

# CITY OF SHELBYVILLE

Adam M Rude  
Director



Allan Henderson  
Deputy Director

## PLAN COMMISSION

MEETING DATE: 07/24/2023

<b>Case Number &amp; Name:</b>	PC 2023-15; Early Learning Center; SDP			
<b>Petitioner's Name:</b>	Runnebohm Construction, Inc			
<b>Owner's Name:</b>	Major Health Partners			
<b>Petitioner's Representative:</b>	Andrew Swanson, JPS Consulting Engineers			
<b>Address of Property:</b>	2400 Intelliplex Drive, Shelbyville, IN			
<b>Subject Property Zoning Classification:</b>	PD - Planned Development			
<b>Comprehensive Future Land use:</b>	Single Family Residential			
	<b>North</b>	<b>East</b>	<b>South</b>	<b>West</b>
<b>Surrounding Properties' Zoning Classifications:</b>	PD - Planned Development	RM – Multiple-family Residential & R1 – Single Family Residential	PD - Planned Development	PD - Planned Development
<b>Surrounding Properties' Future Land Use</b>	Single Family Residential	Single Family Residential	High-Tech/Light Industrial	High-Tech/ Light Industrial
<b>History:</b>	The site is part of the 142-acre Intelliplex Planned Unit Development created in 2003 to be a mix of medical, life sciences, business, and neighborhood services. The Julia and Nicholas Runnebohm Early Learning Center will utilize 3.6 acres of Intelliplex.			
<b>Vicinity Map:</b>				
<b>Action Requested:</b>	A request for Site Development Plan approval for the construction of a daycare and education center.			

**Facts of the Case:**

- The petitioner is proposing to construct a 25,000 square foot facility on 3.6 acres. The facility will provide early learning opportunities to children from infant to Pre-K. The facility will accommodate up to approximately 200 children when at full capacity. Each age group will have up to (4) four classrooms and a dedicated playground/outdoor learning environment.
- The Intelliplex Architectural Review Committee has reviewed the plans and granted approval of building elevations and architectural materials.
- The facility will be constructed in (2) two phases.

1. The Zoning Ordinance (Section 9.05 (F) (5)) requires the Plan Commission make Findings of Fact that the Site Development Plan:

**a. Is consistent with the City of Shelbyville Comprehensive Plan:**

The planning staff has determined the subject petition is consistent with the goals of the Comprehensive Plan. A focus of the Comprehensive Plan is:

*Community and Society*

Objective 4: Invest in Improving Our Quality of Life

Action 1: Identify quality of life elements within the CIP plan.

*Built Environment*

Objective 2: Guide Healthy development Patterns Using the Future Land Use Map

Action 3: Target mixed-use flexibility for gateway development.

*Commerce and Economy*

Objective 5: Support Local Business Retention and Creation.

Action 2: Continue marketing Intelliplex as a small business incubator hub to encourage businesses to develop, build and grow.

The site for this subject petition is located in the Intelliplex PUD which has been designed as a mix of medical, life sciences, business, and neighborhood services. Daycare facilities fall under the category of neighborhood/supportive services.

**b. Meets the Technical Review Committee's expectations for best practices and quality design:**

The Technical Review Committee reviewed the site development plan against their applicable standards. The petitioner has responded and addressed the Technical Review Committee's comments.

This project went to the Technical Review Committee on March 28<sup>th</sup>, 2023, where the petitioner was able to present their project and answer questions of the committee members. Since that time, the petitioner has addressed all comments and corrections identified by the committee members, aside from a few small comments from the Engineering Department in regard to drainage. In speaking with the Engineering Department, it appears that the outstanding drainage-related comments are small and mostly clarifying pieces of information about the drainage report, and their staff feels confident that approving petition can be approved contingent on their office being provided this additional information and them reviewing and approving any needed changes to the drainage report or plans. For this reason, we will be recommending a condition that the City Engineering Department review and approve revised drainage plans and reports.

**c. Satisfies the applicable requirements of Article 2: Zoning Districts:**

The planning staff has determined the subject petition is consistent with the PD – Planned Development district established for Intelliplex more particularly the GB \_ General Business district within the overall planned unit development. Based on the “Table of Permitted Land Uses” included in the Intelliplex Planned Unit Development Detailed Plan, day-care centers are permitted in the GB – General Business district. The GB – General Business district is intended to accommodate a variety of business uses generally focused on life-sciences and involving research and development, technology, light manufacturing and assembly, data processing, and professional offices.

**d. Satisfies the applicable requirements of Article 5: Development Standards:**

Planning Staff has worked with the petitioner to satisfy the standards of Article 5 of the Unified Development Ordinance.

**Architectural Standards:** Architectural Standards for projects located within Intelliplex are identified in the Intelliplex Planned Unit Development Detailed Plan. The Detailed Plan requires building materials to be a combination of brick, native stone, architectural pre-cast concrete, and/or architectural metal. The primary material for the front façade of the building is brick veneer with a limestone band. The primary materials for the rear and sides of the building are brick veneer and fiber cement lap siding. In addition, the facility is incorporating the two required design features in the roof of the building, meeting the roof requirement. The petitioner is satisfying all applicable Architectural Standards.

**Entrance and Drive Standards:** Entrance and Drive Standards are detailed in UDO 5.15 Non-residential Driveway Standards. These standards specify an access road shall be at least twenty (20) feet wide, but not exceed twelve (12) feet per lane and thirty-six (36) feet in overall width. The facility is utilizing an existing driveway cut along Intelliplex Drive and the proposed internal access drives are twenty (20) feet in width, under the thirty-six (36) foot maximum. The petitioner is satisfying all applicable Entrance and Drive Standards.

**Fence, Hedge, and Wall Standards:** Fence, Hedge, and Wall Standards are detailed in UDO 5.19 Parks & Recreation and Business Fence, Hedge, and Wall Standards. The standards specify that fence height cannot exceed eight (8) feet in these districts. The facility is utilizing a six (6) foot fence around the playground spaces. The petitioner is satisfying all applicable Fence, Hedge, and Wall Standards.

**Landscaping Standards:** Landscape Standards for projects located within Intelliplex are identified in the Intelliplex Planned Unit Development Detailed Plan. The Detailed Plan requires landscaping such that all portions of every lot not occupied by structures, parking areas, or other paved surfaces shall be design, constructed, and maintained in a cultivated landscape condition. Landscape requirement

- 1) Lot Yard Areas
- 2) Parking Lot Perimeter
- 3) Parking Lot Interior

The facility was able to satisfy all the requirements for of the Lot Yard Area, Parking Lot Perimeter and the Parking Lot Interior plantings. Not only was the project able to meet the standards, but almost doubled the landscape requirements for Parking Lot Perimeter and the Parking Lot Interior plantings. The petitioner is satisfying all applicable Landscape Standards.

**Parking Standards:** Parking Standards are detailed in UDO 5.52 Non-residential Parking Standards. The standards specify that two (2) parking spaces are required for every classroom in an elementary school. The first phase of the facility will contain ten (10) classrooms requiring twenty (20) parking spaces. Forty-three (43) parking spaces have been provided. The petitioner is satisfying all applicable Non-residential Parking Standards.

**Other Standards:** The planning staff has conducted numerous reviews of this project and all other applicable standards within Article 5 of the UDO have been satisfied.

**e. Satisfies the applicable requirements of Article 6: Design Standards**

Article 6: Design Standards provides the standards for all subdivisions and generally apply to the construction of residential planned unit developments with public improvements. Article 6: Design Standards do not apply to this project.

**f. Satisfies any other applicable provisions of the Unified Development Ordinance.**

All other applicable provisions of the Unified Development Ordinance are satisfied by the submitted civil plans.

**STAFF RECOMMENDATION: APPROVAL**



## Site Development Plan: PC 2023-15; Early Learning Center; SDP

### Findings of Fact by the Shelbyville Plan Commission

#### Staff Prepared

Motion:

(I) would like to make a motion to approve the site development plan as presented to this body pursuant to the planning staff's report and Findings of Fact.

1. ☐ The site development plan is consistent with the *City of Shelbyville Comprehensive Plan* as outlined in the planning staff's report.  
☐ The site development plan is **not** consistent with the *City of Shelbyville Comprehensive Plan*, as outlined in the planning staff's report.
2. ☐ The site development plan meets the Technical Review Committee's expectations for best practices and quality design, as outlined in the planning staff's report, as outlined in the planning staff's report.  
☐ The site development plan **does not** meet the Technical Review Committee's expectations for best practices and quality design, as outlined in the planning staff's report, as outlined in the planning staff's report
3. ☐ The site development plan satisfies the applicable requirements of Article 2: *Zoning Districts*, as outlined in the planning staff's report.  
☐ The site development plan **does not** satisfy the applicable requirements of Article 2: *Zoning Districts*, as outlined in the planning staff's report.
4. ☐ The site development plan satisfies the applicable requirements of Article 5: *Development Standards*, as outlined in the planning staff's report.  
☐ The site development plan **does not** satisfy the applicable requirements of Article 5: *Development Standards*, as outlined in the planning staff's report.
5. ☐ The site development plan satisfies the applicable requirements of Article 6: *Design Standards*, as outlined in the planning staff's report.  
☐ The site development plan **does not** satisfy the applicable requirements of Article 6: *Design Standards*, as outlined by the planning staff's report.
6. ☐ This site development plan satisfies all other applicable provision of the *Unified Development Ordinance*, as outlined by the planning staff's report.  
☐ The site development plan **does not** satisfy all other applicable provision of the *Unified Development Ordinance*, as outlined in the planning staff's report.

Additional Conditions Imposed by the Shelbyville Plan Commission:

- 1.
- 2.
- 3.

Shelbyville Plan Commission

By: \_\_\_\_\_

Chairperson / Presiding Officer

Attest: \_\_\_\_\_

Adam M. Rude, Secretary



## SITE DEVELOPMENT PLAN APPLICATION

Shelbyville Planning & Building Department  
44 West Washington Street  
Shelbyville, IN 46176  
P: 317.392.5102

### For Office Use Only:

Case #: PC \_\_\_\_\_ - \_\_\_\_\_

Hearing Date: \_\_\_\_\_

Fees Paid: \$ \_\_\_\_\_

Final Decision:

Approved

Denied

1.

#### Applicant

Name: Runnebohm Construction, Inc

Address: 144 E Rampart St.

Shelbyville, IN 46176

Phone Number: 317-716-0163

Fax Number: \_\_\_\_\_

Email: klasure@runnebohm.com

#### Property Owners Information (if different than Applicant)

Name: Major Health Partners

Address: 2451 Intelliplex Drive

Shelbyville, IN 46176

Phone Number: 317-840-6609

Fax Number: \_\_\_\_\_

Email: jwilliams@majorhospital.org

2.

#### Applicant's Attorney/Representative

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Fax Number: \_\_\_\_\_

Email: \_\_\_\_\_

#### Project Engineer

Name: Andrew Swanson, PE

Address: 9365 Counselors Row, Suite 116

Indianapolis, IN 46240

Phone Number: (317) 694-8291

Fax Number: \_\_\_\_\_

Email: aswanson@jpsce.com

#### 3. Project Information:

General Location of Property (and address is applicable): 2400 Intelliplex Drive, Shelbyville, IN 46176

Current Zoning: Planned Unit Development (Intelliplex)

Existing Use of Property: Vacant

Proposed Zoning: Planned Unit Development (Intelliplex)

Proposed Use: Childcare

#### 4. Attachments

☒ Affidavit and Consent of Property Owner (if applicable)

☒ Proof of Ownership (copy of deed, recent property card)

☐ Letter of Intent

☒ Civil Plans as prescribed in UDO 9.05

☒ Vicinity Map

☒ Lighting Plan

☒ Landscaping Plan

☒ Drainage Plan and Report

☒ Dimensioned Site Plan

☐ Filling Fee

The undersigned states the above information is true and correct as s/he is informed and believes.

Applicant: Kristen M. Lasure Date: 6/5/2023

State of Indiana  
County of Shelby SS:

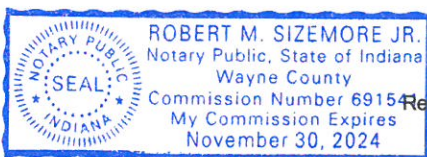
Subscribed and sworn to before me this 5<sup>th</sup> day of June, 2023.

Robert M. Sizemore Jr

Notary Public

Robert M. Sizemore Jr

Printed



Residing in Wayne County.

My Commission Expires: Nov. 30, 2024

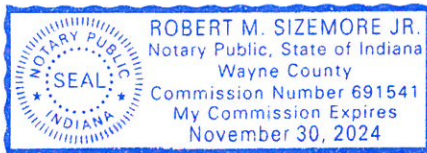
# AFFIDAVIT & CONSENT OF PROPERTY OWNER

## APPLICATION TO THE SHELBYVILLE PLAN COMMISSION

STATE OF Indiana  
COUNTY OF Shelby ) SS:

I, Major Health Partners, AFTER BEING DULY SWORN, DEPOSE AND SAY THE  
(Name of property owner)  
FOLLOWING:

1. That I am the owner of real estate located at 2400 Intelliplex Drive, Shelbyville, IN 46176;  
(Address of subject property)
2. That I have read and examined the Application made to the Shelbyville Plan Commission by:  
Runnebohm Construction, Inc  
(Name of applicant)
3. That I have no objections to, and consent to the request(s) described in the Application made to the Shelbyville Plan Commission.



Jeff Williams

Owner's Name (Please Print)

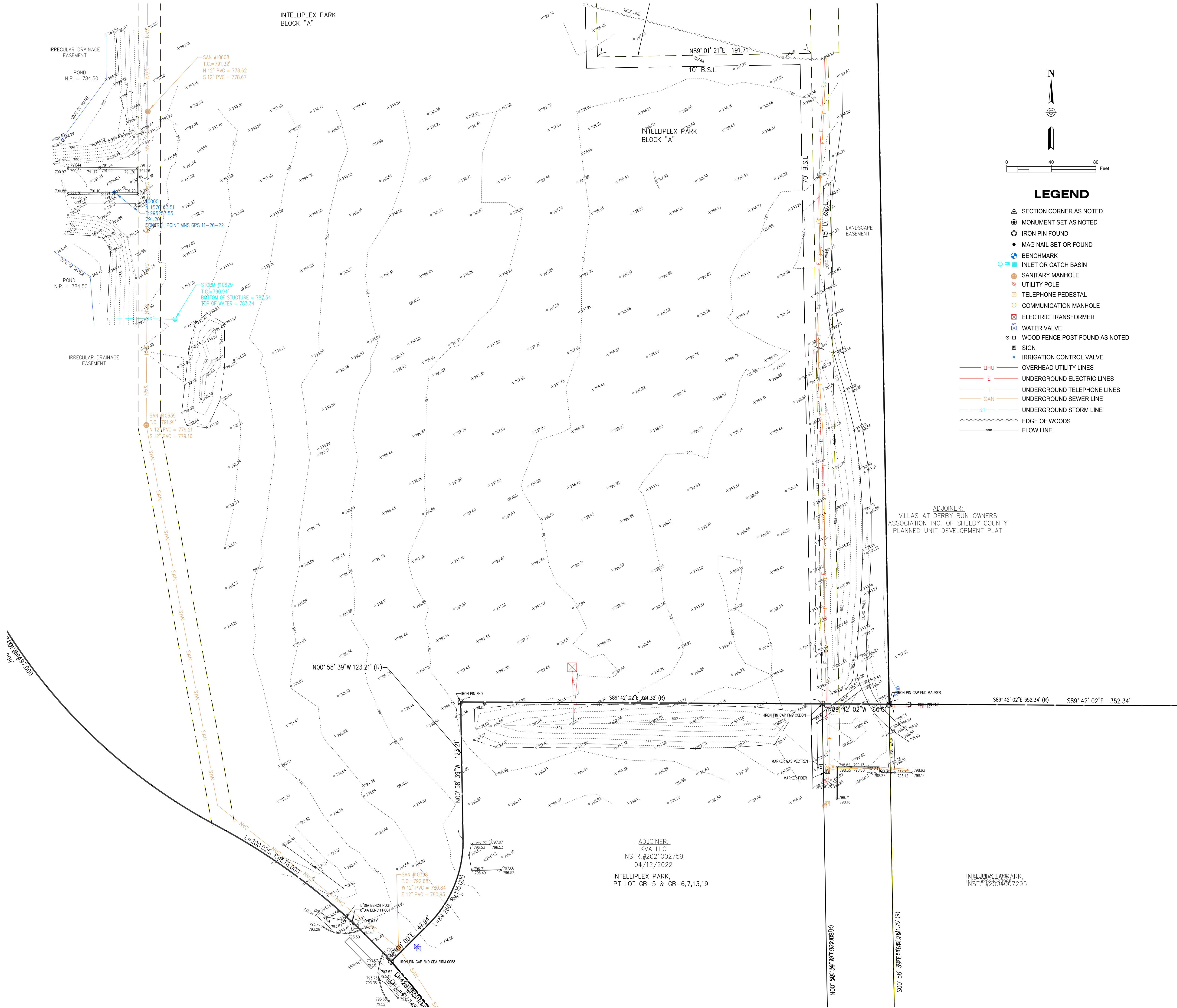
[Signature]  
Owner's Signature

Subscribed and sworn to before me this 5<sup>th</sup> day of June, 2023.

[Signature] / Robert M. Sizemore Jr  
Notary Public Printed

Residing in Wayne County My Commission expires Nov 30, 2024





LOCATION MAP N.T.S.

GENERAL NOTES:

This drawing is not intended to be represented as a retracement or original boundary survey, a route survey or a Surveyor Location Report. The topographic data was gathered using 3D high definition laser scanning, and by global positioning equipment, utilizing the Real Time Kinematic Rovers on the Indiana GPS Network, NTRIP using State Plane NAD83 and NAVD88 Geoid12. The elevations on natural surfaces are accurate to within 0.10 feet and on hard surfaces to within 0.05 feet.

FLOOD STATEMENT

The accuracy of any Flood Hazard Data shown on this survey is subject to map scale uncertainty and to any other uncertainty in location or elevation on the referenced flood insurance rate map. The Subject survey area lies within that Special Flood Hazard Zone X (areas outside of the annual 1% chance of flooding) per COMMUNITY PANEL # 1814SC0116C of the flood insurance rate maps for Shelby County, Indiana dated 11/5/2014.

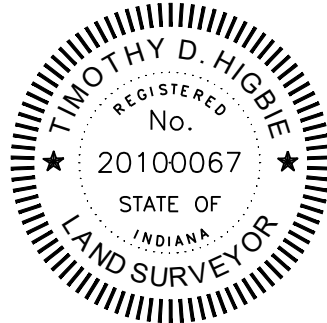
UTILITIES

This survey reflects above ground indications of utilities and information available from utility companies. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although they are located as well as possible based upon the information provided. Except as indicated by invert elevations on sewer lines the surveyor has not physically located the underground utilities. IUUPS #2211221665

CERTIFICATION

I, the undersigned hereby certify that to the best of my professional knowledge and belief that the within topographic survey plat accurately represents a survey performed under my supervision. The field survey was completed 11/26/2022.

