 46131</div> <div>TEL: 317.736.2965</div> <div>EMAIL: sandra.casey@centerpointenergy.com</div> <div>Released via TRC Form</div>		

PREPARED BY:



SPACE and SITES, LLC

ENGINEERING, BUILDING DESIGN

6 East Taylor St. Shelbyville, IN 46176

PH 317.392.4444 FAX 317.392.0709

www.spaceandsites.com

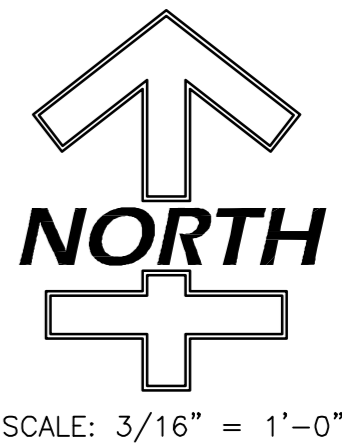
e-mail: spaceandsites@sbcglobal.net

GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE CITY, COUNTY, AND STATE AGENCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY UTILITY CONFLICTS ARE DISCOVERED OR IF UTILITY LOCATIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH CITY AND ALL RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION.

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
	COVER
C100	EXISTING SITE/UTILITY PLAN
C101	PROPOSED SITE/UTILITY PLAN
G100	LIFE SAFETY PLAN
S100	PROPOSED FOUNDATION PLAN
S101	PROPOSED FOUNDATION DETAILS
A100	PROPOSED FLOOR PLAN
A200	PROPOSED EXTERIOR ELEVATIONS
A201	PROPOSED EXTERIOR ELEVATIONS
M100	PROPOSED MECHANICAL PLAN
E100	PROPOSED ELECTRICAL/LIGHTING PLAN

REVISIONS		
SHEET NO.	DATE	DESCRIPTION
-	-	-



Also granting the perpetual right-of-way for a foot walk over a strip of ground 2 feet in width immediately adjoining the above described tract on the west, it being the intention to keep and maintain an open alley or foot way 4 feet in width off the West side of the above described tract and off the entire East side of the tract formerly owned by Mary Hugel but conveyed by her to William B. Dunn and wife, being 2 feet of each side and for the mutual benefit and use of both properties.

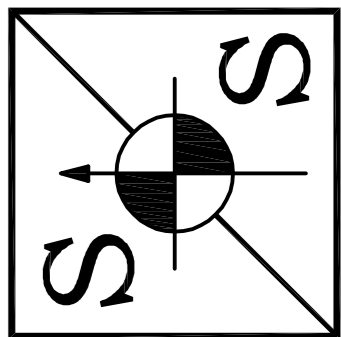


GENERAL NOTES:

1. ALL CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PER THEIR WORK.
2. ALL CONTRACTORS ARE TO CLEAN UP JOB SITE PER THEIR WORK.
3. ALL CONTRACTORS ARE TO VERIFY ALL APPLICABLE LOCAL CODES OR ORDINANCES PER THEIR WORK.
4. VERIFY OWNERS ANY CHANGES REQUIRED BY THESE GENERAL NOTES.
5. OWNER SHALL APPROVE ALL SHOP DRAWINGS REQUIRED OF THIS PROJECT.
6. ALL INTERIOR FINISHES AND MATERIALS SELECTED BY OWNER AND BUILDER.
7. ALL ELECTRICAL AND HVAC LOCATIONS TO BE CERTIFIED BY OWNER AND BUILDER.
8. ALL TRUSSES AND LAMINATED BEAMS TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
9. ALL STEEL TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
10. WINDOW SELECTION BY OWNER AND BUILDER (SIZE AND TYPE).
11. PROVIDE SMOKE DETECTORS AND FIRE EXTINGUISHERS AS REQUIRED BY STATE AND LOCAL CODES.
12. DOOR SELECTION BY OWNER AND BUILDER (SIZE AND TYPE).

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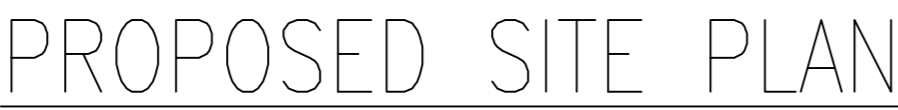
DATE	REVISION	SYMBOL	CHECKED
		TN	
		CERT.	
		-	
		SCALE	
		3/16"=1'	
		DRAWN	
		RC	

SHEET NAME	EXISTING SITE PLAN
PROJECT NAME	JUST PEACHY CAFE 52 E. WASHINGTON ST. SHELBYVILLE, IN 46176

PROJECT NO.: 202244

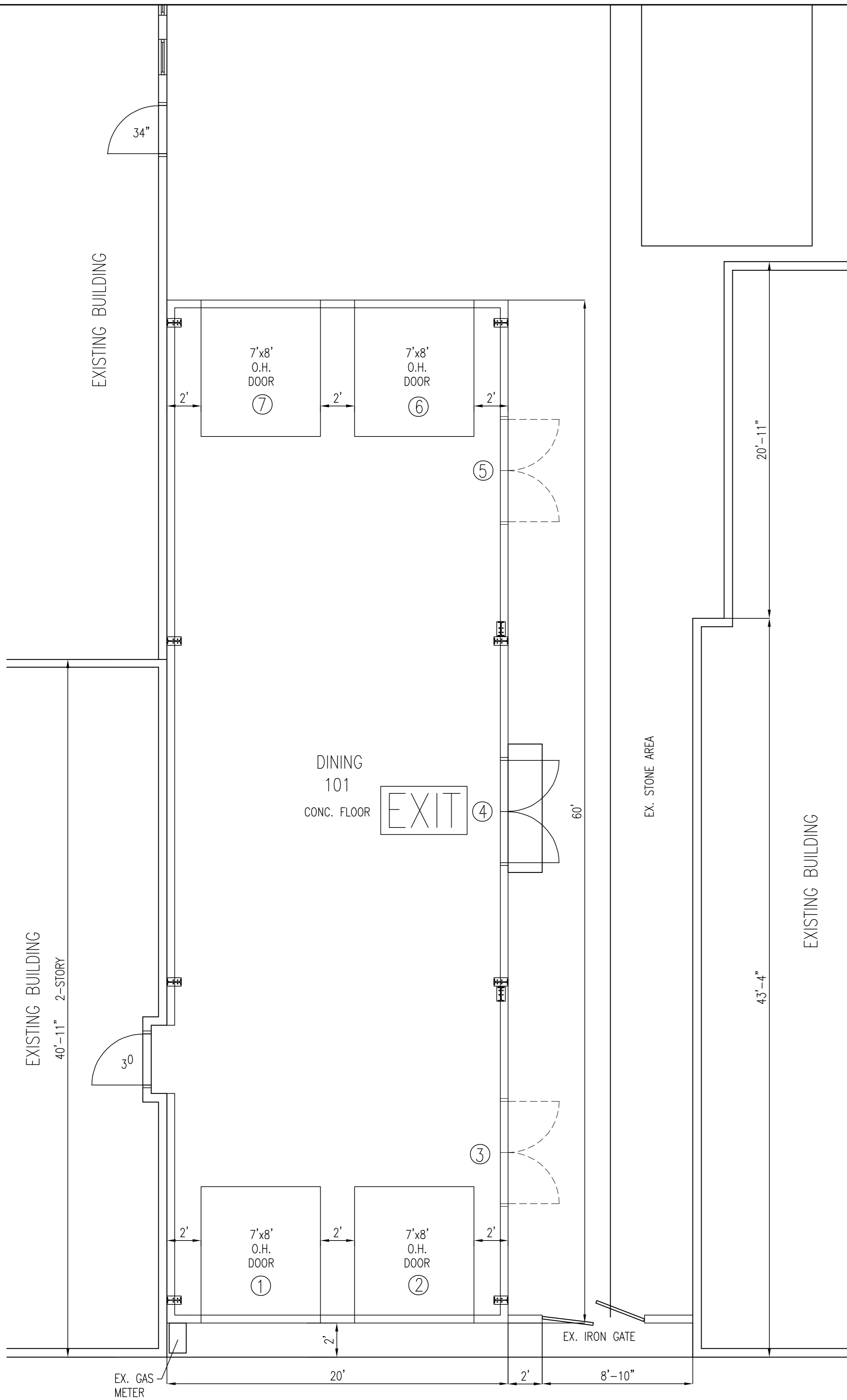
SHEET NO.