Timothy D. Higbie  
Professional Surveyor #20100067  
State of Indiana  
DATE: 12/1/2022  
tim@surveyfirst.net



TOPOGRAPHIC SURVEY

MAJOR HOSPITAL  
2460 INTELLIPLEX DR. SHELBYVILLE, IN 46176  
SEC. 19, T. 13N, R. 7E, SHELBY COUNTY, MARION TOWNSHIP

SURVEY

SHEET NO.:  
1 OF 1

REVISIONS

PROJ. NO.: 2022-0086  
DATE: 12/05/2022  
DRAWING: 2022-0086-TOPO  
DRAWN BY: MST  
SURVEYED BY: Timothy D. Higbie P.S.  
EMAIL: tim@surveyfirst.net

SURVEY FIRST LLC  
Surveying • Engineering • 3D Laser Scanning • Modeling  
64 East Marion Street Danville, IN 46122  
phone (317) 745-9000



TECHNICAL REVIEW COMMITTEE SIGNATURE TABLE

X  
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44 W Washington St.  
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TEL: 317.392.5102  
EMAIL: arude@cityofshelbyville.in  
\_\_\_\_ Released via TRC Form

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**TAYLOR SUMMERFORD**  
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TEL: 317.966.3356  
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\_\_\_\_ Released via TRC Form

GENERAL NOTES

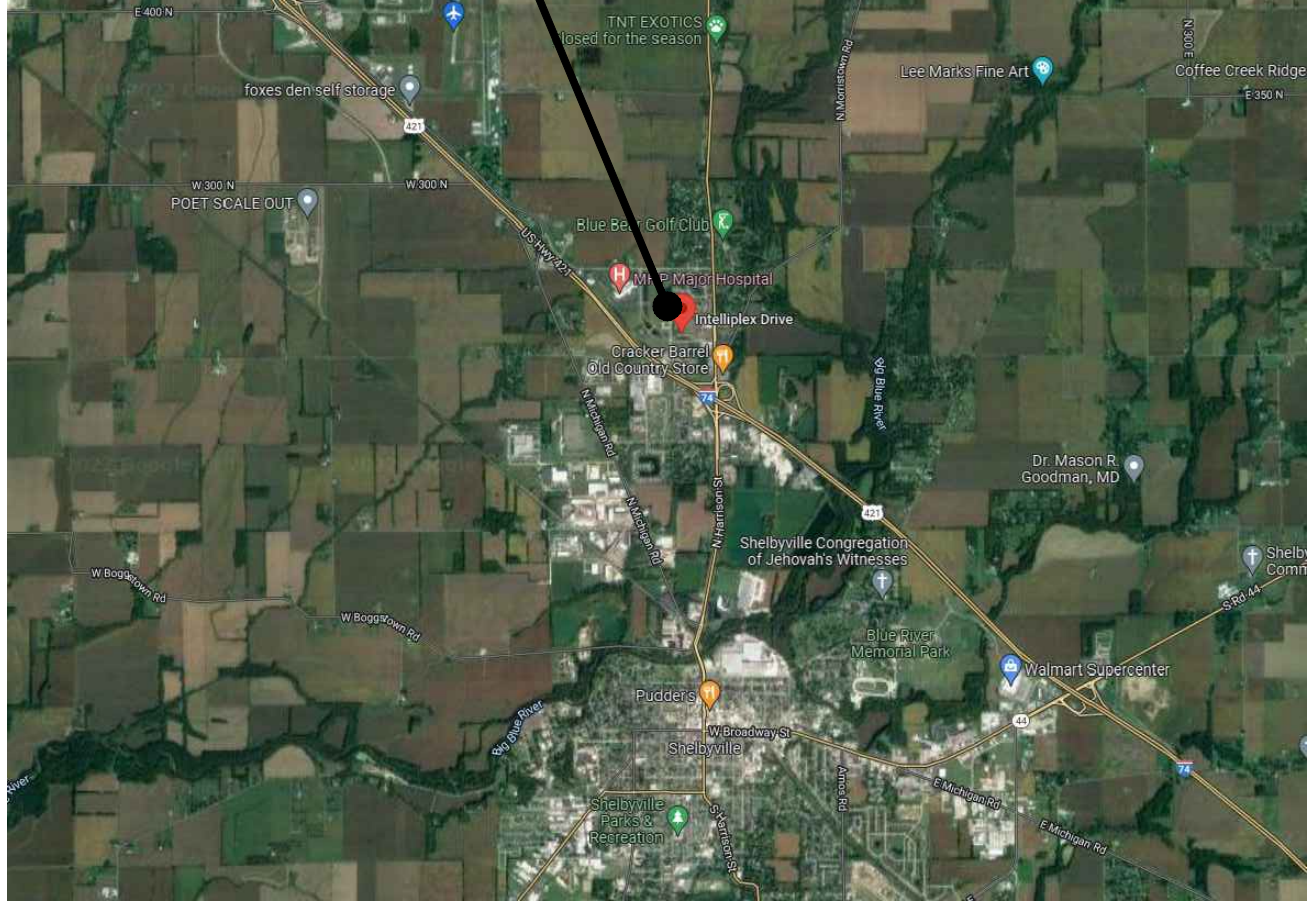
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, AND VERIFYING, THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, STATE AND FEDERAL AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY LOCATION AND INVERT ELEVATIONS OF EXISTING SEWERS PRIOR TO START OF CONSTRUCTION.
3. CONTRACTOR SHALL MAINTAIN A COMPLETE AND OPERABLE UTILITY SYSTEM AT ALL TIMES.
4. CONTRACTOR SHALL INCLUDE COSTS FOR CUTTING AND PATCHING AS REQUIRED IN THEIR BID PROPOSAL TO COMPLETELY INSTALL THE WORK INDICATED.
5. CONTRACTOR SHALL INCLUDE ALL TAP FEES, PERMIT FEES AND APPLICATION FEES IN THEIR BID PROPOSAL AS NECESSARY TO COMPLETELY INSTALL THE WORK INDICATED.
6. INFORMATION SHOWN WAS OBTAINED FROM AN OWNER FURNISHED SITE SURVEY OF EXISTING CONDITIONS AND IS UNCONFIRMED. CONTRACTOR IS REQUIRED TO FIELD VERIFY THIS INFORMATION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES SO MODIFICATION CAN BE MADE.
7. CONTRACTOR SHALL COORDINATE EXACT UTILITY LOCATIONS WITH THE OWNER AND LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY WORK. UTILIZE THE INDIANA UNDERGROUND UTILITY LOCATION SERVICE AT 811 OR 800-382-5544 PRIOR TO ANY EXCAVATION ON THE SITE.

SITE SYMBOLS AND ABBREVIATIONS

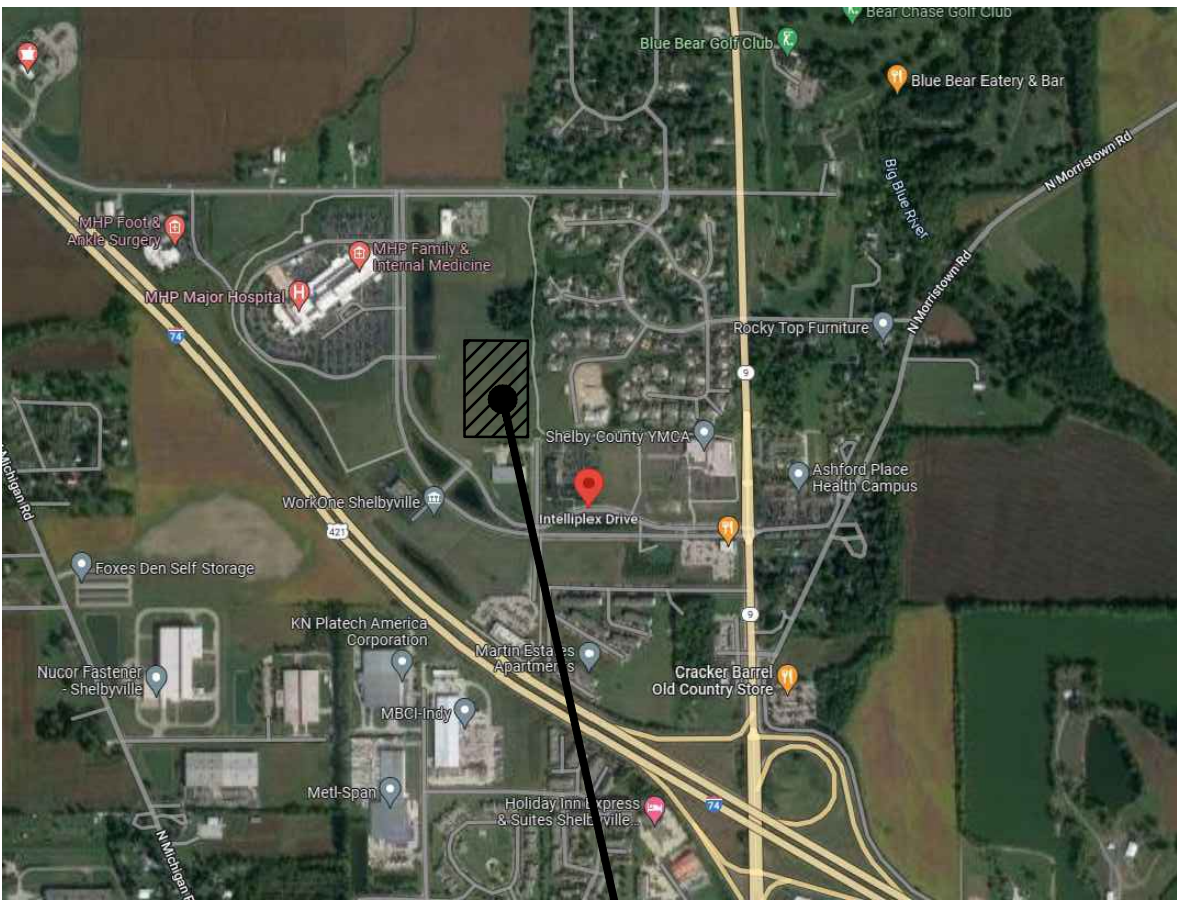
REFER TO SHEET ES1 FOR EXISTING SURVEY SYMBOLS AND ABBREVIATIONS			
[678] NEW CONTOUR LINE	INV. 123.45 INVERT ELEVATION	⦿ LIGHTED BOLLARD	
[123.45] NEW SPOT ELEVATION	Q STR. NEW STRUCTURE	⦿ HELIPAD LIGHT	
[123.45] TOP OF NEW CURB	— CONSTRUCTION LIMIT LINE	⦿ LIGHT POLE BASE	
[123.45] CURB GUTTER	— SWALE	⦿ POWER POLE	
⦿ BOLLARD	— DIRECTION OF FLOW	⦿ SEWER STRUCTURE	
⦿ CLEANOUT	⦿ NEW UTILITY TO EXISTING UTILITY	⦿ STORM INLET	
⦿ DOWNSPOUT	⦿ VALVE	⦿ WATER METER	
⦿ AREA DRAIN	— FENCE	⦿ END SECTION	
SAN NEW UTILITY	⦿ FIRE HYDRANT	⦿ WIND SOCK	
(RCP) PIPE MATERIAL	⦿ FLAG POLE	⦿ SIGN	
(15) FIRE DEPARTMENT CONNECTION	⦿ TEE	⦿ HANDHOLE/PULL BOX	
⦿ GAS METER	⦿ TRANSFORMER	⦿ PARKING BUMPER	
⦿ ELECTRIC MANHOLE	⦿ POST INDICATOR VALVE	⦿ ADA RAMP	
	⦿ ACCESSIBLE PARKING SYMBOL		

AD - AREA DRAIN	HDPE - HIGH DENSITY POLYETHYLENE PIPE	TW - TOP OF WALL (TYP)
BW - BOTTOM OF WALL	ME - MATCH EXISTING	U/G - UNDERGROUND
CB - CATCH BASIN	INV - INVERT ELEVATION	W - WATER
CO - CLEANOUT	MH - MANHOLE	WV - WATER VALVE
DIP - DUCTILE IRON PIPE	O/H - OVERHEAD	WV COMM - COMMUNICATION/FIBER OPTICS
DS - DOWNSPOUT	PV - POST INDICATOR VALVE	C - HIGH POINT
E - ELECTRIC	PVC - POLYVINYL CHLORIDE PIPE	GV - GAS VALVE
EG - EXISTING GRADE	RCP - REINFORCED CONCRETE	HP - HIGH POINT
EX - EXISTING	SAN - SANITARY SEWER	LP - LOW POINT
FDC - FIRE DEPARTMENT CONNECTION	STM - STORM SEWER	
FH - FIRE HYDRANT	T - TELEPHONE	
G - GAS	TOC - TOP OF CASTING ELEVATION	
ST - STEAM	CWR - CHILLED WATER RETURN	
CWS - CHILLED WATER SUPPLY		

PROJECT SITE



LOCATION MAP



PROJECT SITE

VICINITY MAP

JPS CONSULTING ENGINEERS, LLC

9365 Counselors Row, Suite 116  
Indianapolis, IN 46240  
ph 317.617.4270  
www.jpsconsultingengineers.com

JULIA & NICHOLAS  
RUNNEBOHM EARLY  
LEARNING CENTER

2400 INTELLIPLY DRIVE  
SHELBYVILLE, IN 46176

CONSTRUCTION DOCUMENTS

NUMBER	DATE	DESCRIPTION
1	06/05/2023	TAC REVISION
2	07/06/2023	TAC REVISION



Andrew D. Swann

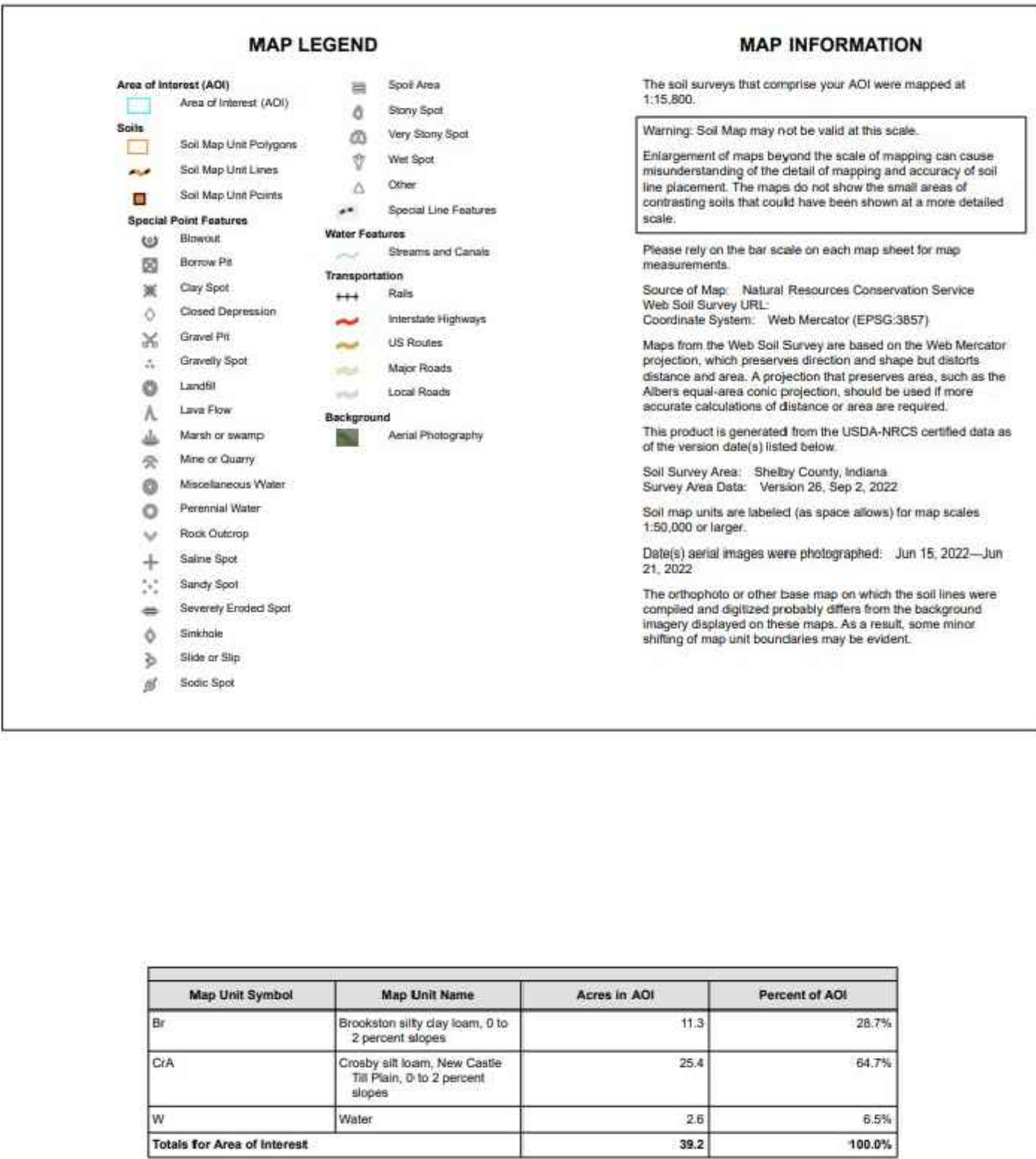
PROJECT INFORMATION PLAN

SCALE: NO SCALE  
DATE: MAY 31, 2023  
PROJECT #: 22JPC83  
DRAWN: CLM  
COORD: ADS  
APPROVED: ADS

C001



SOILS MAP

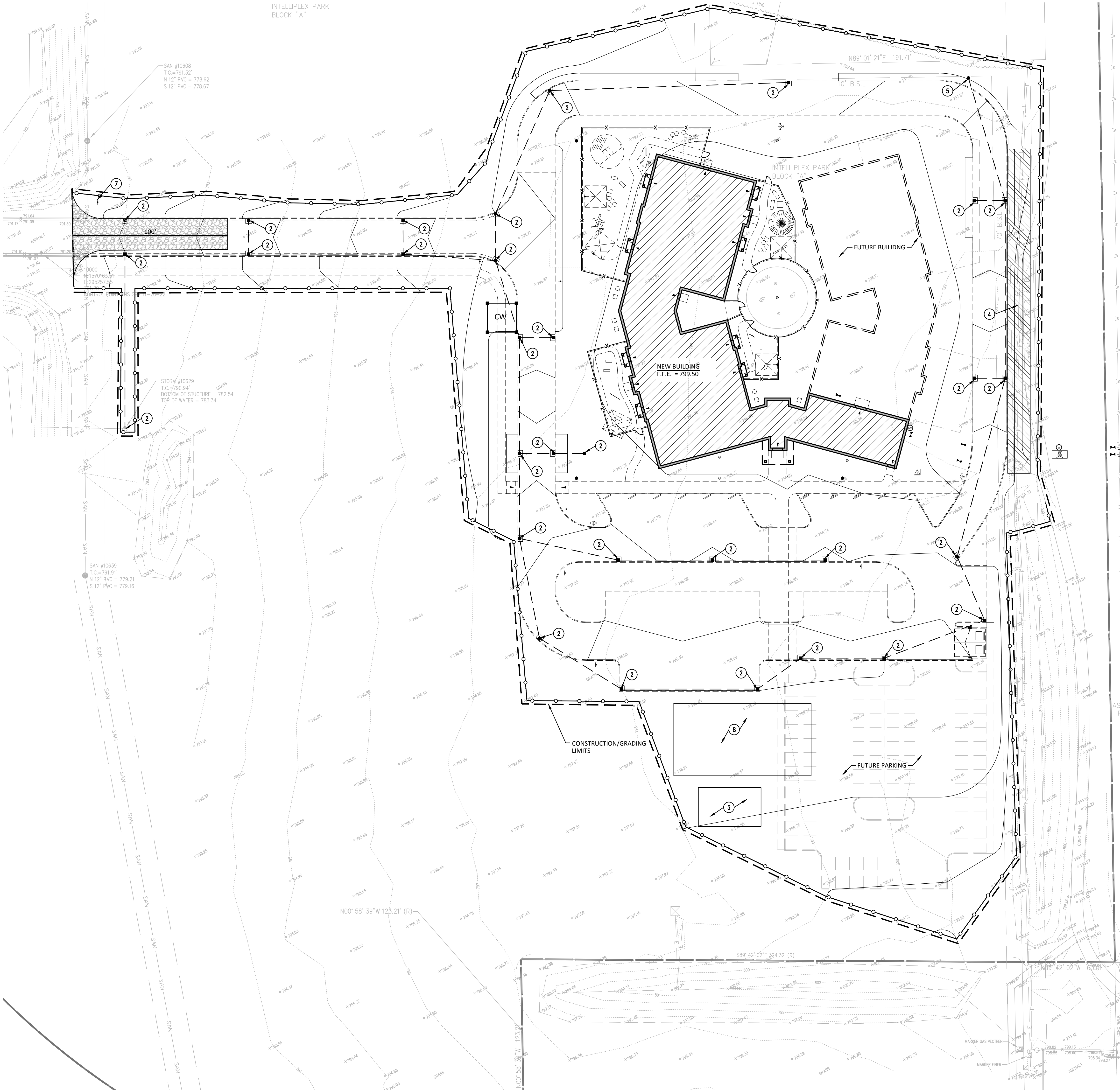


National Flood Hazard Layer FIRMette



FLOOD MAP





### GENERAL NOTES

- TEMPORARILY SEED ALL DISTURBED AREA.
- REFER TO LANDSCAPE SHEETS FOR AREAS OF PERMANENT SEEDING AND/OR SOD.
- REFER TO STORMWATER POLLUTION PREVENTION NOTES AND DETAIL SHEETS.
- ALL PROPOSED EROSION AND SEDIMENT CONTROL SHALL BE IN CONFORMANCE WITH THE CITY OF SHELBYVILLE EROSION CONTROL STANDARD.
- ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY THE INSPECTOR.
- NO CONSTRUCTION PARKING IN TEXAS CORRAL PARKING LOT.