C100



- GENERAL NOTES:
1. ALL CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PER THEIR WORK.
 2. ALL CONTRACTORS ARE TO CLEAN UP JOB SITE PER THEIR WORK.
 3. ALL CONTRACTORS ARE TO VERIFY ALL APPLICABLE LOCAL CODES OR ORDINANCES PER THEIR WORK.
 4. NOTIFY OWNER OF ANY CHANGES REQUIRED BY THESE GENERAL NOTES.
 5. OWNER SHALL APPROVE ALL SHOP DRAWINGS REQUIRED OF THIS PROJECT.
 6. ALL INTERIOR FINISHES AND MATERIALS SELECTED BY OWNER AND BUILDER.
 7. ALL ELECTRICAL AND HVAC LOCATIONS TO BE CERTIFIED BY OWNER AND BUILDER.
 8. ALL TRUSSES AND LAMINATED BEAMS TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
 9. ALL STEEL TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
 10. WINDOW SELECTION BY OWNER AND BUILDER (SIZE AND TYPE).
 11. PROVIDE SMOKE DETECTORS AND FIRE EXTINGUISHERS AS REQUIRED BY STATE AND LOCAL CODES.
 12. DOOR SELECTION BY OWNER AND BUILDER (SIZE AND TYPE).

<div> <div>C101</div> <div>SHEET NO.</div> </div> <div>PROJECT NO.: 202244</div> <div>DATE: JAN. 13, 2023</div>	<div> <div>PROPOSED SITE PLAN</div> <div> <div>PROJECT NAME</div> <div> JUST PEACHY CAFE 52 E. WASHINGTON ST. SHELBYVILLE, IN 46176 </div> </div> </div>	<div> <div>CERT.</div> <div>SCALE</div> <div>3/16"=1'</div> <div>DRAWN</div> <div>RC</div> </div>	<div>CHECKED</div> <div>TN</div>	<div>SYMBOL</div>	<div>REVISION</div>	<div>DATE</div>
			<div>SEAL</div>			



PROPOSED FLOOR PLAN

INDIANA BUILDING CODE:	2014 EDITION INDIANA
PLUMBING CODE:	2012 EDITION INDIANA
ELECTRICAL CODE:	2009 EDITION INDIANA
MECHANICAL CODE:	2014 EDITION INDIANA
ENERGY CONSERVATION CODE:	2010 ASHRAE 90.1, 2007 EDITION, AS AMENDED

CODE ANALYSIS

TENANT SPACE USE: DINING ONLY

OCCUPANCY TYPE: B,

CONSTRUCTION TYPE: V-A,

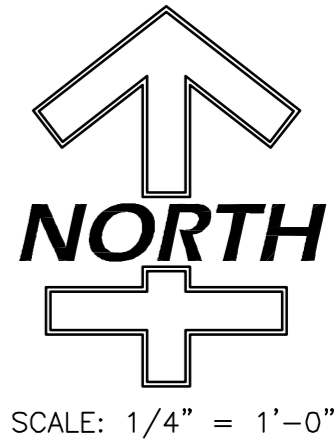
BUILDING AREA: DINING=1,200 S.F.,

FIRE SUPPRESSION SYSTEM: N/A,

REQUIRED EXITS AND EXITS PROVIDED:
1 REQUIRED, 1 PROVIDED

BUILDING OCCUPANT LOAD:
DINING: (1,200 S.F.) 15 GROSS PER S.F. = 80 OCCUPANTS
TOTAL OCCUPANTS = 80 OCCUPANTS

PLUMBING FIXTURES:
ALL FIXTURES ARE EXISTING IN ADJACENT RESTAURANT.