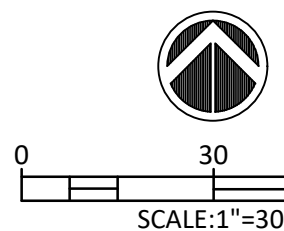
### PLAN NOTES

- CONSTRUCTION ENTRANCE.
- BASKET INLET PROTECTION.
- STOCKPILE.
- EROSION CONTROL BLANKET.
- SILT FENCE INLET PROTECTION.
- MATERIAL HANDLING AND STORAGE AREA.
- POST APPROVED IDEM NOTICE OF SUFFICIENCY NEAR ENTRANCE.
- CONSTRUCTION LAYDOWN AREA.

### PLAN SYMBOLS

- CONCRETE WASHOUT AREA
- EROSION CONTROL BLANKET
- SILT FENCE
- PROPOSED STORM SEWERS
- CONSTRUCTION/GRADING LIMITS
- PROPOSED CONTOURS
- PROPOSED IMPROVEMENTS

ADJOINER:  
VILLAS AT DERBY RUN OWNERS  
ASSOCIATION INC. OF SHELBY COUNTY  
PLANNED UNIT DEVELOPMENT PLAT



### CONSTRUCTION DOCUMENTS

NUMBER	DATE	DESCRIPTION
1	06/05/2023	TAC REVISION
2	07/06/2023	TAC REVISION



### OVERALL STORMWATER POLLUTION PREVENTION PLAN

SCALE: 1" = 30'  
DATE: MAY 31, 2023  
PROJECT #: 22JPSC83  
DRAWN: CLM  
COORD: ADS

APPROVED: ADS

# C100



STORMWATER POLLUTION PREVENTION  
MAINTENANCE NOTES

1. SILT FENCE: INSPECT SILT FENCE WEEKLY AND AFTER EACH STORM EVENT. IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY. REMOVE DEPOSITED SEDIMENT WHEN IT REACHES HALF THE HEIGHT OF THE FENCE AT ITS LOWEST POINT OR IS CAUSING THE FABRIC TO BULGE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE FENCE AND SEDIMENT DEPOSITS, BRING THE DISTURBED AREA TO GRADE AND STABILIZE.
2. CATCH BASIN FILTER: INSPECT WEEKLY AND AFTER EACH STORM EVENT. REMOVE BUILT-UP SEDIMENT AND REPLACE THE GEOTEXTILE FABRIC AFTER EACH STORM EVENT. PERIODICALLY REMOVE SEDIMENT AND TRACKED ON SOIL FROM THE STREET (BUT NOT BY FLUSHING WITH WATER) TO REDUCE THE SEDIMENT LOAD ON THIS CURB INLET PRACTICE.
3. EROSION CONTROL BLANKETS: DURING VEGETATIVE ESTABLISHMENT, INSPECT AFTER STORM EVENTS FOR ANY EROSION BELOW THE BLANKET. IF ANY AREA SHOWS EROSION, PULL BACK THAT PORTION OF THE BLANKET COVERING IT, ADD SOIL, RE-SEED THE AREA, RE-LAY AND STAPLE THE BLANKET. CHECK THE TREATED AREAS PERIODICALLY.
4. STONE CONSTRUCTION ENTRANCE: INSPECT ENTRANCE PAD AND SEDIMENT DISPOSAL AREA WEEKLY AND AFTER STORM EVENTS OR HEAVY USE. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL. TOP DRESS WITH CLEAN STONE AS NEEDED. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED IF THE WATER IS CONVEYED INTO A SEDIMENT TRAP OR BASIN. REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY.
5. CONCRETE WASHOUT: INSPECT DAILY FOR DAMAGE. REPAIR ANY DAMAGE IMMEDIATELY. MAINTAIN 12" MINIMUM FREEBOARD. CLEAN OR CONSTRUCT NEW WASHOUT ONCE EXISTING WASHOUT IS 75% FULL.

STORMWATER POLLUTION PREVENTION  
GENERAL NOTES

1. THE CONTRACTOR SHALL CONTROL WASTE, GARBAGE, DEBRIS, WASTEWATER, AND OTHER SUBSTANCES ON THE SITE IN SUCH A WAY THAT THEY SHALL NOT BE TRANSPORTED FROM THE SITE BY THE ACTION OF WINDS, STORM WATER RUNOFF, OR OTHER FORCES. PROPER DISPOSAL OR MANAGEMENT OF ALL WASTES AND UNUSED BUILDING MATERIAL, APPROPRIATE TO THE NATURE OF THE WASTE OR MATERIAL, IS REQUIRED.
2. PUBLIC OR PRIVATE ROADWAY SHALL BE KEPT CLEARED OF ACCUMULATED SEDIMENT. BULK CLEARING OF ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING THE AREA WITH WATER. CLEARED SEDIMENT SHALL BE RETURNED TO THE POINT OF LIKELY ORIGIN OR OTHER SUITABLE LOCATION.
3. THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE IMPLEMENTED ON ALL DISTURBED AREAS. ALL MEASURES INVOLVING POLLUTION PREVENTION PRACTICES SHALL BE INSTALLED UNDER THE GUIDANCE OF QUALIFIED PERSONNEL EXPERIENCED IN POLLUTION PREVENTION, AND FOLLOWING THE PLANS AND SPECIFICATIONS INCLUDED HEREIN.
4. ALL STORMWATER POLLUTION PREVENTION PLAN PRACTICES SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REQUIREMENTS FOR MATERIALS, INSTALLATION AND MAINTENANCE STANDARDS.
5. SEED ALL DISTURBED AREAS IMMEDIATELY AFTER GRADING SOIL. REFER TO SPECIFICATIONS FOR SEASONAL REQUIREMENTS AND SOIL PREPARATION.



SEASONAL SOIL PROTECTION CHART

STABILIZATION PRACTICE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC
PERMANENT SEEDING *			A					A				
DORMANT SEEDING **			A								A	
TEMPORARY SEEDING		B	D					C				

A = REFER TO SPECIFICATIONS FOR PERMANENT SEEDING MIXTURE. FERTILIZE AS RECOMMENDED BY SOIL TEST, IF TESTING IS NOT DONE, APPLY 400-600 LBS./ACRE OF 12-12-12 ANALYSIS, OR EQUIVALENT, FERTILIZER.

B = SPRING OATS 3 BUSHELS / ACRE ( 2.3lbs. / 1000 Sq ft ) FERTILIZE AS RECOMMENDED BY SOIL TEST. IF TESTING IS NOT DONE, APPLY 400- 600 LBS./ACRE OF 12-12-12 ANALYSIS, OR EQUIVALENT, FERTILIZER.

C = WHEAT OR RYE 2 BUSHELS/ACRE ( 3.5lbs. / 1000 Sq. ft ) FERTILIZE AS RECOMMENDED BY SOIL TEST. IF TESTING IS NOT DONE, APPLY 400- 600 LBS./ACRE OF 12-12-12 ANALYSIS, OR EQUIVALENT, FERTILIZER.

D = ANNUAL RYEGRASS 40 LBS./ACRE (1 LB./1000 SQ. FT.)

\* IRRIGATION NEEDED DURING JUNE, JULY, AUGUST AND SEPTEMBER

\*\* INCREASE SEEDING APPLICATION BY 50%

PLAN REVIEWER USE ONLY	ADEQUATE			DEFICIENT			N/A			IDEM STANDARD PLAN REVIEW CHECKLIST		
AD	AD	AD	AD	AD	AD	AD	AD	AD	AD	SECTION A: BASIC PLAN ELEMENTS		
AD	AD	AD	AD	AD	AD	AD	AD	AD	AD	ITEM	DESCRIPTION	ITEM INFORMATION / MISCELLANEOUS
										A1	PLAN INDEX SHOWING LOCATIONS OF REQUIRED ITEMS	THIS SHEET
										A2	VICINITY MAP DEPICTING THE PROJECT SITES LOCATION IN RELATIONSHIP TO RECOGNIZABLE LOCAL LANDMARK, CITIES, TOWNS, MAJOR ROADS, AND RAILWAYS.	PROJECT INFORMATION SHEET
										A3	NARRATIVE DESCRIBING PROJECT NATURE AND PURPOSE	THIS SHEET
										A4	LATITUDE AND LONGITUDE TO THE NEAREST (15) SECONDS.	39°33'33"N 85°46'57"W
										A5	LEGAL DESCRIPTION OF THE PROJECT SITE. THE DESCRIPTION MUST BE TO THE NEAREST QUARTER SECTION, TOWNSHIP, AND RANGE, AND INCLUDE THE CIVIL TOWNSHIP. (INCLUDE LATITUDE AND LONGITUDE - NOI REQUIREMENT.)	SURVEY SHEET
										A6	PLAT DRAWING SHOWING BUILDING LOT NUMBERS/ BOUNDARIES AND ROAD LAYOUT/NAMES.	SURVEY SHEET
										A7	100 YEAR FLOODPLAIN, FLOODWAYS, AND FLOODWAY FRINGES.	THIS PROJECT IS NOT LOCATED IN FLOODPLAIN AS INDICATED ON THE CITY OF SHELBYVILLE, IN FLOOD INSURANCE RATE MAP 18145C0110C DATED11/5/2014.
										A8	LAND USE OF ALL ADJACENT PROPERTIES	PLAN UNIT DEVELOPEMENT
										A9	IDENTIFICATION OF A U.S. EPA APPROVED OR ESTABLISHED TMDL.	TMDL REPORT - BIG BLUE RIVER FOR E. COLI.
										A10	NAME(S) OF THE RECEIVING WATER(S)	BIG BLUE RIVER
										A11	IDENTIFICATION OF DISCHARGES TO A WATER ON THE CURRENT 303 (d) LIST OF IMPAIRED WATERS AND POLLUTANT(S) FOR WHICH IT IS IMPAIRED.	BIG BLUE RIVER IMPAIRED POLLUTANTS: BACTERIA AND OTHER MICROBES.
										A12	A SOILS MAP OF THE PREDOMINATE SOIL TYPES.	SOIL MAP IS SHOWN ON PROJECT SHEET.
										A13	IDENTIFICATION AND LOCATION OF ALL KNOWN WETLANDS, LAKES, AND WATER COURSES ON OR ADJACENT TO THE PROJECT SITE.	INTELLEX PONDS
										A14	IDENTIFICATION OF ANY STATE OR FEDERAL WATER QUALITY PERMITS OR AUTHORITIES THAT REQUIRED FOR CONSTRUCTION ACTIVITIES.	N/A
										A15	IDENTIFICATION AND DELINEATION OF EXISTING COVER, INCLUDING NATURAL BUFFERS.	SURVEY SHEETS
										A16	EXISTING SITE TOPOGRAPHY AT INTERVAL APPROPRIATE TO INDICATE DRAINAGE PATTERNS.	SURVEY SHEETS
										A17	LOCATION(S) WHERE RUN-OFF ENTERS THE PROJECT SITE	SEE GRADING & DRAINAGE PLAN FOR EXISTING STORM SEWERS WHERE RUN-OFF ENTERS THE SITE.
										A18	LOCATION(S) WHERE RUN-OFF DISCHARGES FROM THE PROJECT SITE PRIOR TO LAND DISTURBANCE.	STORMWATER DRAINAGE FROM THE SITE WILL BE CONVEYED VIA STORM PIPE INTO THE DETENTION POND.
										A19	LOCATION OF ALL EXISTING STRUCTURES ON THE PROJECT SITE. REFER TO THE EXISTING CONDITIONS PLAN OR TOPOGRAPHIC SURVEY	SURVEY SHEET
										A20	EXISTING PERMANENT RETENTION OR DETENTION FACILITIES , INCLUDING MANMADE WETLAND, DESIGNED FOR THE PURPOSE OF STORM WATER MANAGEMENT	SURVEY SHEETS
										A21	LOCATIONS WHERE STORM WATER MAY BE DIRECTLY DISCHARGED INTO GROUND WATER. SUCH AS ABANDONED WELL, SINHOLES, OR KARST FEATURES.	THE POND DETENTION BASIN WILL ALLOW FOR SOME WATER DISCHARGE INTO GROUND.
										A22	SIZE OF THE PROJECT AREA EXPRESSED IN ACRES	4.18 ACRES
										A23	TOTAL EXPECTED LAND DISTURBANCE EXPRESSED IN ACRES	4.18 ACRES
										A24	PROPOSED FINAL TOPOGRAPHY.	SEE SITE GRADING AND DRAINAGE PLAN
										A25	LOCATIONS AND APPROXIMATE BOUNDARIES OF ALL DISTURBED AREAS.	SEE STORMWATER POLLUTION PREVENTION PLAN
										A26	LOCATION, SIZE, AND DIMENSIONS OF ALL STORM WATER DRAINAGE SYSTEM SUCH AS CULVERTS, STORMWATER SEWER, AND CONVEYANCE CHANNELS.	SEE SITE GRADING AND DRAINAGE PLAN
										A27	LOCATIONS OF SPECIFIC POINTS WHERE STORM WATER AND NON-STORM WATER DISCHARGES WILL LEAVE THE PROJECT SITE.	SEE SITE GRADING AND DRAINAGE PLAN
										A28	LOCATION OF ALL PROPOSED SITE IMPROVEMENTS, INCLUDING ROADS, UTILITIES , LOT DELINEATION AND IDENTIFICATION, PROPOSED STRUCTURES, AND COMMON AREAS	SEE SITE IMPROVEMENT & SITE UTILITY PLANS
										A29	LOCATION OF ALL ON-SITE AND OFF-SITE SOIL STOCKPILES AND BORROW AREAS. EXCESS SOIL IT TO BE IMMEDIATELY STOCK PILED, SURROUNDED WITH SILT FENCE, AND SEEDED WHERE INDICATED IN GRADING PLAN.	REFER TO EROSION CONTROL PLAN
										A30	CONSTRUCTION SUPPORT ACTIVITIES THAT ARE EXPECTED TO BE PART OF THE PROJECT.	REFER TO EROSION CONTROL PLAN
										A31	LOCATION OF ANY IN-STREAM ACTIVITIES THAT ARE PLANNED FOR THIS PROJECT INCLUDING, BUT NOT LIMITED TO ,STREAM CROSSINGS AND PUMP AROUND.	N/A
AD	AD	AD	AD	AD	AD	AD	AD	AD	AD	SECTION B: ACTIVE CONSTRUCTION COMPONENT		
AD	AD	AD	AD	AD	AD	AD	AD	AD	AD	ITEM	DESCRIPTION	ITEM INFORMATION / MISCELLANEOUS
										B1	A DESCRIPTION OF POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, WHICH MAY REASONABLY BE EXPECTED TO ADD A SIGNIFICANT AMOUNT OF POLLUTANTS TO STORM WATER DISCHARGES.	POTENTIAL POST CONSTRUCTION POLLUTANTS TO INCLUDE FUEL AND OIL FROM VEHICLES AND TRASH FROM PARKING LOT USERS.
										B2	STABLE CONSTRUCTION ENTRANCE LOCATIONS AND SPECIFICATIONS.	SEE STORMWATER POLLUTION PREVENTION PLAN
										B3	SPECIFICATIONS FOR TEMPORARY AND PERMANENT STABILIZATION	REFER TO PLANS FOR PERMANENT GROUND COVER
										B4	SEDIMENT CONTROL MEASURES FOR CONCENTRATED FLOW AREAS	EROSION CONTROL BLANKETS WILL BE INSTALLED TO CONTROL CONCENTRATED FLOW AREAS.
										B5	SEDIMENT CONTROL MEASURES FOR SHEET FLOW AREAS.	SILT FENCE WILL BE INSTALLED AROUND PERMANENT OF THE SITE TO CONTROL SHEET FLOW. SILT FENCE LOCATIONS ARE SHOWN ON STORMWATER POLLUTION PLANS.
										B6	RUNOFF CONTROL MEASURES	STORMWATER POLLUTION PREVENTION PLANS
										B7	STORM WATER OUTLET PROTECTION MEASURES	PROPOSED STORM WATER TO EXISTING STORM SYSTEM.
										B8	GRADE STABILIZATION STRUCTURE LOCATIONS	EROSION CONTROL BLANKETS WILL BE USED ON STEEP SLOPES AND SILT FENCE TO CONTROL EROSION.
										B9	DEWATERING APPLICATIONS AND MANAGEMENT METHODS.	TEMPORARY & PERMANENT SEEDING WILL BE USED FOR STABILIZATION.
										B10	MEASURES UTILIZED FOR WORK WITHIN WATERBODIES	N/A
										B11	MAINTENANCE GUIDELINES FOR EACH PROPOSED STORMWATER QUALITY MEASURE	SEE STORMWATER POLLUTION PREVENTION MAINTENANCE NOTES AND SPECIFICATION 31-25-00 FOR SELF MONITORING PROCESS.
										B12	SEQUENCE DESCRIBING STORMWATER QUALITY MEASURE IMPLEMENTATION RELATIVE TO LAND-DISTURBING ACTIVITIES	REFER TO STORMWATER POLLUTION PREVENTION PLAN, SEQUENCE SCHEDULE.
										B13	PROVISIONS FOR EROSION AND SEDIMENT CONTROL ON INDIVIDUAL RESIDENTIAL BUILDING LOTS REGULATED UNDER THE PROPOSED PROJECT.	THE SITE IS NOT CURRENTLY SUBDIVIDED, THEREFORE THE ENTIRE SITE IS ON THIS PLAN'S EROSION CONTROL PLAN.
										B14	MATERIAL HANDLING AND SPILL PREVENTION AND SPILL RESPONSE PLAN MEETING THE REQUIREMENTS IN 327 IAC 2-6.1	SEE STORMWATER POLLUTION PREVENTION MAINTENANCE NOTES AND SPEC SECTION 31-25-00 FOR SELF MONITORING PROCESS.
										B15	MATERIAL HANDLING AND STORAGE PROCEDURES ASSOCIATED WITH CONSTRUCTION ACTIVITY	CONTRACTOR SHALL CONTAIN ANY SPILL OF MATERIALS IN SUCH A MANNER TO PREVENT LEAKAGE INTO A STORM SEWER OR DRAINWAY. CONTACT THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (IDEM) OFFICE OF LAND QUALITY EMERGENCY RESPONSE SECTION, IDEM 24-HOUR SPILL LINE AT 888-233-7745, OR 317-233-7745 UPON DISCOVERY OF AN ACCIDENT TO DETERMINE IDEM'S INVOLVEMENT AND PROCEDURES FOR CLEANUP.
AD	AD	AD	AD	AD	AD	AD	AD	AD	AD	SECTION C: POST CONSTRUCTION COMPONENT		
AD	AD	AD	AD	AD	AD	AD	AD	AD	AD	ITEM	DESCRIPTION	ITEM INFORMATION / MISCELLANEOUS
										C1	A DESCRIPTION OF POTENTIAL POLLUTANT SOURCES FROM THE PROJECT SITE'S PROPOSED LAND USE, WHICH SOURCES MAY REASONABLY BE EXPECTED TO ADD A SIGNIFICANT AMOUNT OF POLLUTANTS TO STORM WATER DISCHARGES FROM THE POST-CONSTRUCTION PROJECT SITE.	POTENTIAL POST CONSTRUCTION POLLUTANTS TO INCLUDE FUEL AND OIL FROM VEHICLES AND TRASH FROM PARKING LOT USERS.
										C2	DESCRIPTION OF PROPOSED POST-CONSTRUCTION STOR	INTELLEX PONDS WILL PROVIDE POST CONSTRUCTION STORMWATER QUALITY.
										C3	PLAN DETAILS FOR EACH STORMWATER MEASURES	INTELLEX PONDS WILL PROVIDE POST CONSTRUCTION STORMWATER QUALITY.
										C4	SEQUENCE DESCRIBING STORM WATER QUALITY MEASURE IMPLEMENTATION	REFER TO 2003 INTELLEX DRAINAGE REPORT.
										C5	DESCRIPTION OF MAINTENANCE GUIDELINES FOR POST-CONSTRUCTION STORM WATER QUALITY MEASURES	REFER TO 2003 INTELLEX DRAINAGE REPORT.
										C6	ENTITY THAT WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE POST -CONSTRUCTION STORMWATER MEASURES	MAJOR HEALTH PARTNERS.

PROJECT NARRATIVE

CONSTRUCTION OF A NEW FREE STANDING, DAY CARE FACILITY AND ASSOCIATED PRIVATE DRIVE AND PARKING.

RESPONSIBLE PERSON

KRISTOPHER LASURE  
PROJECT MANAGER/ESTIMATOR  
RUNNEBOHM CONSTRUCTION  
144 EAST RAMPART STREET,  
SHELBYVILLE, INDIANA 46176  
317.716.0163

STORMWATER POLLUTION PREVENTION PLAN -  
CONSTRUCTION COMPONENT  
CONSTRUCTION SEQUENCE SCHEDULE

1. DESCRIPTION OF POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITIES POTENTIAL POLLUTION SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITY INCLUDE: SEDIMENT IN RUNOFF FROM EXPOSED SOILS, RUNOFF FROM CONSTRUCTION MATERIAL STORAGE, AND SPILLAGE FROM CONSTRUCTION EQUIPMENT AND REFUELING SITES. CONTRACTOR SHALL CONTAIN ALL SEDIMENT BY PROPER EROSION CONTROL PRACTICES AS INDICATED IN THE STORM WATER POLLUTION PREVENTION PLAN. CONTRACTOR SHALL CONTROL POLLUTION FROM MATERIAL STORAGE BY PROPER STORAGE PROCEDURES. MATERIALS THAT ARE A POTENTIAL SOURCE OF POLLUTION SHALL BE STORED IN CONTAINERS PROTECTED FROM ELEMENTS, OR IN THE JOB TRAILER. POLLUTION FROM REFUELING SHALL BE PREVENTED BY PROPER REFUELING PRACTICES. PROPER CONTAINMENT AND CLEANUP SHALL BE EMPLOYED IF A SPILL OCCURS.	
2. SEQUENCE DESCRIBING STORMWATER QUALITY MEASURES IMPLEMENTATION RELATIVE TO LAND DISTURBING ACTIVITIES.	
CONSTRUCTION PHASE (SPECIFIC ACTIVITIES OR EROSION CONTROL PRACTICES)*	CONSTRUCTION OPERATIONS
PRE-CONSTRUCTION ACTIONS (EVALUATION/PROTECTION OF IMPORTANT SITE CHARACTERISTICS)	BEFORE CONSTRUCTION, EVALUATE, MARK, AND PROTECT IMPORTANT TREES AND ASSOCIATED ROOTING ZONES, UNIQUE AREAS (E.G. WETLANDS) TO BE PRESERVED, ON-SITE SEPTIC SYSTEM ABSORPTION FIELDS, AND VEGETATION SUITABLE FOR FILTER STRIPS, ESPECIALLY IN PERIMETER AREAS.
LAND CLEARING AND GRADING (CUTTING/FILLING/STOCKPILING, GRADING, DRAINS, SEDIMENT TRAPS, BARRIERS, DIVERSIONS, SURFACE ROUGHENING)	BEGIN MAJOR CLEARING AND GRADING AFTER INSTALLING THE KEY SEDIMENT AND RUNOFF MEASURES. CLEAN BORROW AND DISPOSAL AREAS AS NEEDED. INSTALL ADDITIONAL CONTROL MEASURES AS GRADING PROGRESSES AND AROUND STOCKPILED AREAS.
BUILDING CONSTRUCTION (BUILDINGS, UTILITIES, PAVING)	INSTALL NECESSARY EROSION AND SEDIMENT CONTROL PRACTICES AS WORK TAKES PLACE.
LANDSCAPING AND FINAL STABILIZATION (TOP SOILING, TREES AND SHRUBS, PERMANENT SEEDING, MULCHING, SODDING, RIP RAP)	STABILIZE ALL OPEN AREAS, INCLUDING BORROW AND SPOIL AREAS.  REMOVE TEMPORARY CONTROL MEASURES AND STABILIZE.
3. STABILIZE CONSTRUCTION ENTRANCE LOCATIONS AND SPECIFICATIONS (AT ALL POINTS OF INGRESS AND EGRESS)	
CONSTRUCTION PHASE (SPECIFIC ACTIVITIES OR EROSION CONTROL PRACTICES)*	CONSTRUCTION OPERATIONS
CONSTRUCTION ACCESS (CONSTRUCTION ENTRANCES, CONSTRUCTION ROUTES, EQUIPMENT PARKING AREAS)	STABILIZE BARE AREAS IMMEDIATELY WITH GRAVEL AND TEMPORARY VEGETATION AS WORK TAKES PLACE. (UTILIZE EXISTING PAVEMENT SURFACES THROUGHOUT CONSTRUCTION)
4. SEDIMENT CONTROL MEASURES FOR SHEET FLOW AREAS	
CONSTRUCTION PHASE (SPECIFIC ACTIVITIES OR EROSION CONTROL PRACTICES)*	CONSTRUCTION OPERATIONS
SURFACE STABILIZATION (TEMPORARY AND PERMANENT SEEDING, MULCHING, SODDING, RIP RAP)	APPLY TEMPORARY OR PERMANENT STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK IS DELAYED OR COMPLETED. (NO AREA IS TO BE LEFT UNCOVERED MORE THAN 5 DAYS.)
5. SEDIMENT CONTROL MEASURES FOR CONCENTRATED FLOW AREAS	
CONSTRUCTION PHASE (SPECIFIC ACTIVITIES OR EROSION CONTROL PRACTICES)*	CONSTRUCTION OPERATIONS
STORMWATER CONVEYANCE SYSTEM (STABILIZED SWALES, STORM DRAINS, INLET AND OUTLET PROTECTION)	WHERE NECESSARY, STABILIZE SWALES AS EARLY AS POSSIBLE. INSTALL PRINCIPAL CONVEYANCE SYSTEM WITH RUNOFF CONTROL MEASURES. INSTALL REMAINDER OF SYSTEM AFTER GRADING.
6. STORM SEWER INLET PROTECTION MEASURE LOCATIONS AND SPECIFICATIONS REFER TO STORMWATER POLLUTION PREVENTION PLAN AND INLET STRUCTURE FILTER DETAIL	
7. RUNOFF CONTROL MEASURES (E.G. DIVERSIONS, ROCK CHECK DAMS, SLOPE DRAINS, ETC.)	
8. STORMWATER OUTLET PROTECTION SPECIFICATIONS	
CONSTRUCTION PHASE (SPECIFIC ACTIVITIES OR EROSION CONTROL PRACTICES)*	CONSTRUCTION OPERATIONS
RUNOFF CONTROL (DIVERSIONS, PERIMETER DITCHES, DAMS, OUTLET PROTECTION)	INSTALL PRACTICES AFTER PRINCIPAL SEDIMENT TRAPS AND BARRIERS ARE INSTALLED BUT BEFORE LAND GRADING. INSTALL ADDITIONAL RUNOFF CONTROL MEASURES DURING GRADING AS NEEDED.
9. GRADE STABILIZATION STRUCTURE LOCATIONS AND SPECIFICATIONS	
CONSTRUCTION PHASE (SPECIFIC ACTIVITIES OR EROSION CONTROL PRACTICES)*	CONSTRUCTION OPERATIONS
SEDIMENT BARRIERS AND TRAPS (BASIN TRAPS, SILT FENCES, OUTLET PROTECTION)	INSTALL PRINCIPAL BASINS AFTER CONSTRUCTION SITE IS ASSESSED. INSTALL ADDITIONAL TRAPS AND BARRIERS AS NEEDED DURING GRADING.
10.LOCATION, DIMENSIONS, SPECIFICATIONS AND CONSTRUCTION DETAILS OF EACH STORM WATER QUALITY MEASURE REFER TO STORMWATER POLLUTION PREVENTION PLAN AND DETAILS	
11.TEMPORARY SURFACE STABILIZATION METHODS APPROPRIATE FOR EACH SEASON (INCLUDE SEQUENCING)	
12.PERMANENT SURFACE STABILIZATION SPECIFICATIONS (INCLUDE SEQUENCING) REFER TO SEASONAL SOIL PROTECTION CHART	
13. MATERIAL HANDLING AND SPILL PREVENTION PLAN CONTRACTOR SHALL CONTAIN ANY SPILL OF MATERIALS IN SUCH A MANNER TO PREVENT LEAKAGE INTO A STORM SEWER OR DRAINWAY. CONTACT THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (IDEM) OFFICE OF LAND QUALITY EMERGENCY RESPONSE SECTION, IDEM 24-HOUR SPILL LINE AT 888-233-7745, OR 317-233-7745 UPON DISCOVERY OF AN ACCIDENT TO DETERMINE IDEM'S INVOLVEMENT AND PROCEDURES FOR CLEANUP.	
14.MONITORING AND MAINTENANCE GUIDELINES FOR EACH PROPOSED STORMWATER QUALITY MEASURE. * MONITORING AND MAINTENANCE: (1) INSPECT PRACTICES AND REPAIR AS REQUIRED AT LEAST ONCE A WEEK, & (2) WITHIN 24 HOURS OF EVERY 1/2" RAIN EVENT	
15.SOIL STOCKPILE AND STAGING AREA ALL DISTURBED GROUND SHALL NOT BE LEFT IDLE FOR MORE THAN 2 WEEKS WITHOUT SEEDING FOR STABILIZATION. SOIL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE AND SEEDED IF NOT USED WITHIN 2 WEEKS.	

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RUNNEBOHM EARLY  
LEARNING CENTER

2400 INTELLEX DRIVE  
SHELBYVILLE, IN 46176

CONSTRUCTION  
DOCUMENTS

NUMBER	DATE	DESCRIPTION							
1	06/05/2023	TAC REVISION							
2	07/06/2023	TAC REVISION							



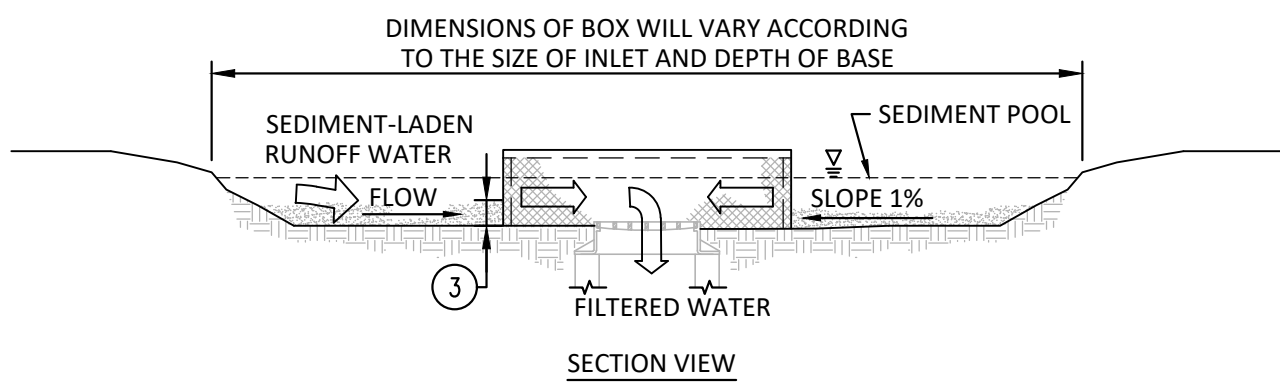
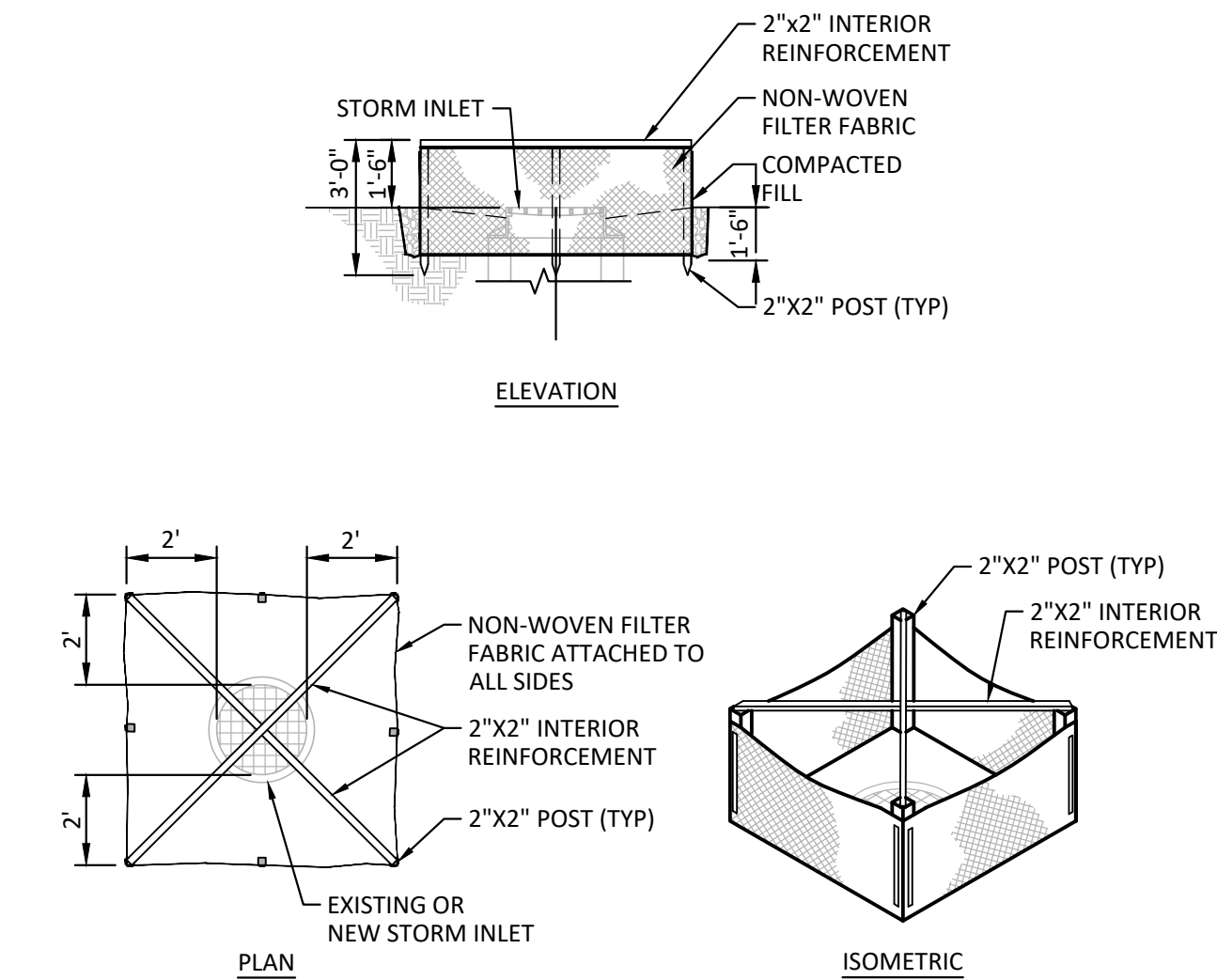
Andrew D. Swann

STORMWATER  
POLLUTION  
PREVENTION  
NOTES

SCALE: AS NOTED  
DATE: MAY 31, 2023  
PROJECT #: 22JPS-C83  
DRAWN: CLM  
COORD: ADS  
APPROVED: ADS

C110

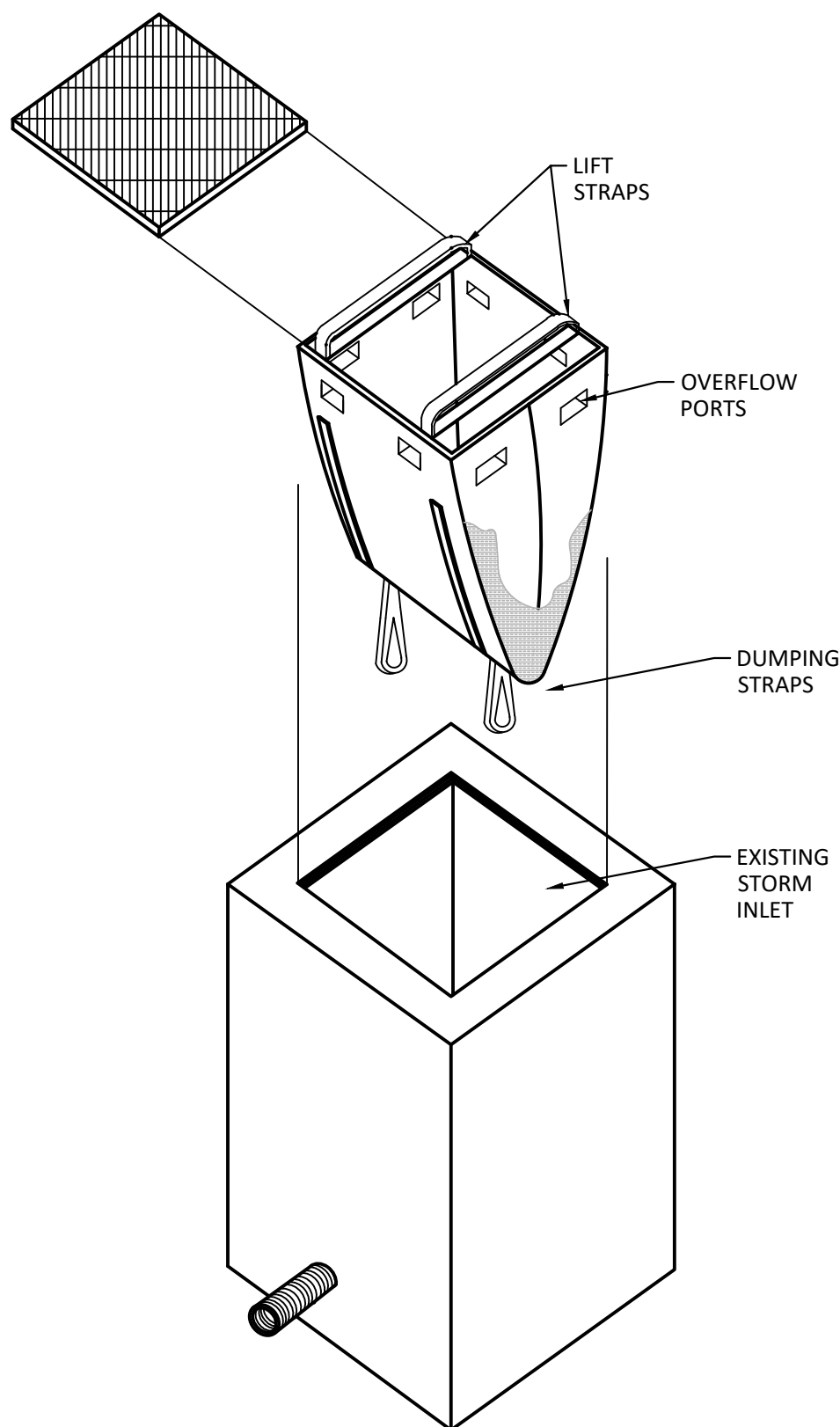




- NOTES:
1. INSTALL TEMPORARY AND PERMANENT SEDIMENT AND EROSION CONTROL PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER CONSTRUCTION OF NEW INLET STRUCTURE.
  2. REMOVE SEDIMENT DEPOSITS WHEN THEY REACH 1/3 THE FENCE HEIGHT.