SPACE and SITES, LLC

BUILDING DESIGN, PLANNING

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www.spaceandsites.com

e-mail: spaceandsites@sbcglobal.net

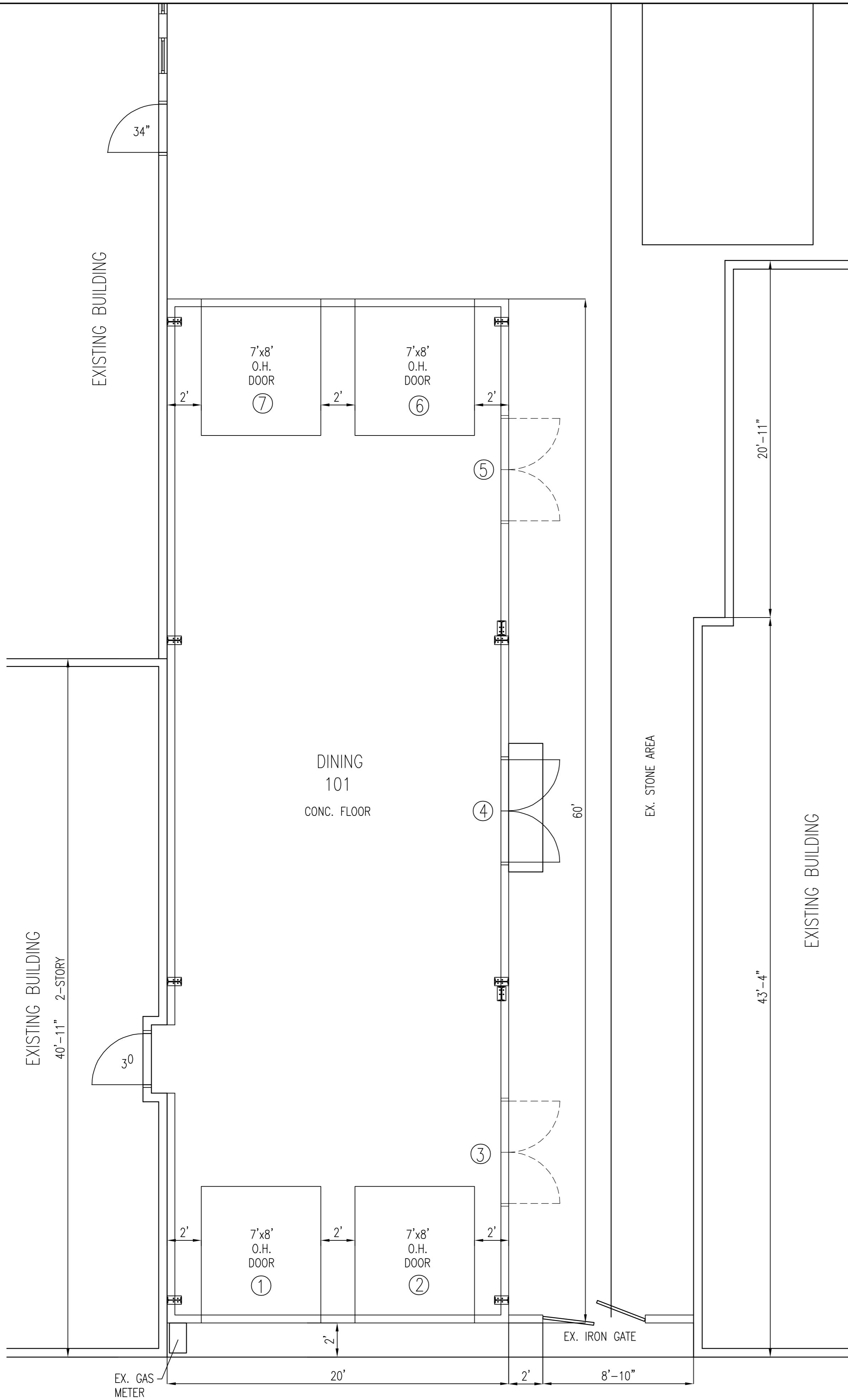
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SHEET NAME	LIFE SAFETY PLAN
PROJECT NAME	JUST PEACHY CAPE 52 E. WASHINGTON ST. SHELBYVILLE, IN 46176

DATE: JAN. 13, 2023
PROJECT NO.: 202244
SHEET NO. G100

- GENERAL NOTES:
1. ALL CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PER THEIR WORK.
 2. ALL CONTRACTORS ARE TO CLEAN UP JOB SITE PER THEIR WORK.
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 5. OWNER SHALL APPROVE ALL SHOP DRAWINGS REQUIRED OF THIS PROJECT.
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 9. ALL STEEL TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
 10. WINDOW SELECTION BY OWNER AND BUILDER.
 11. PROVIDE SMOKE DETECTORS AND FIRE EXTINGUISHERS AS REQUIRED BY STATE AND LOCAL CODES.
 12. DOOR SELECTION BY OWNER AND BUILDER (SIZE AND TYPE).



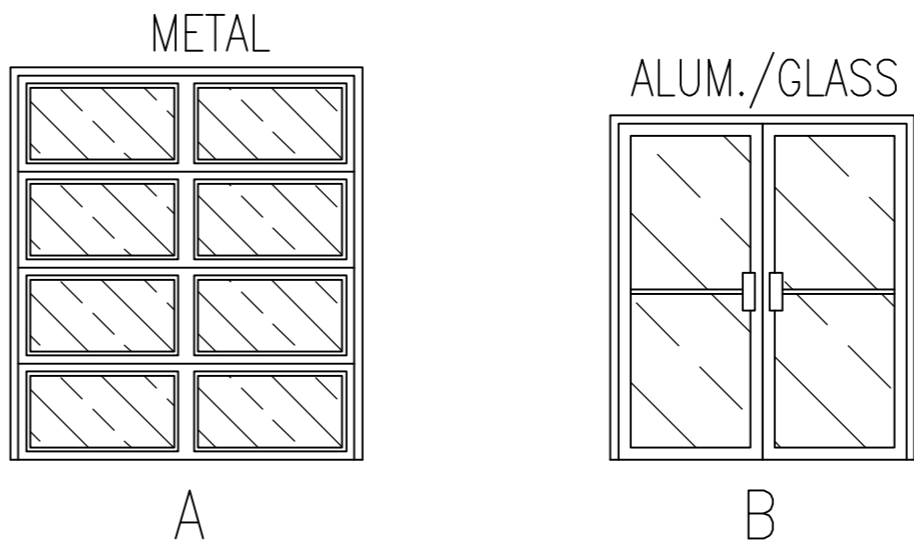


PROPOSED FLOOR PLAN

ROOM FINISH SCHEDULE					
#	ROOM	WALL	FLOOR	CEILING	Ht.
101	DINING	DRYWALL/PAINT	CONCRETE	DRYWALL/PAINT	8'

DOOR SCHEDULE					
#	SIZE	TYPE	MATERIAL	REMARKS:	ELEV
1	7'x8'	OVERHEAD	METAL		A
2	7'x8'	OVERHEAD	METAL	FUTURE	A
3	6'0"x7'0"	ENTRY	ALUM./GLASS		B
4	6'0"x7'0"	ENTRY	ALUM./GLASS	w/ FIRE DOOR	B
5	6'0"x7'0"	ENTRY	ALUM./GLASS	FUTURE	B
6	7'x8'	OVERHEAD	METAL		A
7	7'x8'	OVERHEAD	METAL		A

ALL DOORS TO HAVE METAL FRAMES.
DOORS/WINDOWS NOT LABELED ARE EXISTING.



DOOR ELEVATIONS



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12. DOOR SELECTION BY OWNER AND BUILDER (SIZE AND TYPE).