## 6 SILT FENCE INLET PROTECTION DETAIL

NO SCALE



- REQUIREMENTS**
1. THE INLET PROTECTION UNIT SHALL BE A SEWN GEOTEXTILE FABRIC UNIT.
  2. THE UNIT SHALL HAVE LIFTING STRAPS TO ALLOW REMOVAL OF THE UNIT AND MANUAL INSPECTION OF THE STORM WATER SYSTEM.

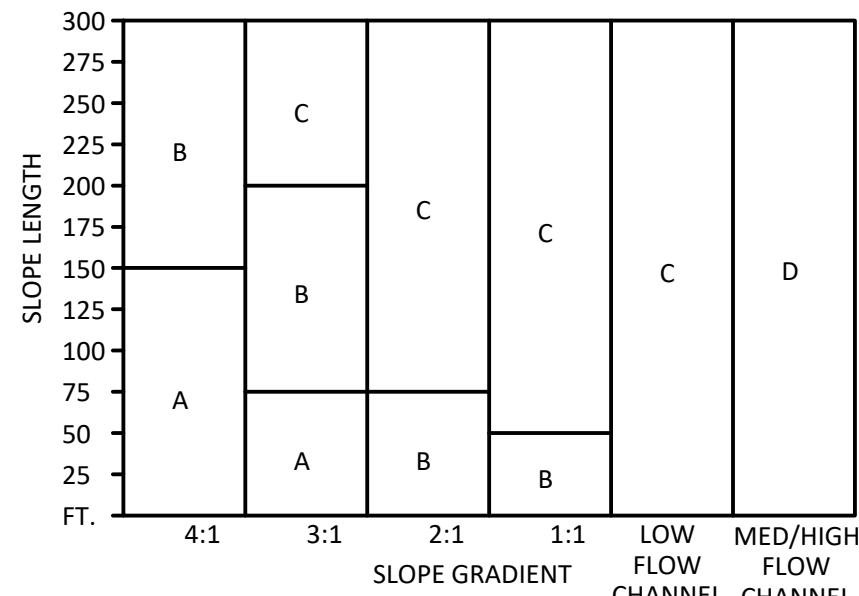
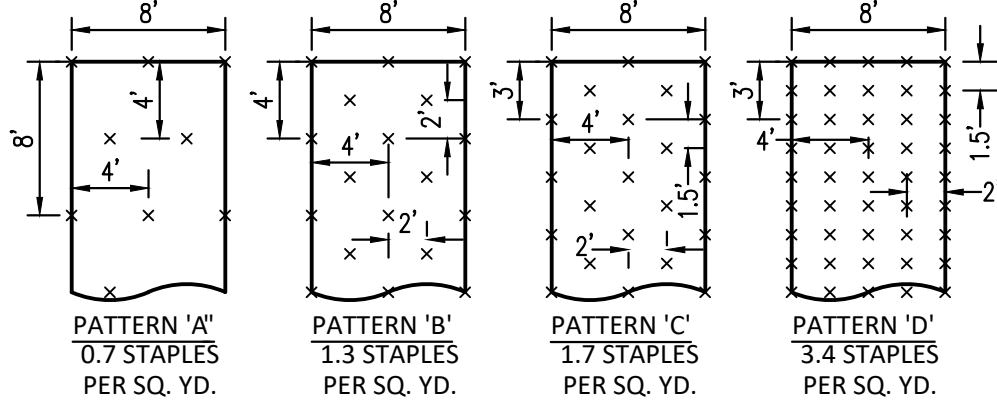
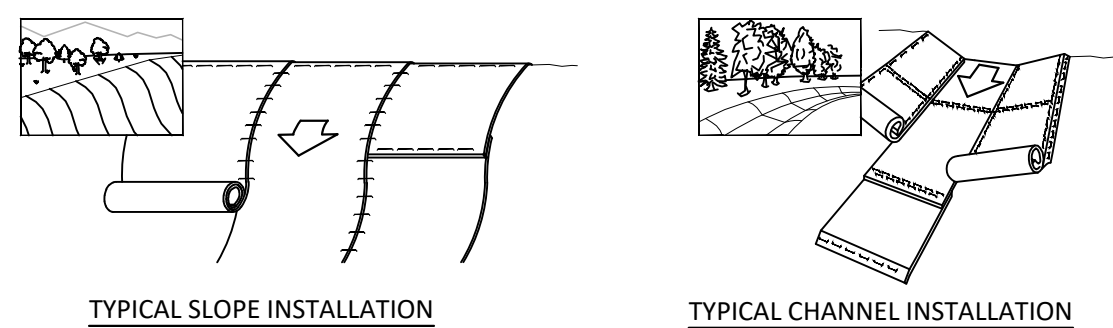
- INSTALLATION**
1. REMOVE THE GRATE FROM THE INLET AND STAND ON END.
  2. MOVE THE TOP BY LIFTING STRAP OUT OF THE WAY AND PLACE THE GRATE INTO THE UNIT SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS.
  3. INSERT THE GRATE INTO THE INLET UTILIZING THE LIFTING DEVICES.

- MAINTENANCE**
- REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM AROUND THE UNIT FOLLOWING EACH STORM EVENT. LOOK INTO THE UNIT FOLLOWING EACH STORM EVENT AND AT REGULAR INTERVALS. THE UNIT MUST BE EMPTIED IF IT IS MORE THAN 1/3 FULL OF ACCUMULATED SEDIMENT. EMPTY THE UNIT BY USING THE LIFTING STRAPS TO LIFT IT OUT OF THE INLET AND REMOVE THE GRATE. TRANSPORT THE UNIT TO AN APPROPRIATE LOCATION TO REMOVE CONTENTS. UTILIZING THE DUMPING STRAPS ON THE OUTSIDE AT THE BOTTOM OF THE UNIT, TURN THE UNIT UPSIDE DOWN, EMPTYING THE CONTENTS. REINSTALL THE UNIT.

- NOTES:
1. CURB INLET PROTECTION SHALL BE DANDY SACK OR APPROVED EQUAL.

## 5 INLET PROTECTION DETAIL

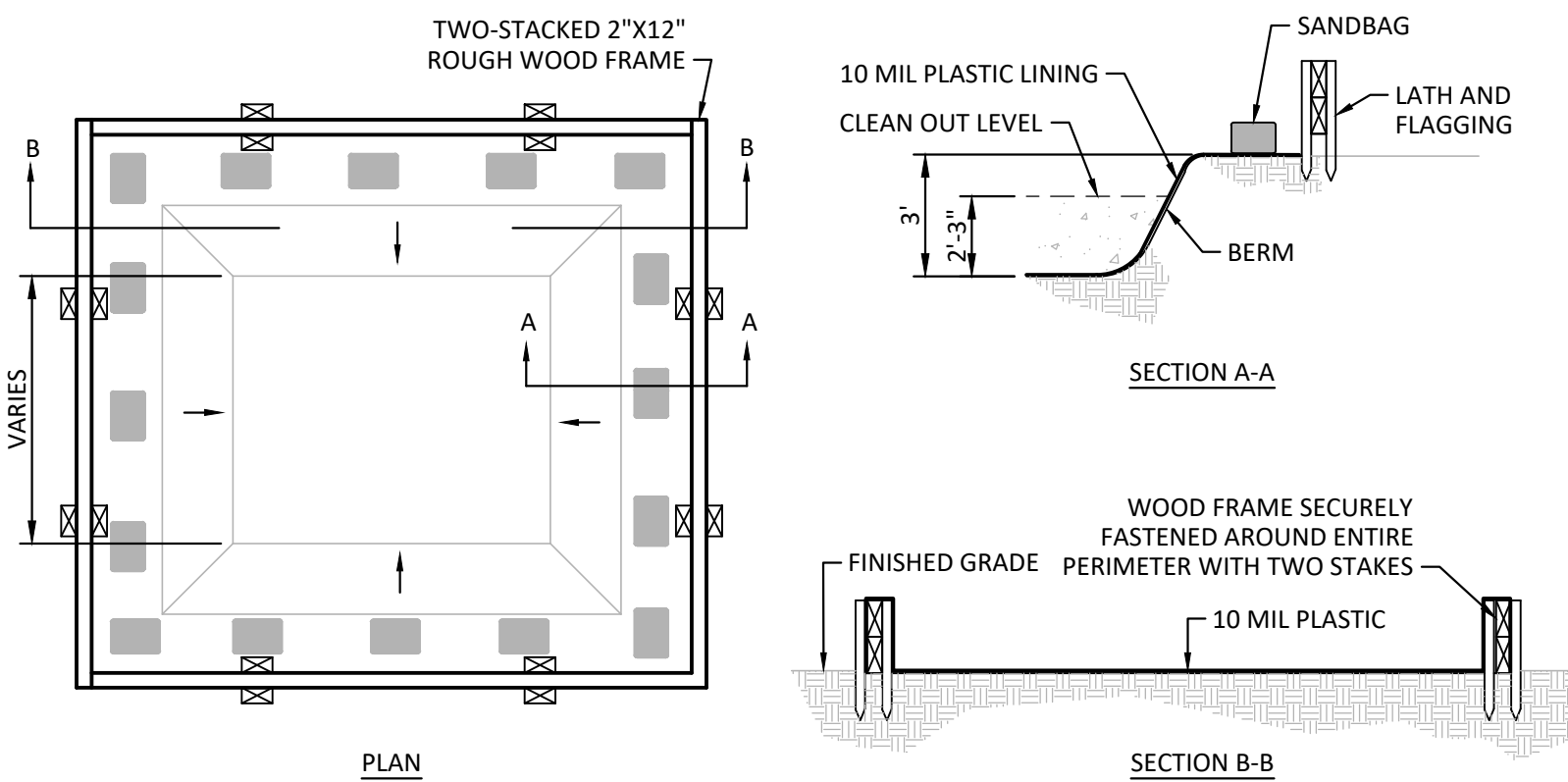
NO SCALE



- NOTES:
1. INSTALL TEMPORARY AND PERMANENT SEDIMENT AND EROSION CONTROL PRACTICES IMMEDIATELY AFTER LAND DISTURBING ACTIVITIES.
  2. GRADE SITE PER GRADING PLANS. PREPARE AND PLACE TOPSOIL PER SPECIFICATIONS.
  3. REFER TO EROSION CONTROL BLANKET MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION (ANCHORAGE, STAPLE PATTERN/SPACING, SPLICING, ETC.).

## 4 EROSION CONTROL BLANKET DETAIL

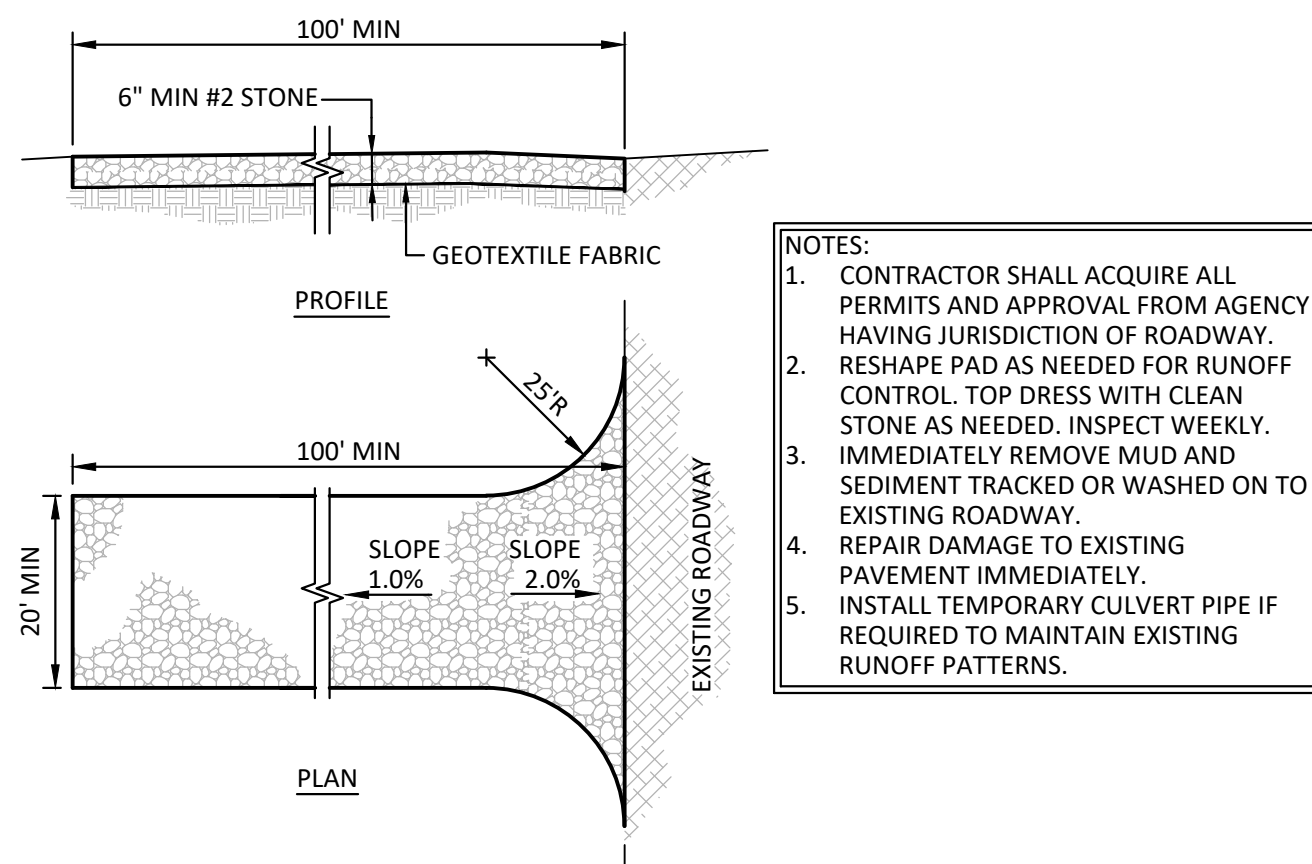
NO SCALE



- NOTES:
1. PORTLAND CEMENT CONCRETE WASTE SHALL NOT BE ALLOWED TO ENTER STORM DRAINS OR WATERCOURSES.
  2. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED AT LEAST 50 FEET FROM OPEN DRAINAGE FACILITIES AND WATERCOURSES. EACH FACILITY SHALL BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRUCKING.
  3. PERFORM WASHOUT OF MIX TRUCK CHUTES IN DESIGNATED AREAS ONLY.
  4. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITY SHALL BE RESTORED TO ORIGINAL GROUND WITH BERM AND SIMILAR SOIL MATERIALS.
  5. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 12 INCHES. MAINTAINING TEMPORARY WASHOUT FACILITIES SHALL INCLUDE REMOVING AND LEGALLY DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITY TO A FUNCTIONAL CONDITION.
  6. EXISTING FACILITIES MUST BE CLEANED, OR NEW FACILITIES CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
  7. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY FOR DAMAGE (TEARS IN THE LINER, MISSING SANDBAGS, ETC.). DAMAGED FACILITIES SHALL BE REPAIRED BEFORE FURTHER USE.
  8. CONTRACTOR TO INSTALL TEMPORARY SIGNAGE OF SUFFICIENT MATERIALS TO INDICATE THE LOCATION OF THE WASHOUT AREA TO MIX TRUCK DRIVERS.

## 1 CONCRETE WASHOUT AREA DETAIL

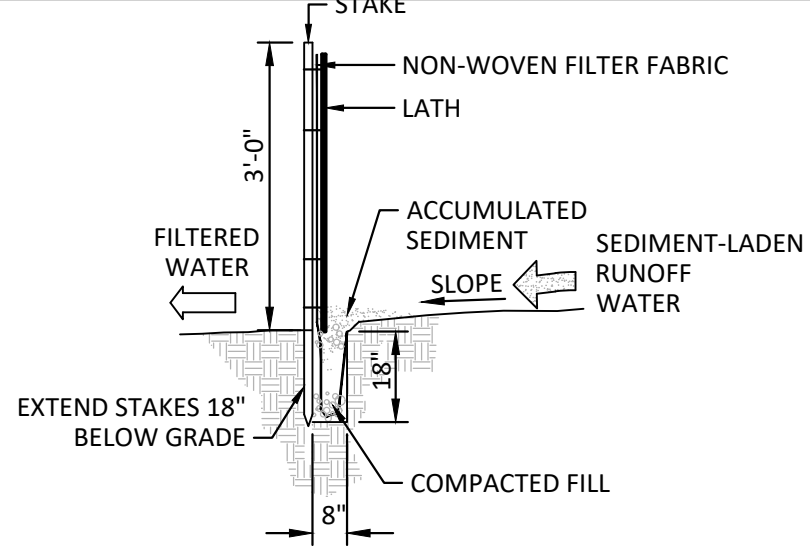
NO SCALE



- NOTES:
1. CONTRACTOR SHALL ACQUIRE ALL PERMITS AND APPROVAL FROM AGENCY HAVING JURISDICTION OF ROADWAY.
  2. RESHAPE PAD AS NEEDED FOR RUNOFF CONTROL. TOP DRESS WITH CLEAN STONE AS NEEDED. INSPECT WEEKLY.
  3. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ON TO EXISTING ROADWAY.
  4. REPAIR DAMAGE TO EXISTING PAVEMENT IMMEDIATELY.
  5. INSTALL TEMPORARY CULVERT PIPE IF REQUIRED TO MAINTAIN EXISTING RUNOFF PATTERNS.

## 3 CONSTRUCTION ENTRANCE DETAIL

NO SCALE



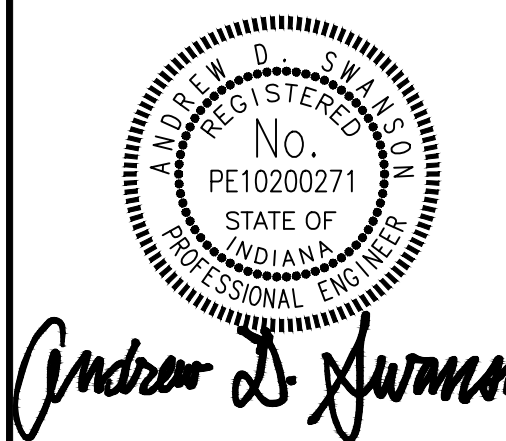
- NOTES:
1. INSTALL TEMPORARY AND PERMANENT SEDIMENT AND EROSION CONTROL PRACTICES PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES.
  2. REFER TO SPECIFICATIONS FOR SILT FENCE INFORMATION. INSTALL AND MAINTAIN PER MANUFACTURER'S RECOMMENDATIONS.

## 2 SILT FENCE DETAIL

NO SCALE

## CONSTRUCTION DOCUMENTS

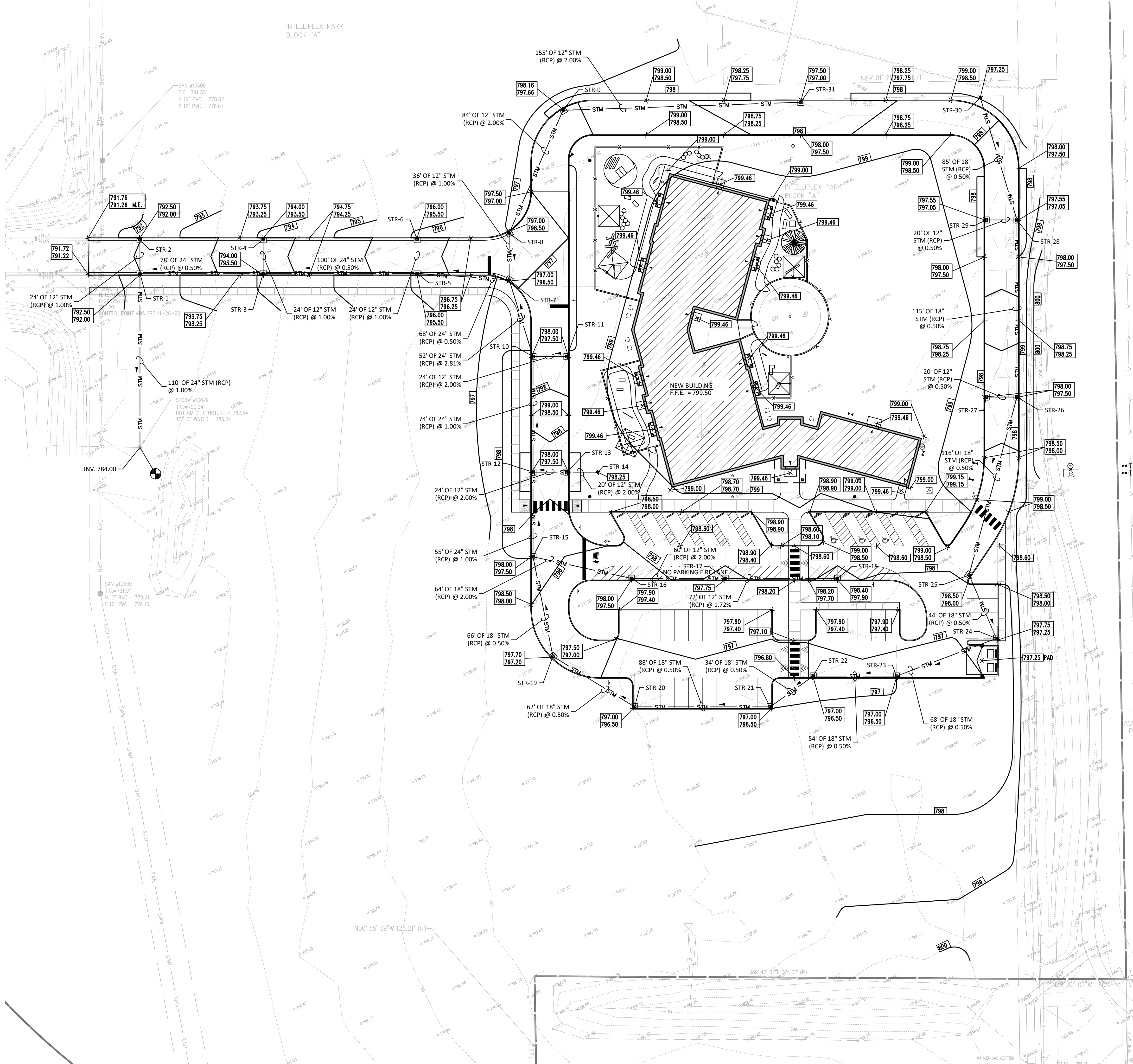
NUMBER	DATE	DESCRIPTION
1	06/05/2023	TAC REVISION
2	07/06/2023	TAC REVISION



## STORMWATER POLLUTION PREVENTION DETAILS

SCALE:	AS NOTED
DATE:	MAY 31, 2023
PROJECT #:	22JPC83
DRAWN:	CLM
COORD:	ADS
APPROVED:	ADS





- GENERAL NOTES**
- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, AND VERIFYING, THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, STATE AND FEDERAL AGENCIES PRIOR TO STARTING CONSTRUCTION.
  - B. CONTRACTOR SHALL VERIFY LOCATION AND INVERT ELEVATIONS OF EXISTING SEWERS PRIOR TO START OF CONSTRUCTION.
  - C. CONTRACTOR SHALL MAINTAIN A COMPLETE AND OPERABLE UTILITY SYSTEM AT ALL TIMES.
  - D. CONTRACTOR SHALL INCLUDE COSTS FOR CUTTING AND PATCHING AS REQUIRED IN THEIR BID PROPOSAL TO COMPLETELY INSTALL THE WORK INDICATED.
  - E. CONTRACTOR SHALL INCLUDE ALL TAP FEES, PERMIT FEES AND APPLICATION FEES IN THEIR BID PROPOSAL AS NECESSARY TO COMPLETELY INSTALL THE WORK INDICATED.
  - F. INFORMATION SHOWN WAS OBTAINED FROM AN OWNER FURNISHED SITE SURVEY OF EXISTING CONDITIONS AND IS UNCONFIRMED. CONTRACTOR IS REQUIRED TO FIELD VERIFY THIS INFORMATION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES SO MODIFICATION CAN BE MADE.
  - G. CONTRACTOR SHALL COORDINATE EXACT UTILITY LOCATIONS WITH THE OWNER AND LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY WORK. UTILIZE THE INDIANA UNDERGROUND UTILITY LOCATION SERVICE AT 811 OR 800-382-5544 PRIOR TO ANY EXCAVATION ON THE SITE.

STRUCTURE SCHEDULE						
MARK	INVERT		CASTING		STRUCTURE	
	INLET	OUTLET	ELEVATION	TYPE	TYPE	DETAIL
STR-1	E 785.10 N 786.10	785.10	792.00	R 3286-8V	STORM MANHOLE	C310
STR-2	-	786.34	792.00	R 3286-8V	STORM MANHOLE	C310
STR-3	E 785.49 N 786.49	785.49	793.50	R 3286-8V	STORM MANHOLE	C310
STR-4	-	786.73	793.50	R 3286-8V	STORM MANHOLE	C310
STR-5	E 785.99 N 786.99	785.99	795.50	R 3286-8V	STORM MANHOLE	C310
STR-6	-	787.23	795.50	R 3286-8V	STORM MANHOLE	C310
STR-7	E 786.33 N 787.33	786.33	796.50	R 3286-8V	STORM MANHOLE	C310
STR-8	788.15	787.69	796.50	R 3286-8V	STORM MANHOLE	C310
STR-9	789.83	789.83	797.66	R 2560-E	STORM MANHOLE	C310
STR-10	E 788.79 S 787.79	787.79	797.50	R 3286-8V	STORM MANHOLE	C310
STR-11	-	789.27	797.50	R 3286-8V	STORM MANHOLE	C310
STR-12	E 789.53 S 788.53	788.53	797.50	R 3286-8V	STORM MANHOLE	C310
STR-13	790.01	790.01	797.50	R 3286-8V	STORM MANHOLE	C310
STR-14	-	790.41	798.25	R 2560-E	STORM MANHOLE	C310
STR-15	E 789.58 S 789.08	789.08	797.50	R 3286-8V	STORM MANHOLE	C310
STR-16	791.36	790.86	797.50	R 3286-8V	STORM MANHOLE	C310
STR-17	792.56	792.56	797.75	R 3286-8V	STORM MANHOLE	C310
STR-18	-	793.80	797.80	R 3286-8V	STORM MANHOLE	C310
STR-19	789.41	789.41	797.20	R 3286-8V	STORM MANHOLE	C310
STR-20	789.72	789.72	796.50	R 3286-8V	STORM MANHOLE	C310
STR-21	790.16	790.16	796.50	R 3286-8V	STORM MANHOLE	C310
STR-22	790.83	790.33	796.50	R 3286-8V	STORM MANHOLE	C310
STR-23	791.11	791.11	796.50	R 3286-8V	STORM MANHOLE	C310
STR-24	791.45	791.45	797.25	R 3286-8V	STORM INLET	C310
STR-25	791.76	791.76	798.00	R 3286-8V	STORM INLET	C310
STR-26	N 792.34 W 792.84	792.34	797.50	R 3286-8V	STORM INLET	C310
STR-27	-	792.94	797.50	R 3286-8V	STORM INLET	C310
STR-28	N 792.92 W 793.42	792.92	797.05	R 3286-8V	STORM INLET	C310
STR-29	-	793.52	797.05	R 3286-8V	STORM INLET	C310
STR-30	-	793.34	797.25	R 2560-E	STORM INLET	C310
STR-31	-	792.93	797.00	R 3286-8V	STORM INLET	C310

SCALE: 1"=30'

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9365 Counsels Row, Suite 116  
Indianapolis, IN 46240  
ph 317.617.4270  
www.jpsconsultingengineers.com

**CONSTRUCTION  
DOCUMENTS**

NUMBER	DATE	DESCRIPTION
1	06/05/2023	TAC REVISION
2	07/06/2023	TAC REVISION

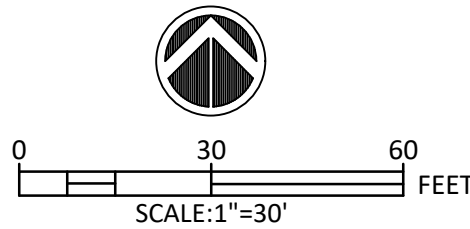
*Andrew D. Swann*

**OVERALL  
SITE  
GRADING &  
DRAINAGE  
PLAN**

SCALE: 1" = 30'  
DATE: MAY 31, 2023  
PROJECT #: 22JPS083  
DRAWN: CLM  
COORD: ADS  
APPROVED: ADS

**C300**





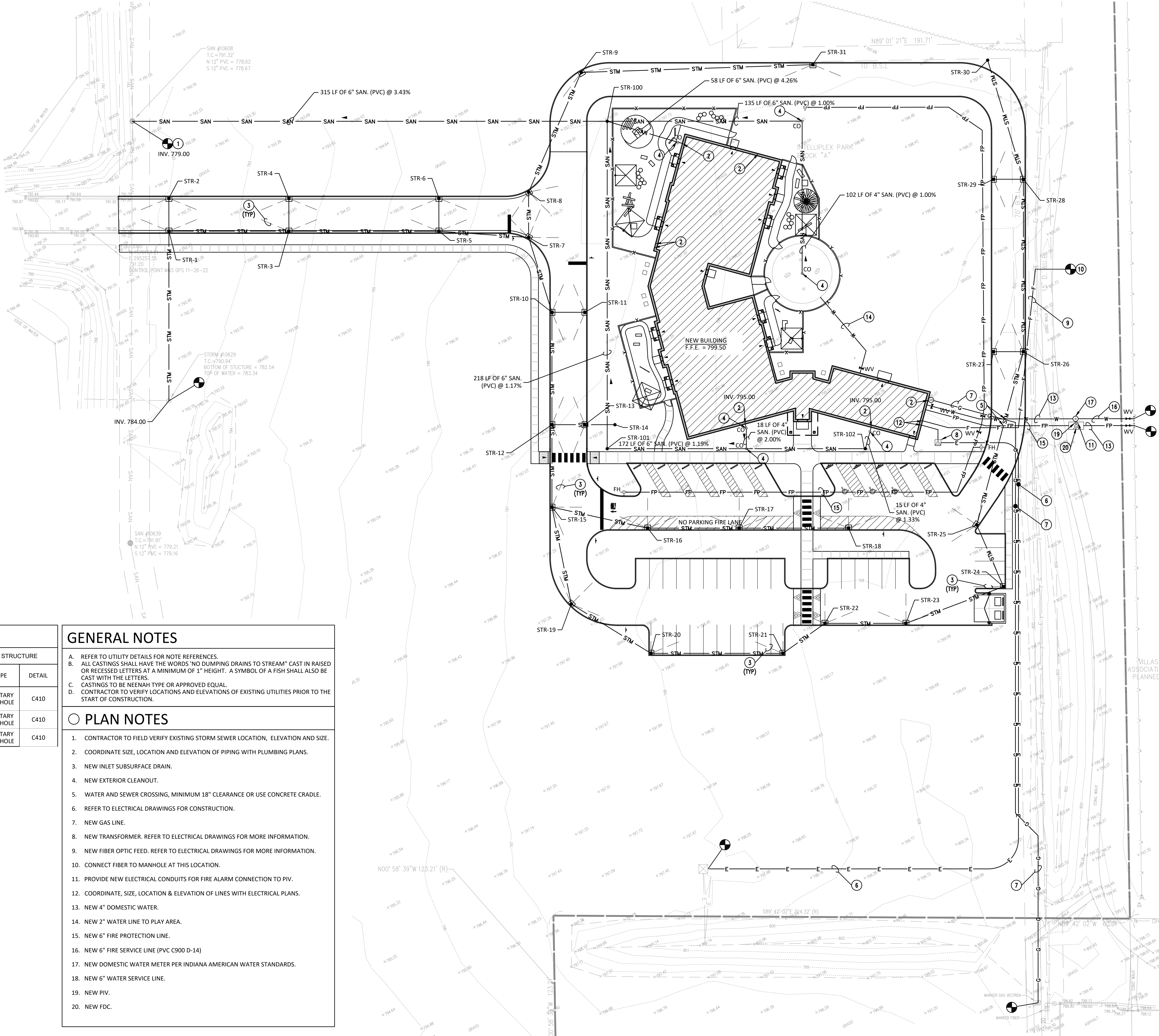
STRUCTURE SCHEDULE						
MARK	INVERT		CASTING		STRUCTURE	
	INLET	OUTLET	ELEVATION	TYPE	TYPE	DETAIL
STR-100	789.92 E 789.92 SE 789.92 S	789.82	797.50	R1712	SANITARY MANHOLE	C410
STR-101	792.56	792.46	798.75	R1772	SANITARY MANHOLE	C410
STR-102	794.76	794.66	799.00	R1772	SANITARY MANHOLE	C410

## GENERAL NOTES

- REFER TO UTILITY DETAILS FOR NOTE REFERENCES.
- ALL CASTINGS SHALL HAVE THE WORDS "NO DUMPING DRAINS TO STREAM" CAST IN RAISED OR RECESSED LETTERS AT A MINIMUM OF 1" HEIGHT. A SYMBOL OF A FISH SHALL ALSO BE CAST WITH THE LETTERS.
- CASTINGS TO BE NEENAH TYPE OR APPROVED EQUAL.
- CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.

## PLAN NOTES

- CONTRACTOR TO FIELD VERIFY EXISTING STORM SEWER LOCATION, ELEVATION AND SIZE.
- COORDINATE SIZE, LOCATION AND ELEVATION OF PIPING WITH PLUMBING PLANS.
- NEW INLET SUBSURFACE DRAIN.
- NEW EXTERIOR CLEANOUT.
- WATER AND SEWER CROSSING, MINIMUM 18" CLEARANCE OR USE CONCRETE CRADLE.
- REFER TO ELECTRICAL DRAWINGS FOR CONSTRUCTION.
- NEW GAS LINE.
- NEW TRANSFORMER. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- NEW FIBER OPTIC FEED. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- CONNECT FIBER TO MANHOLE AT THIS LOCATION.
- PROVIDE NEW ELECTRICAL CONDUITS FOR FIRE ALARM CONNECTION TO PIV.
- COORDINATE, SIZE, LOCATION & ELEVATION OF LINES WITH ELECTRICAL PLANS.
- NEW 4" DOMESTIC WATER.
- NEW 2" WATER LINE TO PLAY AREA.
- NEW 6" FIRE PROTECTION LINE.
- NEW 6" FIRE SERVICE LINE (PVC C900 D-14)
- NEW DOMESTIC WATER METER PER INDIANA AMERICAN WATER STANDARDS.
- NEW 6" WATER SERVICE LINE.
- NEW PIV.
- NEW FDC.