SPACE and SITES, LLC

BUILDING DESIGN, PLANNING
6 East Taylor St. Shelbyville, IN 46176
PH 317.392.4444 FAX 317.392.0709
www.spaceandsites.com
e-mail: spaceandsites@sbcglobal.net

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SHEET NAME

PROPOSED FLOOR PLAN

PROJECT NAME

JUST PEACHY CAPE
52 E. WASHINGTON ST.
SHELBYVILLE, IN 46176

DATE: JAN. 13, 2023

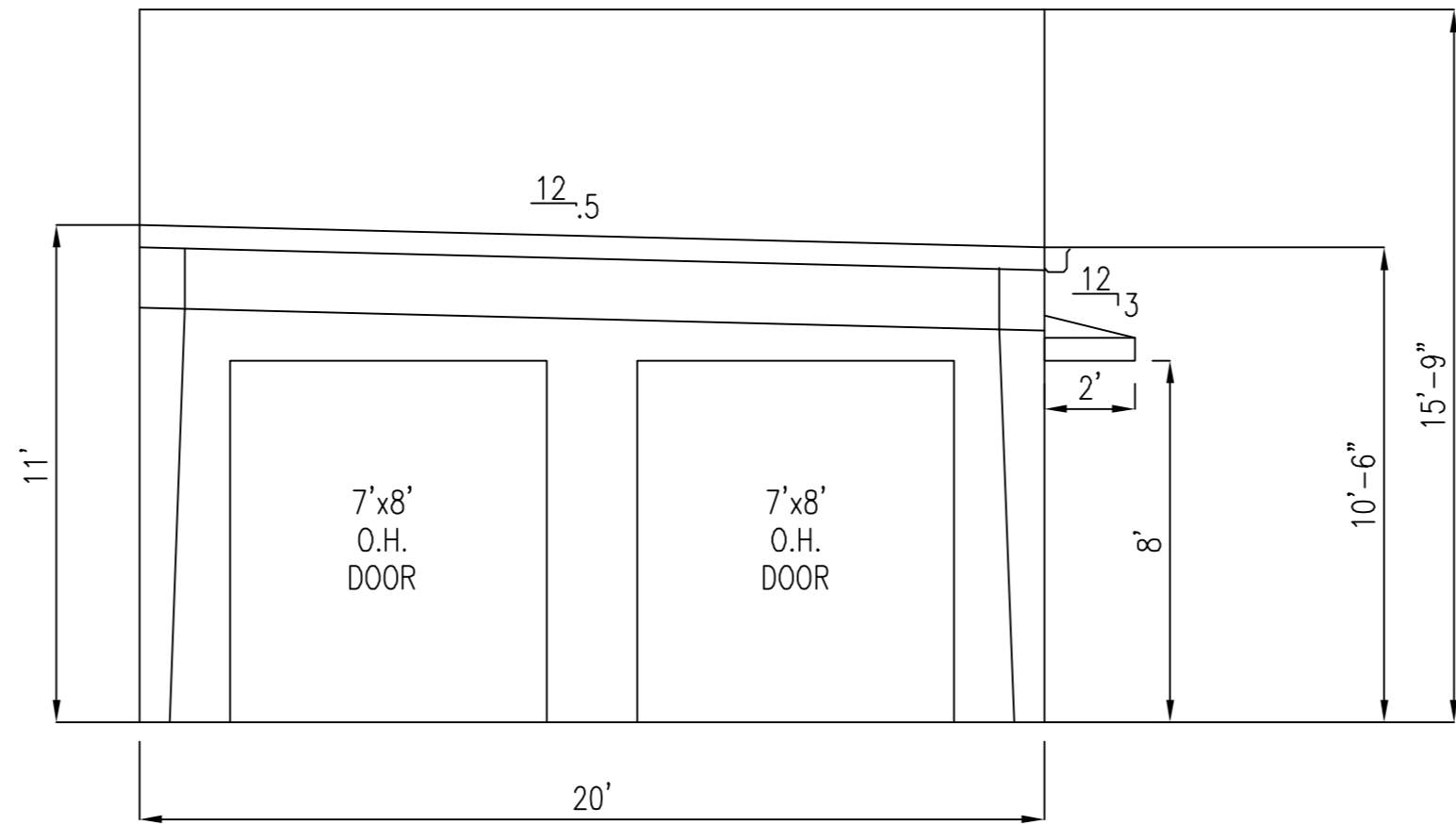
PROJECT NO.: 202244

SHEET NO.

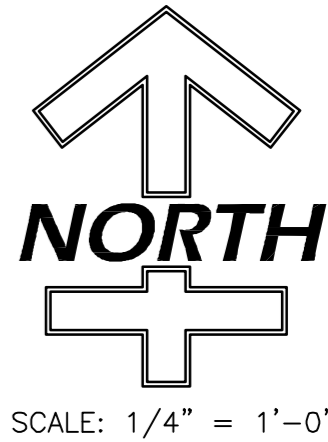
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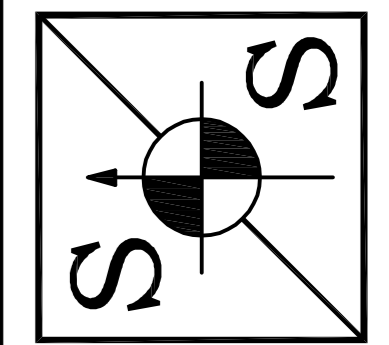
PROPOSED SOUTH ELEVATION



BLDG. SECTION



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SEAL

SHEET NAME
PROPOSED EXTERIOR ELEVATIONS

PROJECT NAME
JUST PEACHY CAPE
52 E. WASHINGTON ST.
SHELBYVILLE, IN 46176

DATE: JAN. 13, 2023

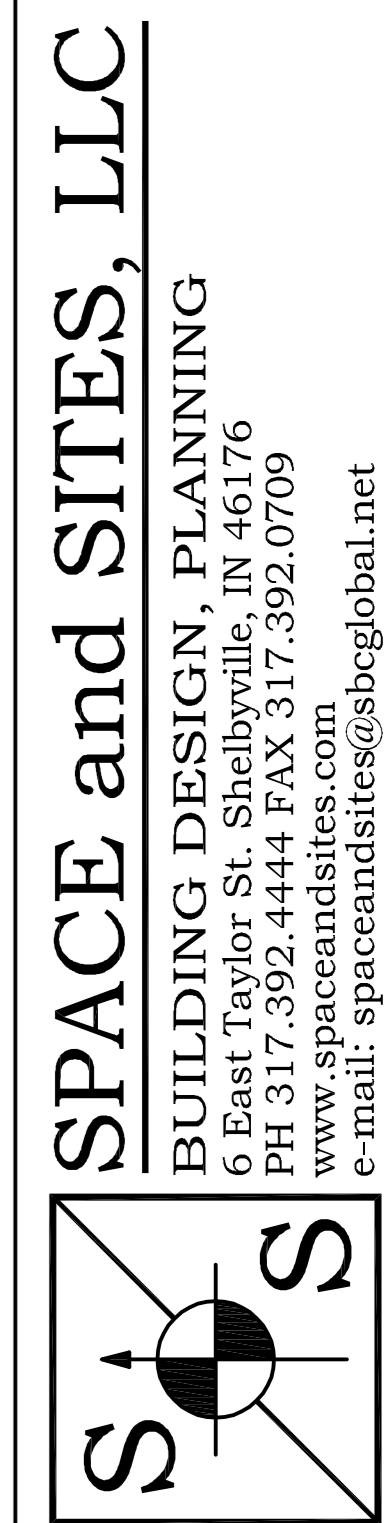
PROJECT NO.: 202244

SHEET NO.