## CONSTRUCTION DOCUMENTS

NUMBER	DATE	DESCRIPTION
1	06/05/2023	TAC REVISION
2	07/06/2023	TAC REVISION



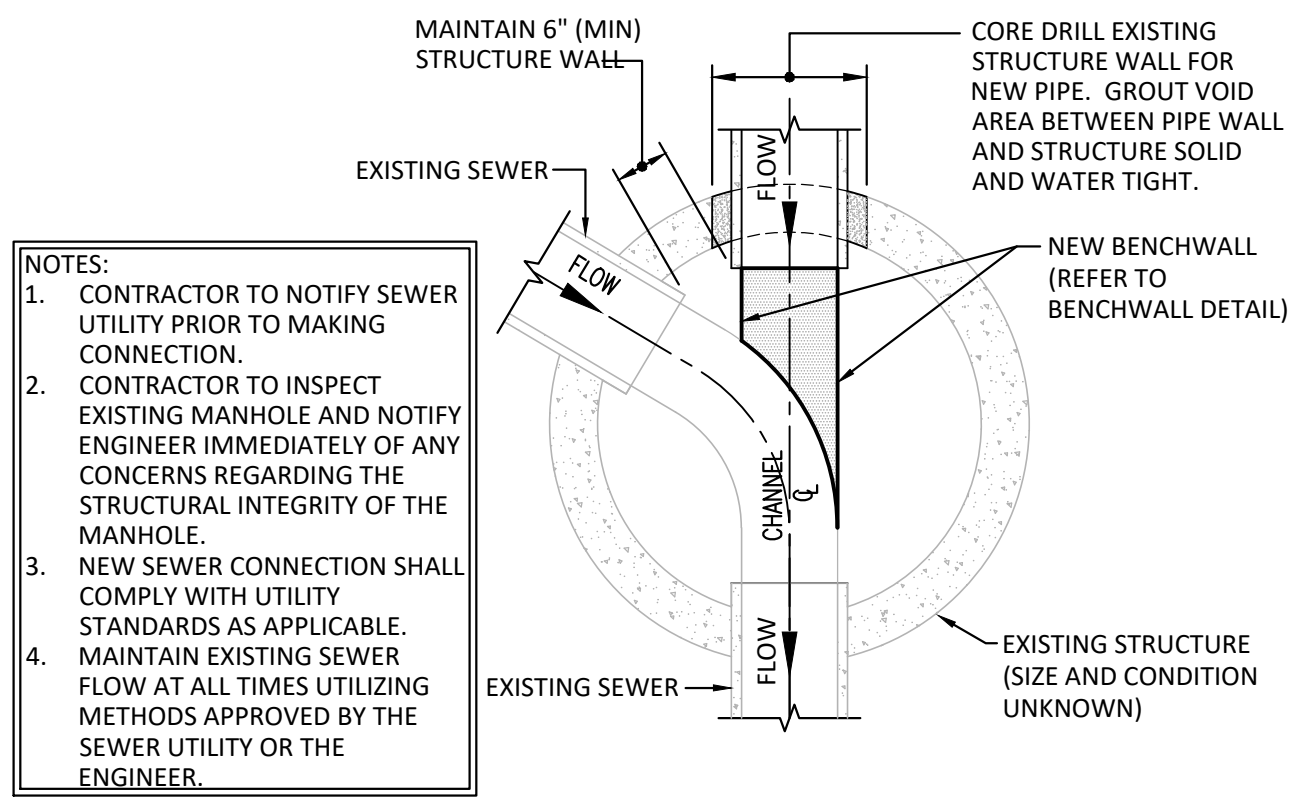
Andrew D. Swann

## OVERALL SITE UTILITY PLAN

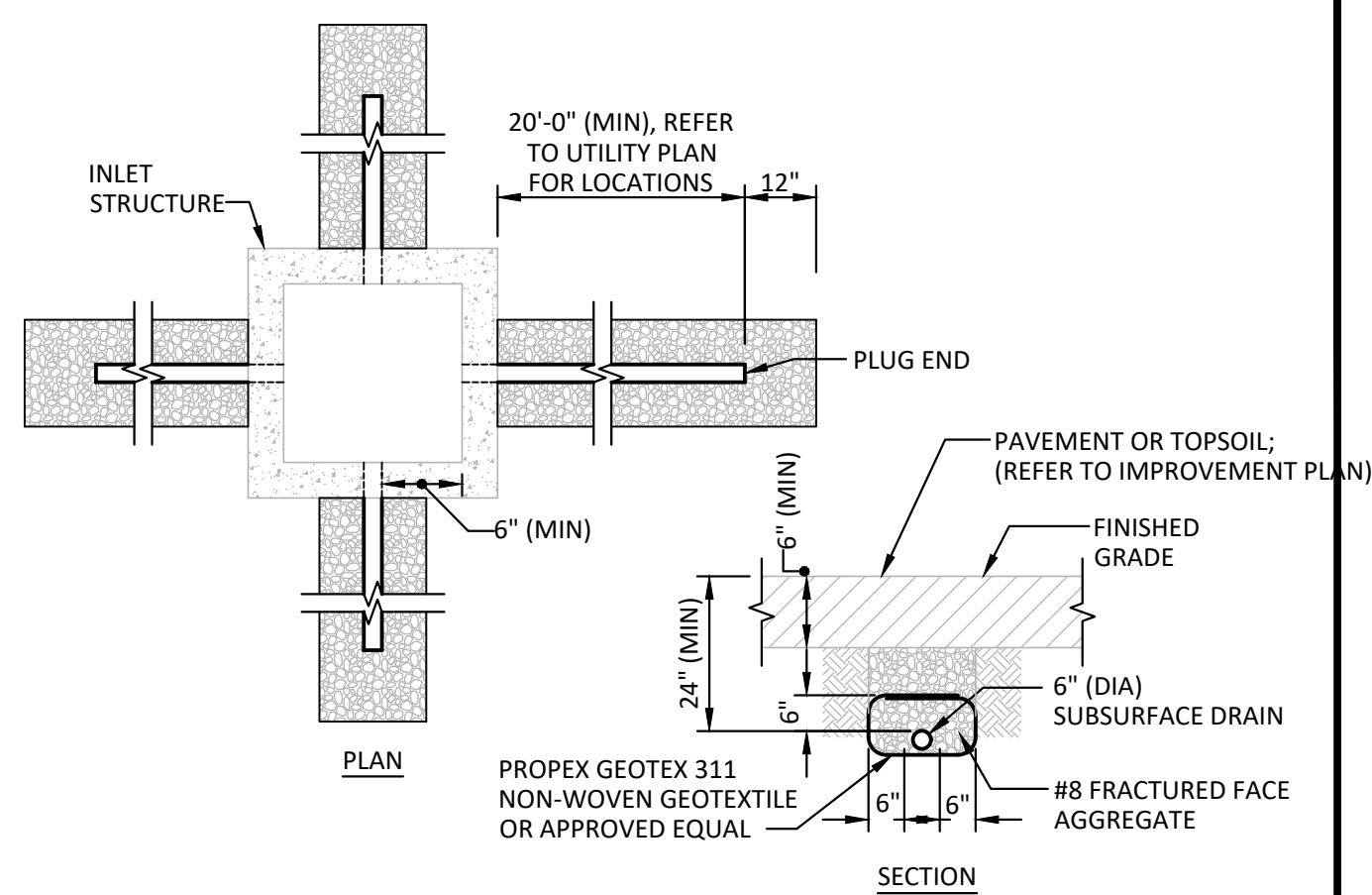
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DATE:	MAY 31, 2023
PROJECT #:	22JPS083
DRAWN:	CLM
COORD:	ADS
APPROVED:	ADS

C400

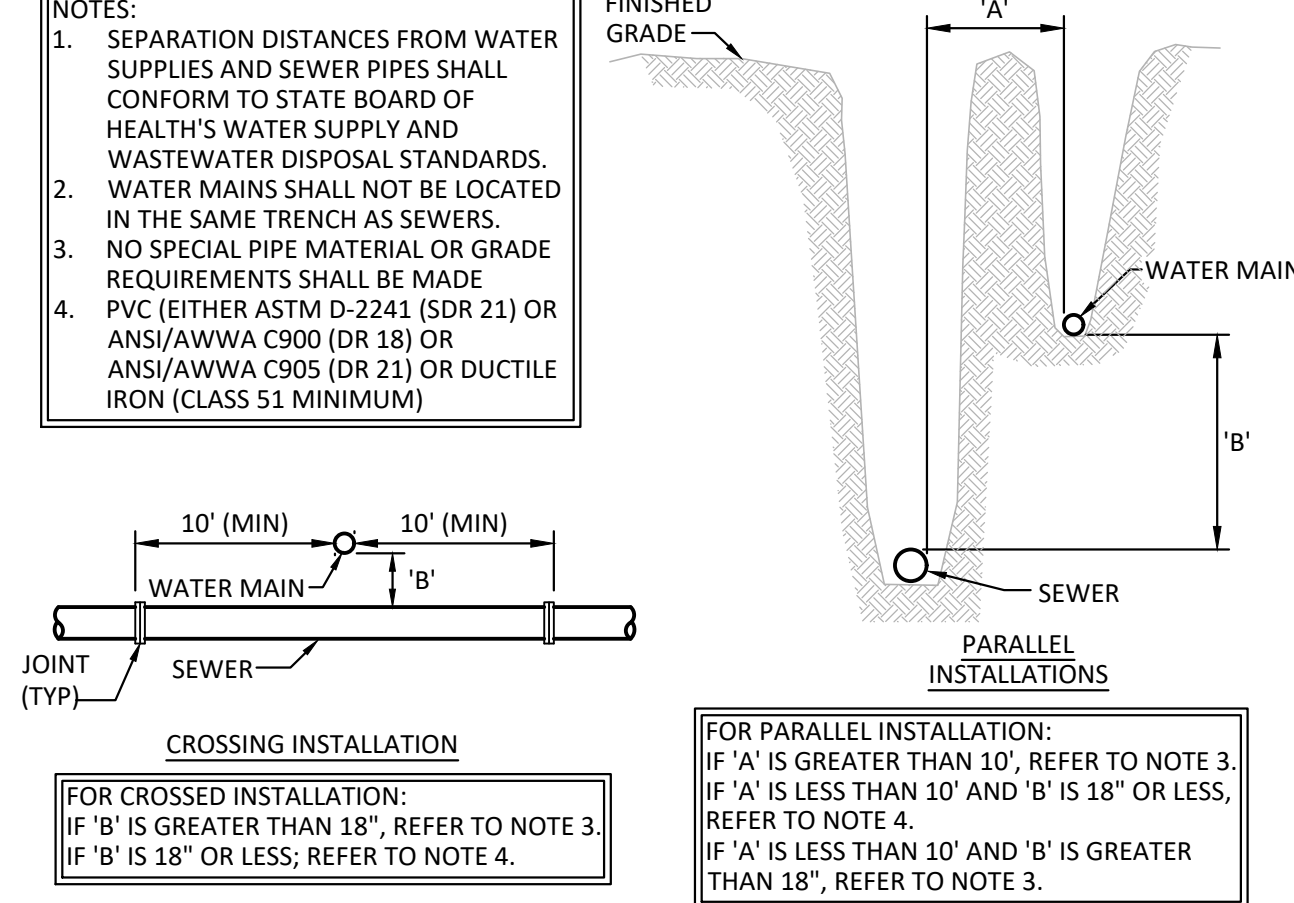




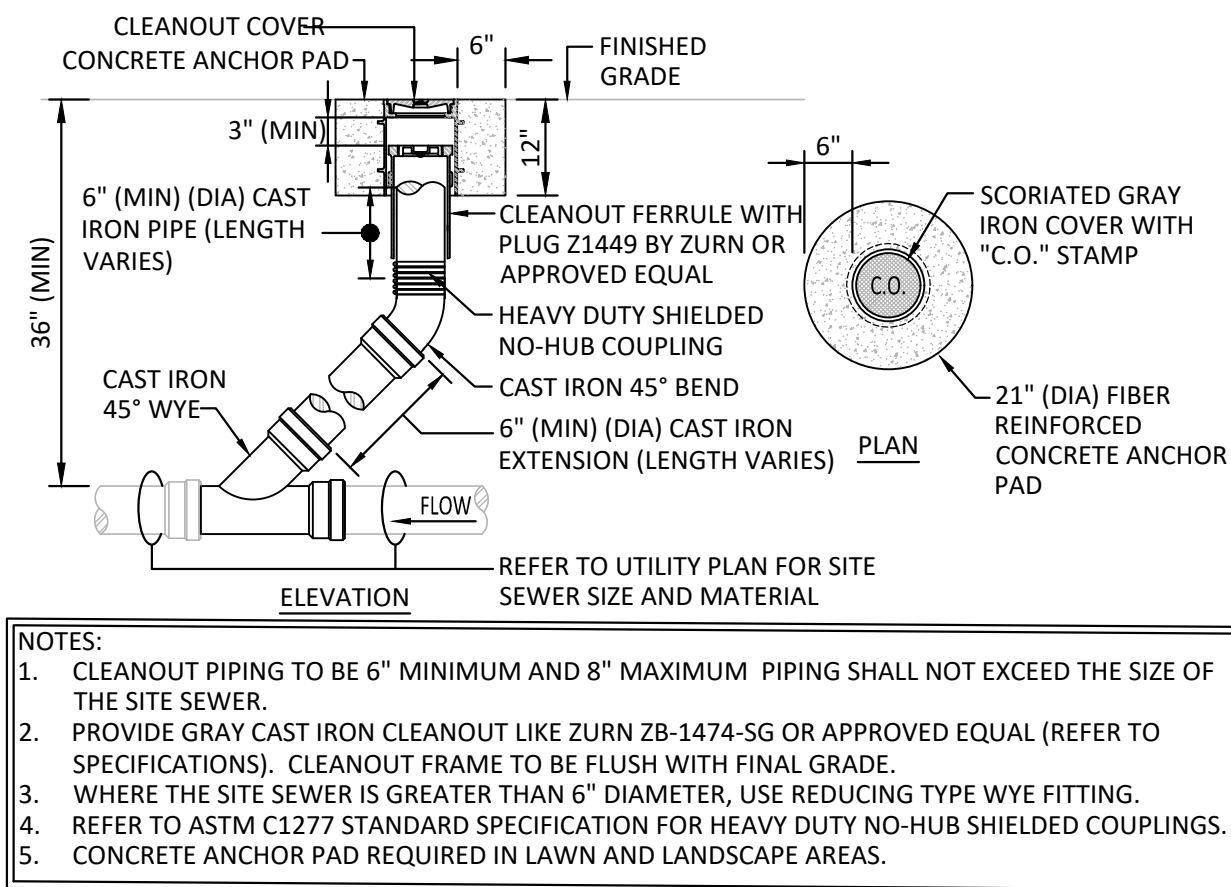
9 NEW STORM PIPE TO EXISTING STORM MANHOLE DETAIL  
(FOR EXISTING STRUCTURE DIAMETERS GREATER THAN 48")



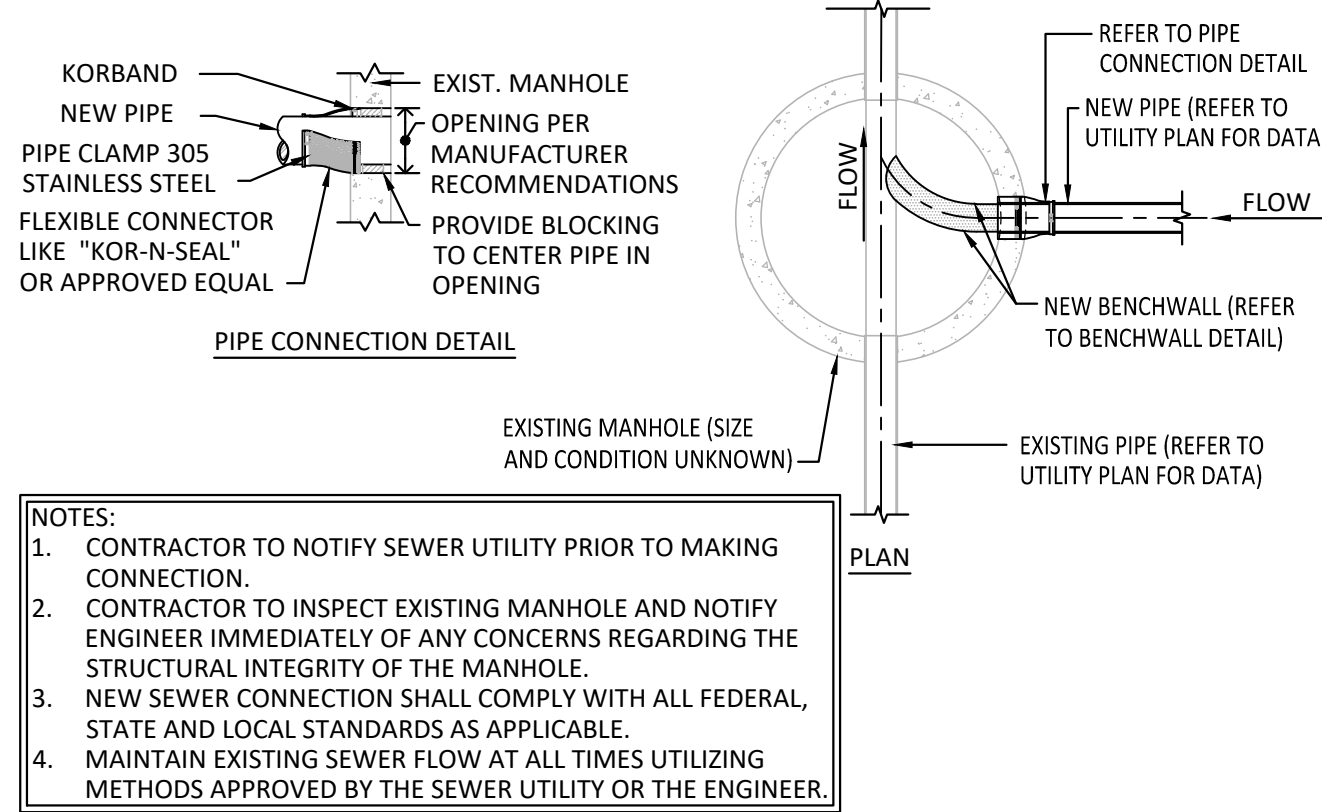
7 INLET SUBSURFACE DRAIN DETAIL  
NO SCALE



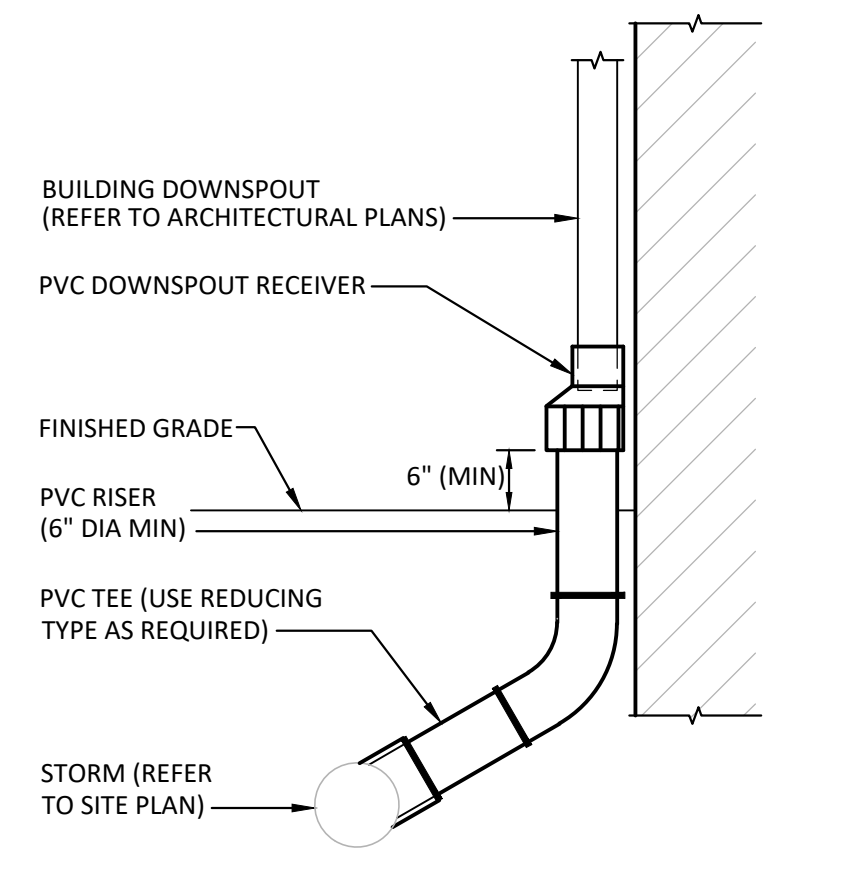
3 WATER AND SEWER CROSSING DETAIL  
NO SCALE