A200



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 12. DOOR SELECTION BY OWNER AND BUILDER (SIZE AND TYPE).



GENERAL NOTES:

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2. ALL CONTRACTORS ARE TO CLEAN UP JOB SITE AFTER THEIR WORK.
3. ALL CONTRACTORS ARE TO VERIFY ALL APPLICABLE LOCAL CODES OR ORDINANCES PER THEIR WORK.
4. NOTIFY OWNER OF ANY CHANGES REQUIRED PER THESE GENERAL NOTES.
5. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
6. ALL INTERIOR FINISHES AND MATERIALS SELECTED BY OWNER AND BUILDER.
7. ALL ELECTRICAL AND HVAC LOCATIONS BY OWNER AND BUILDER.
8. ALL TRUSSES AND LAMINATED BEAMS TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
9. ALL STEEL TO BE CERTIFIED BY MANUFACTURER/SUPPLIER.
10. WINDOW SELECTION BY OWNER AND BUILDER.
11. SMOKE DETECTORS AND SPRINKLERS AS REQUIRED BY STATE AND LOCAL CODES.
12. DOOR SELECTION BY OWNER AND BUILDER (SIZE AND TYPE).

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SHEET NAME
PROPOSED EXTERIOR ELEVATIONS

PROJECT NAME

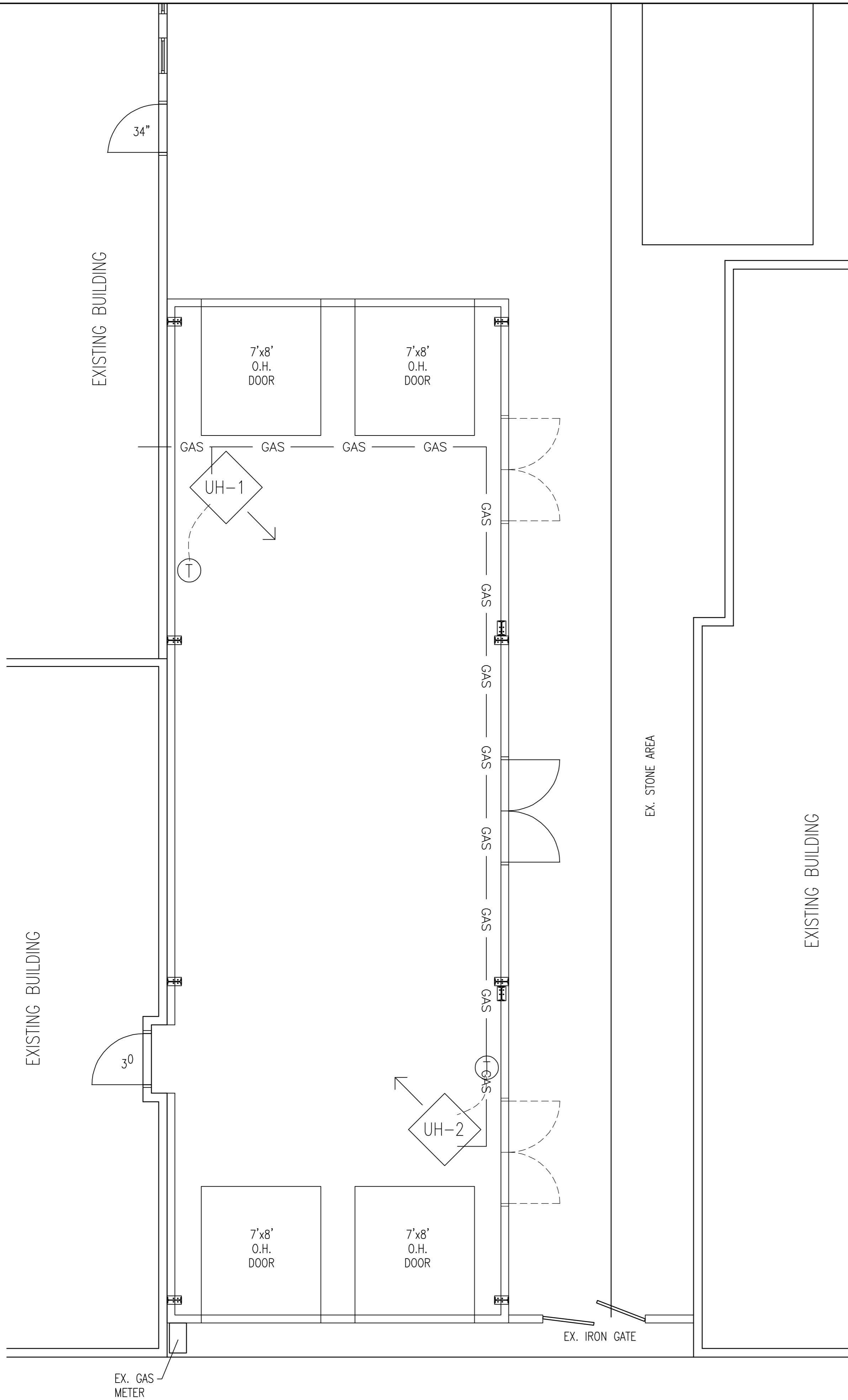
JUST PEACHY CAFE
52 E. WASHINGTON ST.
SHELBYVILLE, IN 46176

DATE: JAN. 13. 2023

PROJECT NO.: 202244

SHEET NO.

A201



PROPOSED MECHANICAL PLAN

MECHANICAL PLAN NOTES

1. COORDINATE ALL WORK WITH OTHER TRADES AS REQUIRED.
2. EQUIPMENT, PIPING, AND DUCTWORK LAYOUTS ARE SCHEMATIC IN NATURE. CONTRACTOR MUST ADJUST TO FIELD CONDITIONS AND COORDINATE WITH OTHER TRADES DURING CONSTRUCTION BY ADDING OFFSETS AND ELBOWS WHERE REQUIRED.
3. PRIOR TO INSTALLATION, THE ENGINEER MUST APPROVE ALL PROPOSED MODIFICATIONS TO DUCTWORK LAYOUT AND DESIGN.
4. ALL O.A. DUCT WORK WHERE INDICATED SHALL BE INSULATED USING R-8 FIBERGLASS DUCT WRAP WITH VAPOR SEAL.
5. DUCT SIZES LISTED ARE "FREE AREA" AND SHALL NOT BE REDUCED. INCREASE DUCT SIZES AS REQUIRED TO ACCOUNT FOR LININGS.
6. ALL MATERIALS INSTALLED ABOVE CEILING SHALL HAVE A FLAME SPREAD RATING OF NOT MORE THAN 25 AND A DEVELOPED RATING NOT EXCEEDING 30 IN ACCORDANCE WITH STATE CODES.
7. COORDINATE EXACT LOCATION OF H-1 AND H-2 WITH LIGHTING AND ARCHITECTURAL REFLECTED CEILING PLAN.
8. GENERAL CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, MATERIAL AND LABOR REQUIRED FOR CORE DRILLING AS REQUIRED FOR INSTALLATION OF PIPING PENETRATING BUILDING CONSTRUCTION.
9. REFERENCE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, TYPICAL.
10. CONTRACTOR TO PROVIDE ALL FIRE DAMPERS FOR DUCTWORK AND FIRE CAULKING FOR PIPING THAT PENETRATES ALL FIRE RATED WALLS, CEILINGS AND FLOORS.
11. VENTILATION FANS GREATER THAN .75HP ARE TO BE EQUIPPED WITH AUTOMATIC SHUT-OFF CONTROLS WHEN NOT IN USE.
12. VAV, HVAC PUMPING SYSTEMS, EXHAUST AIR RECOVERY AND RADIANT HEAT IS NOT REQUIRED ON THIS PROJECT.

HVAC ROOF AND GAS PIPING NOTES

COORDINATE FINAL LOCATION OF L.P. REGULATOR (WHERE NEW) WITH DESIGNER OF RECORD.
GAS PIPING TO BE BLACK STEEL, SCHEDULE 40, SEAMLESS, THREADED OR WELDED, COMPLYING WITH NFPA 54 AND THE GAS PIPING AND TUBING MATERIAL MATRIX.
PIPING SHALL BE SUSPENDED AND SUPPORTED AT 10'-0" INTERVALS, AT ELBOWS, AND AT CHANGES OF ELEVATION.
NATURAL GAS PIPING PRESSURE IS DESIGNED FOR ELEVATED 111 W.C.
PROVIDE SHUT OFF VALVES PRIOR TO UNIONS AT EACH PIECE OF EQUIPMENT.
EXTEND L.P. GAS PIPING TO THE EXISTING 1/4" DIAMETER SCHEDULE 40 BLACK STEEL LINE AS INDICATED ON PLAN.
NATURAL GAS TESTING REQUIREMENTS:
THE NATURAL GAS SUPPLY SYSTEM SHALL BE TESTED WITH COMPRESSED AIR, NITROGEN OR AN INERT GAS TO NO LESS THAN 10 P.S.I. GAUGE PRESSURE AND TO BE MONITORED WITH A PRESSURE GAUGE WITH A MAXIMUM 30 P.S.I. RANGE WITH MAXIMUM 1 P.S.I. INCREMENTS. THE TEST SHALL BE A MINIMUM OF 15 MINUTES IN DURATION WITH NO REDUCTION OR LOSS IN PRESSURE.

MECHANICAL LEGEND:

- UH-# UNIT-
REZNOR UBX75
75,000 BTUH, SPARK IGNITION, 12V
- T THERMOSTAT
- GAS — 1" GAS LINE, CONNECT TO EXISTING



SPACE and SITES, LLC

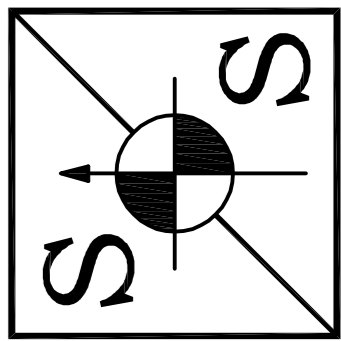
BUILDING DESIGN, PLANNING

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SHEET NAME
PROPOSED MECHANICAL PLAN

PROJECT NAME
JUST PEACHY CAPE
52 E. WASHINGTON ST.
SHELBYVILLE, IN 46176

DATE: JAN. 13, 2023

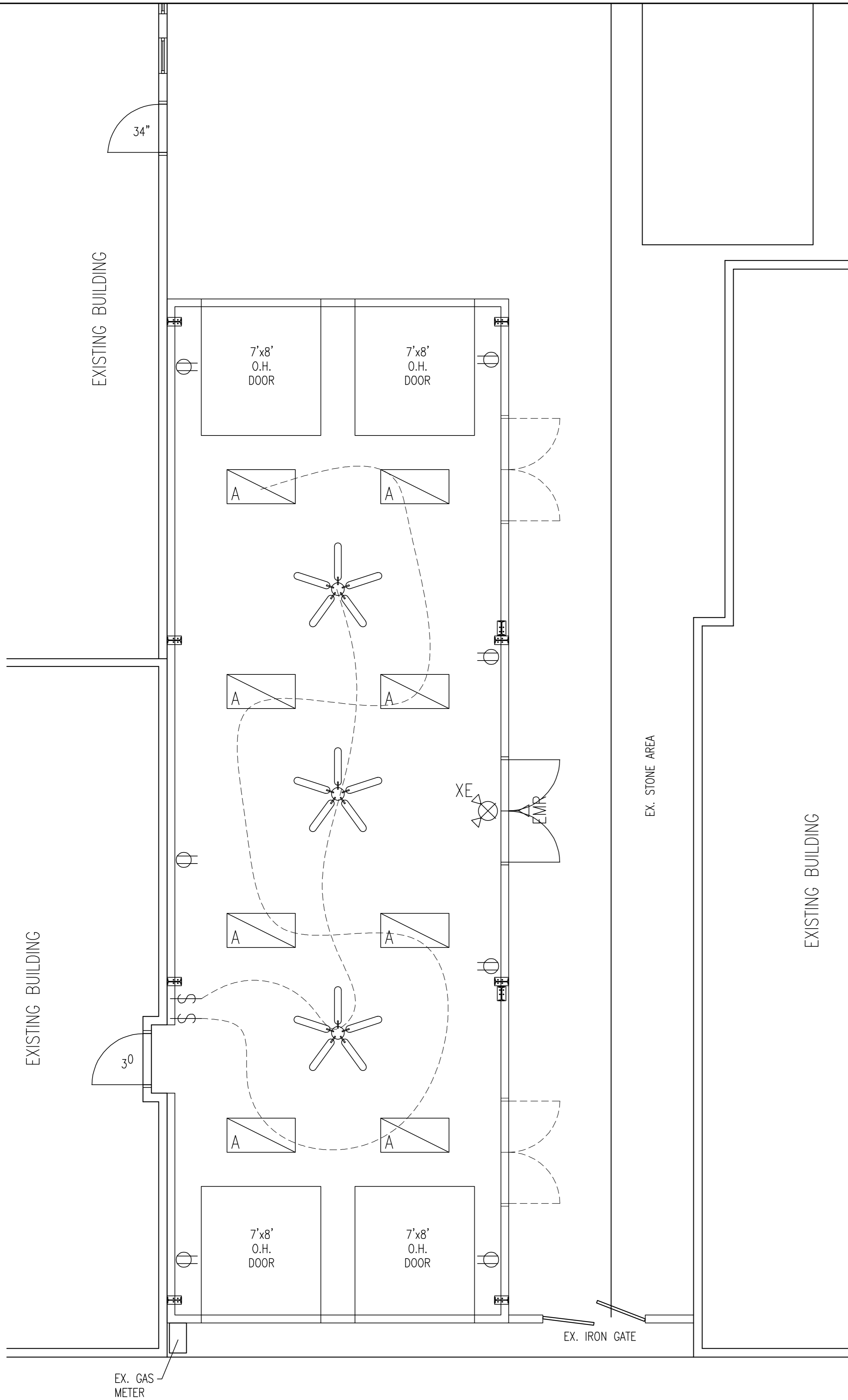
PROJECT NO.: 202244

SHEET NO.

M100



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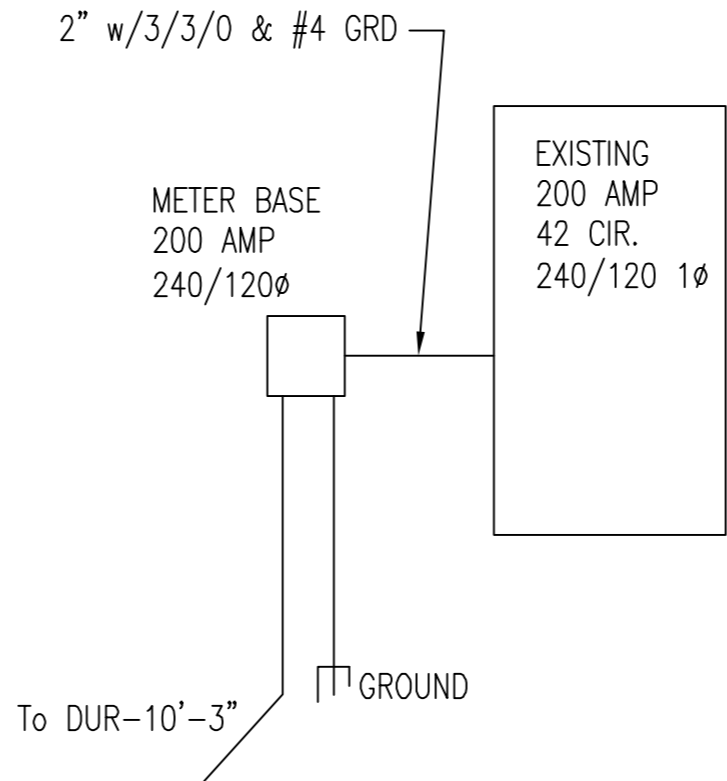


PROPOSED ELECTRIC/LIGHTING PLAN

- ### GENERAL NOTES
- APPLY TO ALL ELECTRICAL SHEETS
- ALL MATERIAL AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE CODES, SPECIFICATIONS, LOCAL ORDINANCES AND INDUSTRY STANDARDS.
 - NATIONAL ELECTRICAL CODE <NEC> AND INDUSTRY INSTALLATION STANDARDS SHALL BE CONSIDERED MINIMUM STANDARDS.
 - ALL CONDUITS AND BOXES SHALL BE PROPERLY SUPPORTED.
 - ALL GRS OR IMC CONDUITS ENTERING BOXES OR ENCLOSURES WITHOUT HUBS SHALL BE EQUIPPED WITH BUSHINGS AND SHALL HAVE LOCKNUTS INSIDE AND OUT OF ENCLOSURE.
 - ALL NECESSARY HANGERS AND/OR MOUNTING ACCESSORIES FOR LIGHTING FIXTURES SHALL BE SUPPLIED BY E.C.
 - VERIFY ALL DIMENSIONS FROM ARCHITECTURAL PLANS.
 - DIMENSIONS SHOWN ON OUTLET BOXES SHALL BE FROM THE FINISHED FLOOR TO THE CENTER OF THE BOX.
 - COORDINATE LOCATION OF LIGHTS IN ROOMS CONTAINING EXPOSED DUCTWORK AND PIPING BY OTHER TRADES.
 - VERIFY ELECTRICAL CHARACTERISTICS AND ROUGH-IN REQUIREMENTS FOR ALL EQUIPMENT FURNISHED BY OTHERS AND CONNECTED BY E.C.
 - COORDINATE LOCATION OF MOTOR STARTERS, DISCONNECTS, PANELBOARDS, ETC. IN ROOMS CONTAINING EXPOSED DUCTWORK AND PIPING BY OTHER TRADES.
 - VERIFY HEIGHT AND LOCATION OF OUTLETS BEHIND WATER COOLERS WITH OTHER TRADES, SO THAT OUTLETS ARE CONCEALED.
 - REFER TO ARCHITECTURAL PLANS FOR DETAILS AND NOTES CONCERNING ITEMS INVOLVING ELECTRICAL WORK.
 - REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR CEILING TYPES AND FIXTURE LOCATIONS. ANY CONFLICTS BETWEEN ELECTRICAL PLANS AND REFLECTED CEILING PLANS SHALL BE REPORTED AND RESOLVED PRIOR TO ROUGH-IN.
 - REFER TO ARCHITECTURAL PLANS FOR FINAL DOOR SWING AND LIGHT SWITCH LOCATIONS. ANY CONFLICT BETWEEN ELECTRICAL PLANS AND ARCHITECTURAL PLANS SHALL BE REPORTED AND RESOLVED PRIOR TO ROUGH-IN.
 - REFER TO ARCHITECTURAL PLANS FOR ELEVATIONS OF CASEWORK AND/OR BUILT-IN SHELVING UNITS TO COORDINATE OUTLET ELEVATIONS. ANY CONFLICT BETWEEN ELECTRICAL PLANS AND ARCHITECTURAL PLANS SHALL BE REPORTED AND RESOLVED PRIOR TO ROUGH-IN.
 - ALL FEEDERS AND BRANCH CIRCUITS RAN UNDERGROUND IN PVC CONDUIT SHALL INCLUDE A GROUND CONDUCTOR.
 - ALL DISCONNECT SWITCHES LOCATED OUTDOORS SHALL BE NEMA 3R (U.N.O.)
 - ALL DISCONNECT SWITCHES LOCATED INDOORS SHALL BE NEMA 1 (U.N.O.)
 - NO SHARED NEUTRALS ALLOWED, ALL 120V OVER 110 FT. SHALL BE #10.

LEGEND

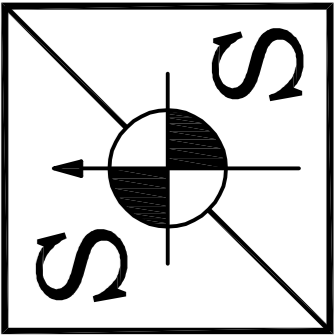
- § SINGLE POLE SWITCH
- ⊕ DUPLEX RECEPTACLE
- XE EXIT LIGHT W/BATTERY BACK UP
W/EMERGENCY HEADS AND REMOTE CAPABILITY
- EMR SINGLE WEATHERPROOF REMOTE HEAD
POWERED BY EXIT EMERGENCY
- A LITHONIA LIGHTING, EPANL 24, 40L 40K LED,
w/FLAT PANELS
- CEILING FAN



EXISTING RISER DIAGRAM



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SHEET NAME	PROJECT NAME
PROPOSED ELECTRIC/LIGHTING PLAN	JUST PEACHY CAPE 52 E. WASHINGTON ST. SHELBYVILLE, IN 46176

DATE: JAN. 13, 2023
PROJECT NO.: 202244
SHEET NO. E100

- GENERAL NOTES:
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SITE DEVELOPMENT PLAN APPLICATION

Shelbyville Planning & Building Department
44 West Washington Street
Shelbyville, IN 46176
P: 317.392.5102

For Office Use Only:

Case #: PC 2023 - 04

Hearing Date: 03.27.23

Fees Paid: \$ 835.00

Final Decision:

Approved

Denied

1.

Applicant

Name: CHARITY ELLIOTT
Address: 52 E. WASHINGTON ST
SHELBYVILLE, IN 46176
Phone Number: 317-825-0669
Fax Number: _____
Email: JUSTPEACHYCAFE1N@gmail.com

Property Owners Information (if different than Applicant)

Name: _____
Address: SAME
Phone Number: _____
Fax Number: _____
Email: _____

2.

Applicant's Attorney/Representative

Name: SPACE & SITES LLC
Address: 6 E TAYLOR ST
SHELBYVILLE
Phone Number: 317-392-4444
Fax Number: N/A
Email: SPACE AND SITES @ SBC
GLOBAL.NET

Project Engineer

Name: SPACE AND SITES LLC
Address: SAME
Phone Number: _____
Fax Number: _____
Email: _____

3. Project Information:

General Location of Property (and address is applicable): 52 E. WASHINGTON ST CITY

Current Zoning: _____ Existing Use of Property: _____

Proposed Zoning: _____ Proposed Use: _____

4. Attachments

- | | |
|---|---|
| <input type="checkbox"/> Affidavit and Consent of Property Owner (if applicable) | <input type="checkbox"/> Lighting Plan |
| <input checked="" type="checkbox"/> Proof of Ownership (copy of deed, recent property card) | <input type="checkbox"/> Landscaping Plan |
| <input checked="" type="checkbox"/> Letter of Intent | <input type="checkbox"/> Drainage Plan and Report |
| <input checked="" type="checkbox"/> Civil Plans as prescribed in UDO 9.05 | <input type="checkbox"/> Dimensioned Site Plan |
| <input checked="" type="checkbox"/> Vicinity Map | <input checked="" type="checkbox"/> Filling Fee |

The undersigned states the above information is true and correct as s/he is informed and believes.

Applicant: Charity Elliott Date: 3-6-23

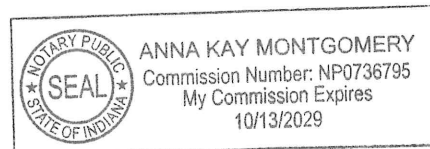
State of Indiana
County of Shelby SS:

Subscribed and sworn to before me this 6 day of March, 2023.

Anna Kay Montgomery
Notary Public Printed

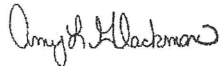
Residing in Shelby County.

My Commission Expires: 10/13/2029



ENTER FOR TAXATION

Nov 02, 2021


SHELBY COUNTY AUDITOR

2021008049 QCD \$25.00
11/2/2021 9:06:44 AM 3 PGS
Tawnya J Williams
SHELBY County Recorder IN
Recorded as Presented



QUITCLAIM DEED

PARCEL #73-11-05-100-279.000-002

~~DICKMAN~~

WITNESSETH, That ~~Lori Dickman~~ Grantor (s) of Shelby County in the State of Indiana, Quit-Claims to **Just Peachy Cafe, LLC, An Indiana Limited Liability Company**, Grantee (s) of Shelby County, in the State of Indiana, for the sum of ZERO Dollars and NO/100 (\$0.00), the receipt of which is hereby acknowledged, the following described real estate in Shelby County, Indiana.

Commonly known as: 52 & 54 E. Washington St. Shelbyville, IN 46176

Beginning at a point seventy-two (72) feet West of the Southeast corner of lot number thirteen (13) on Washington Street in the original town (now city) of Shelbyville and running thence West twenty-four (24) feet to the East line of the Glabb lot; thence North, ninety-nine (99) feet; thence East twenty-four (24) feet; thence South ninety-nine (99) feet to the Place of Beginning, subject to a right of way for a foot walk over a strip of ground two (2) feet wide off the entire East side of said described premises heretofore granted to Charles Forster by Charles Hogle and wife and also as appurtenant to said described premises the right of way over a strip of ground two (2) feet wide adjoining the said premises on the East heretofore reserved in a deed made by Charles Hogle and wife to said Charles Forster.

Beginning at a point 48 feet West of the Southeast corner of Lot 13 on the North side of Washington Street in the Original Town, now City of Shelbyville and running thence North 99 feet; thence West 24 feet; thence South 99 feet to the North side of Washington Street; thence East on Washington Street to the Place of Beginning.

Subject to a right-of-way of a foot walk over a strip of ground 2 feet wide off of the entire West side of the above described parcel of land reserved by a certain deed from one Mary Hogle and husband to Charles Forster.

Also granting the perpetual right-of-way for a foot walk over a strip of ground 2 feet in width immediately adjoining the above described tract on the west, it being the intention to keep and maintain an open alley or foot way 4 feet in width off the West side of the above described tract and off the entire East side of the tract formerly owned by Mary Hogle but conveyed by her to William B. Dunn and wife, being 2 feet of each side and for the mutual benefit and use of both properties.

LETTER OF INTENT:

The purpose of this addition is for additional seating for customers. The addition may add up to 49 for seating area. There are (2) glass overhead doors on the ends of the building that may be opened in good weather conditions. Also, included on the East sides are (3) glass passage doors for exits.