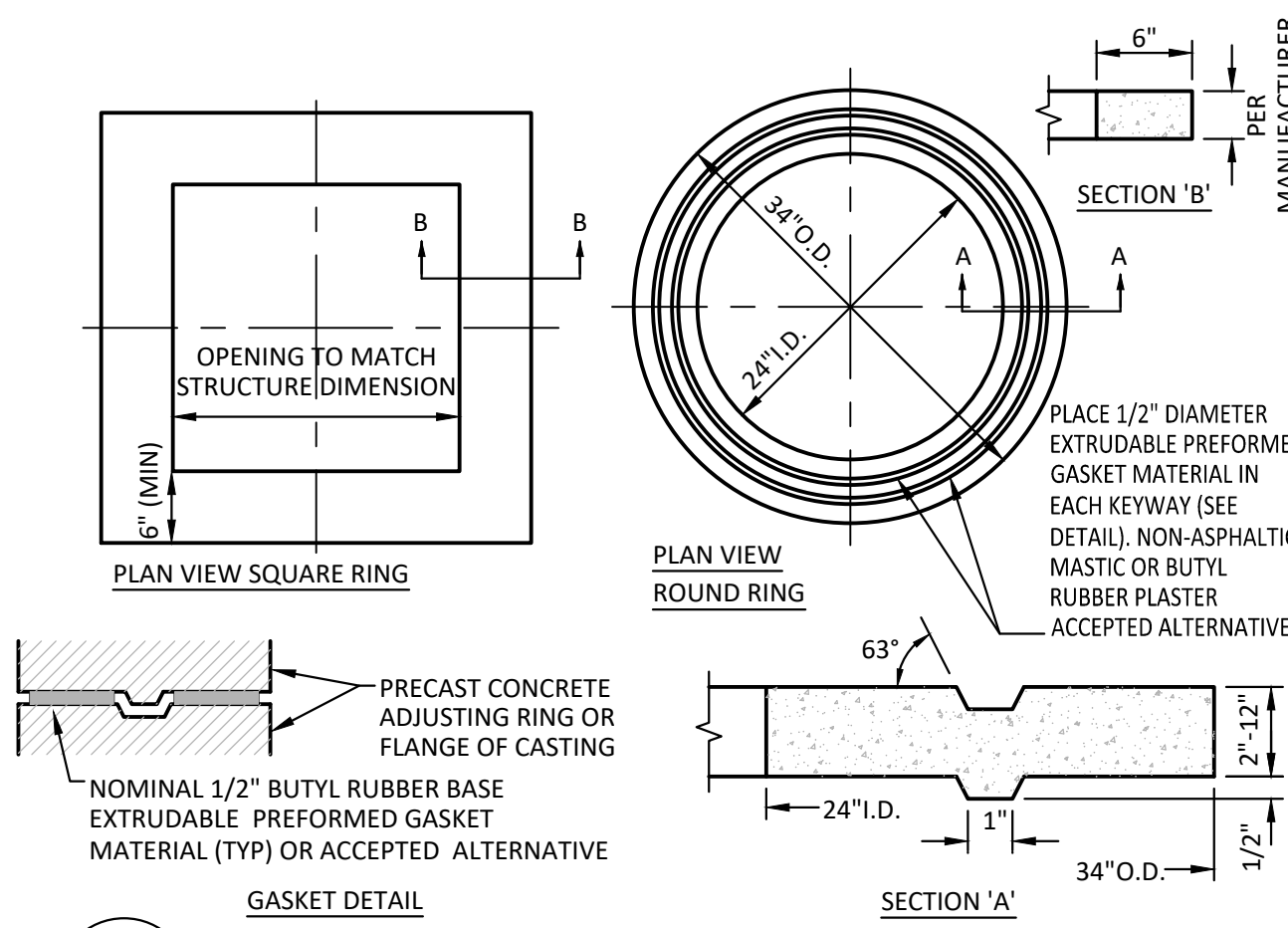
12 EXTERIOR CLEANOUT DETAIL  
NO SCALE



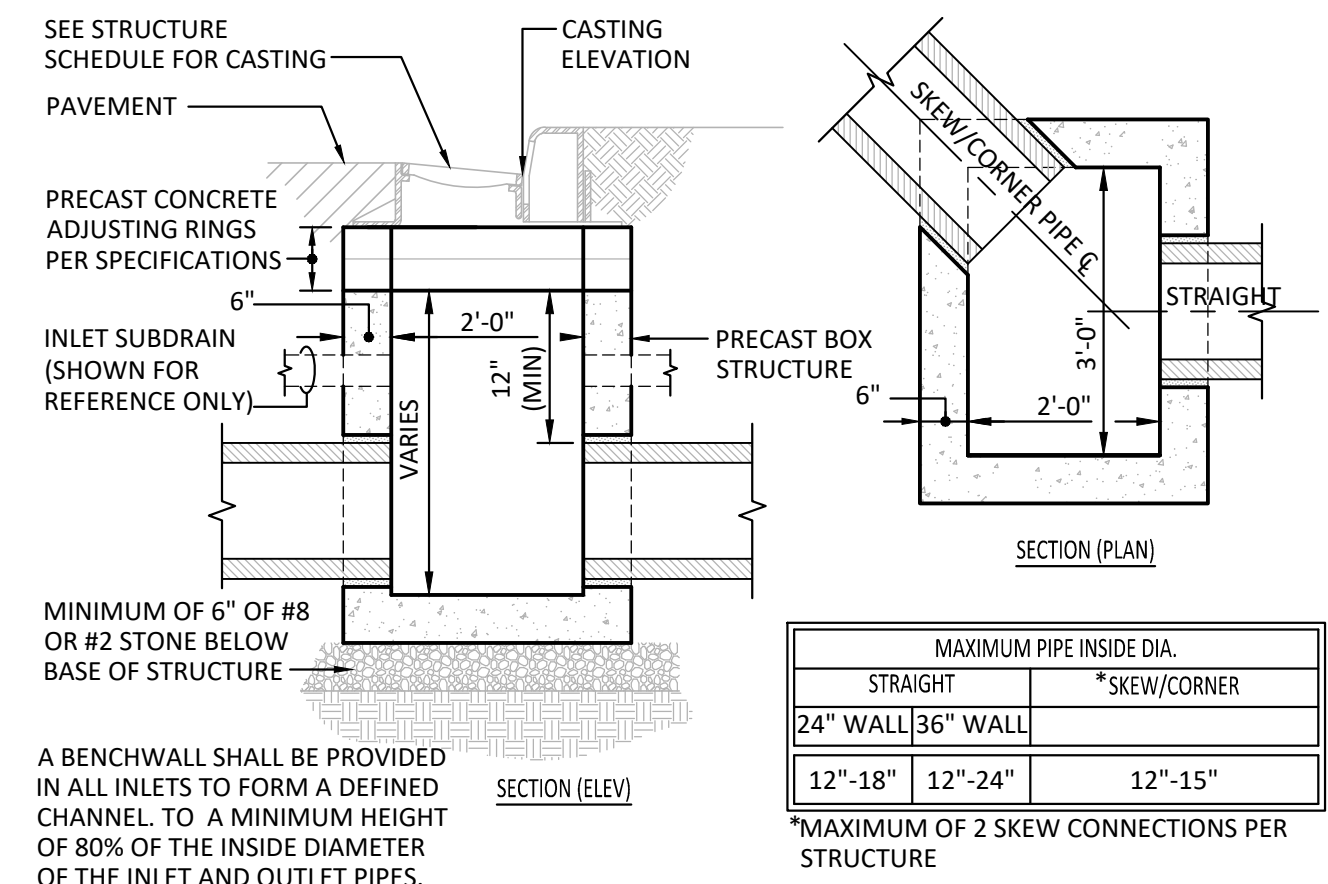
8 NEW SANITARY PIPE TO EXISTING SANITARY MANHOLE DETAIL  
(FOR EXISTING STRUCTURE DIAMETERS GREATER THAN 48")



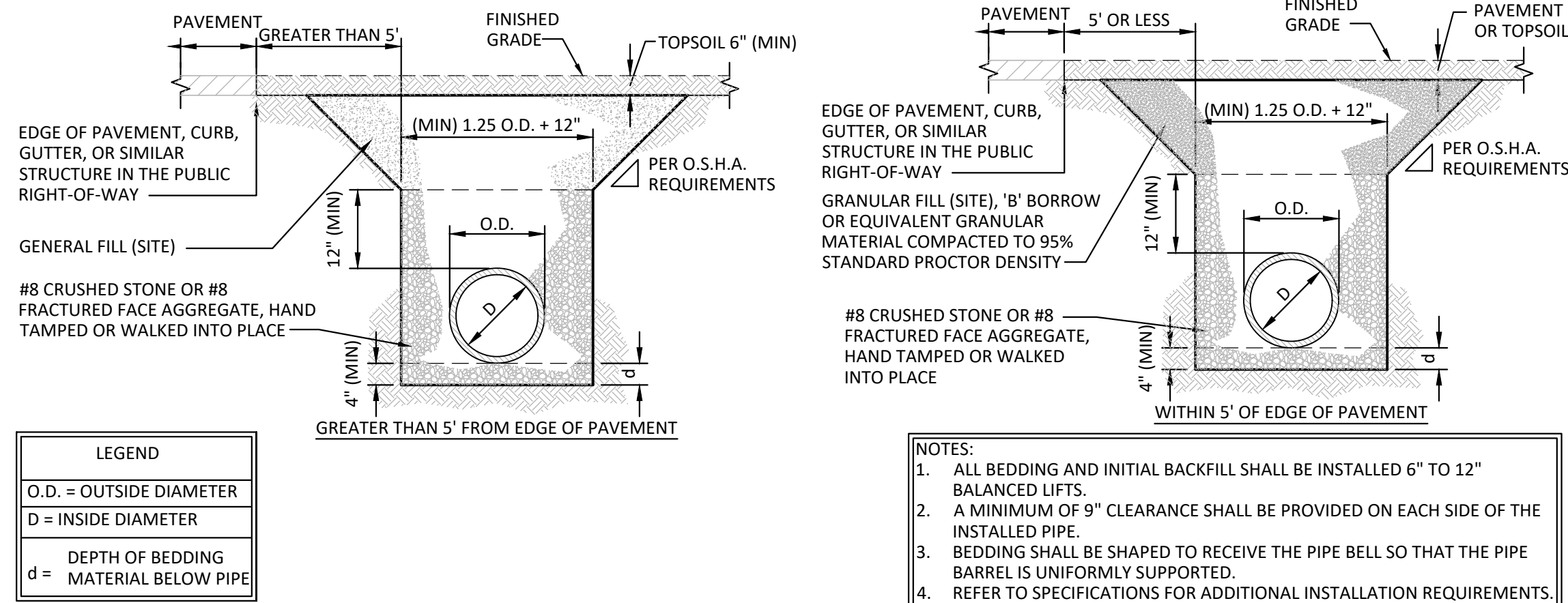
6 DOWNSPOUT ADAPTER DETAIL  
NO SCALE



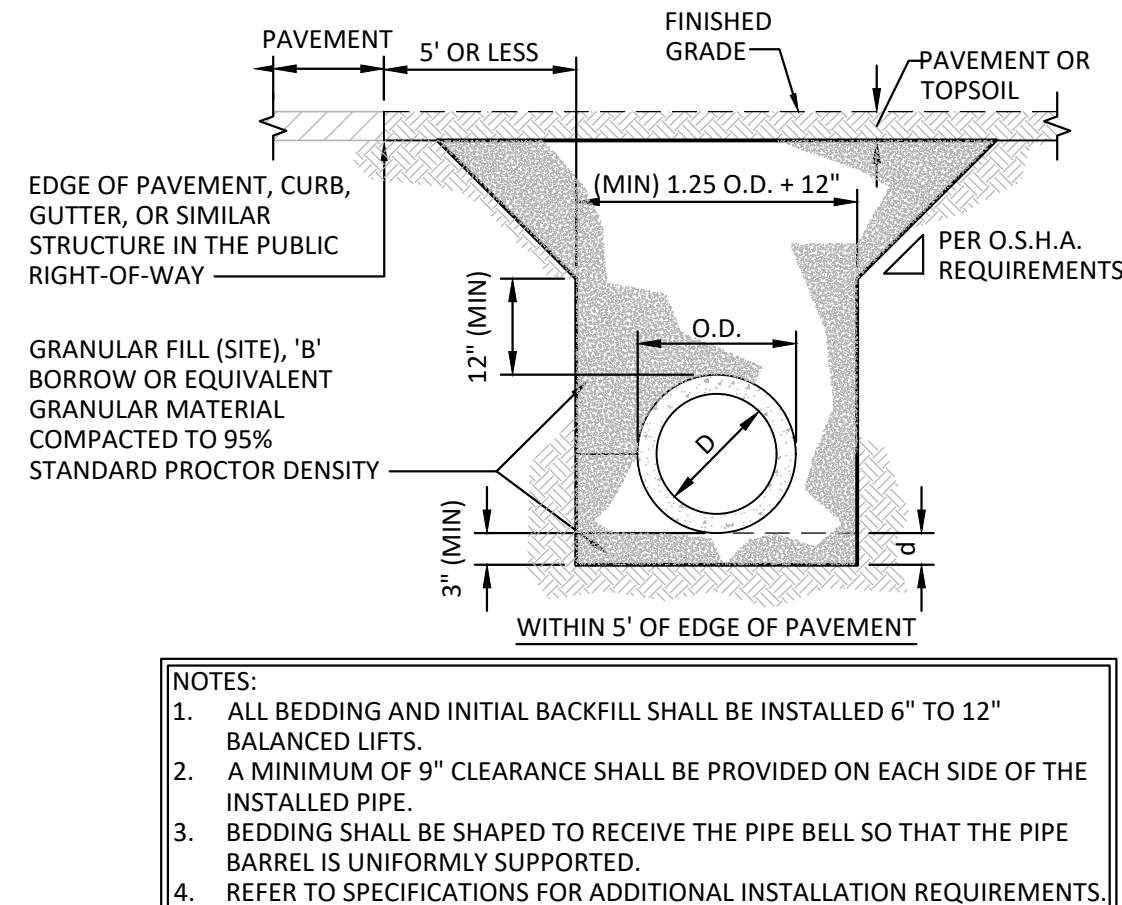
2 PRECAST CONCRETE ADJUSTING RING DETAIL  
NO SCALE



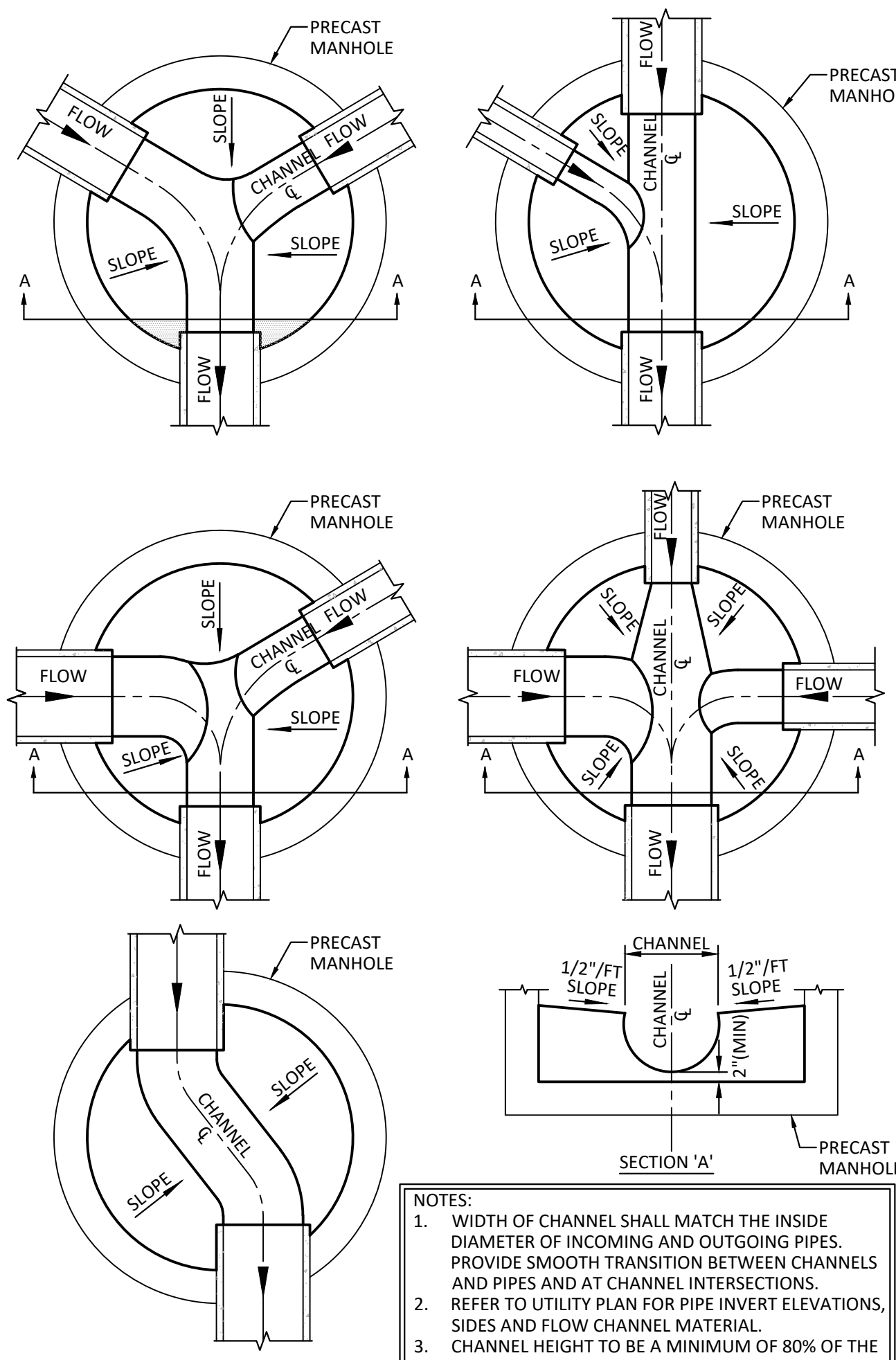
11 INLET BOX DETAIL (24"x36")  
NO SCALE



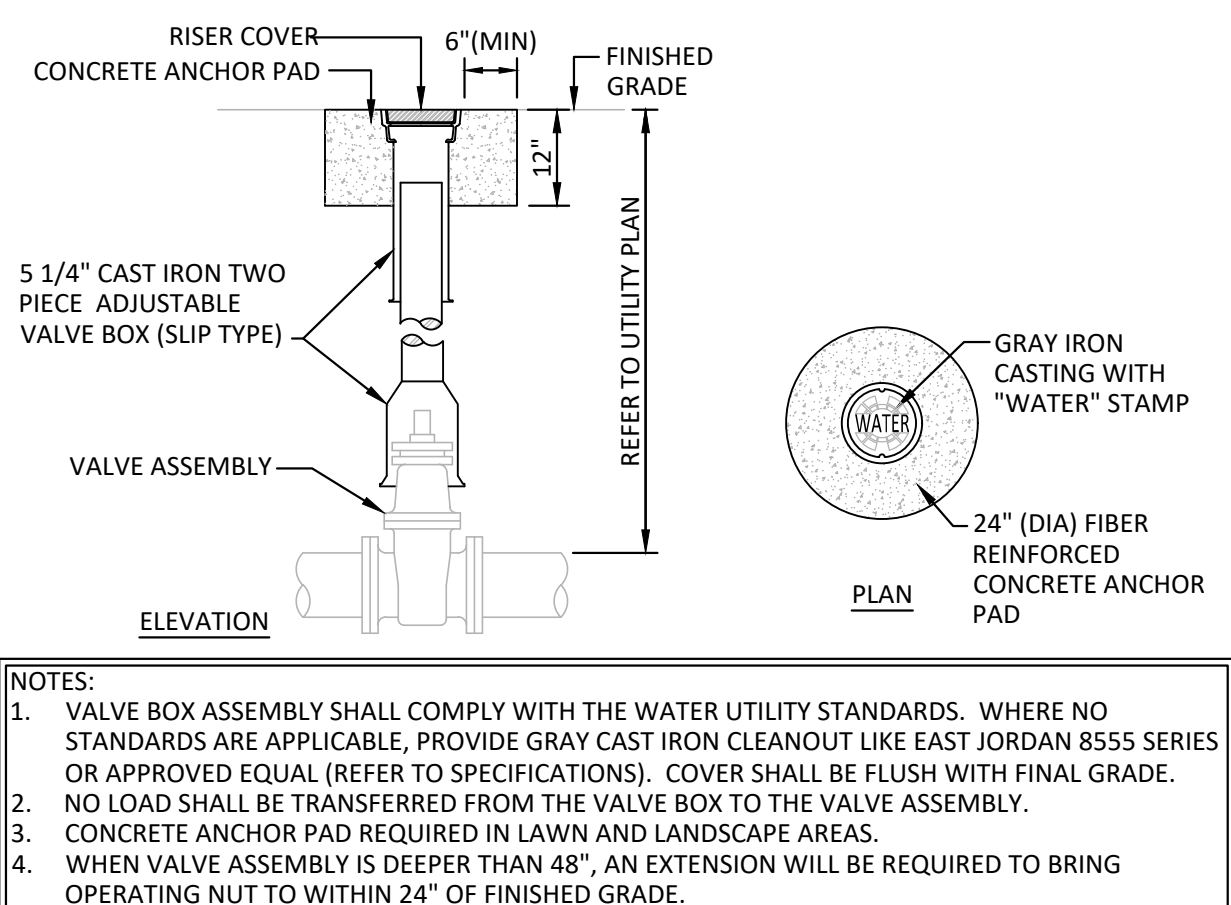
5 FLEXIBLE PIPE (PVC & HDPE) BEDDING DETAIL  
NO SCALE



4 RIGID PIPE (RCP) BEDDING DETAIL  
NO SCALE

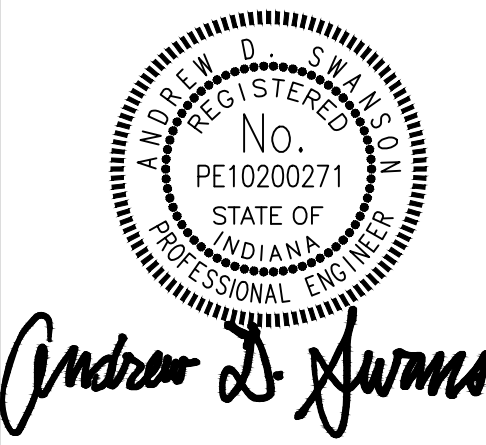


1 MANHOLE BENCHWALL DETAIL  
NO SCALE



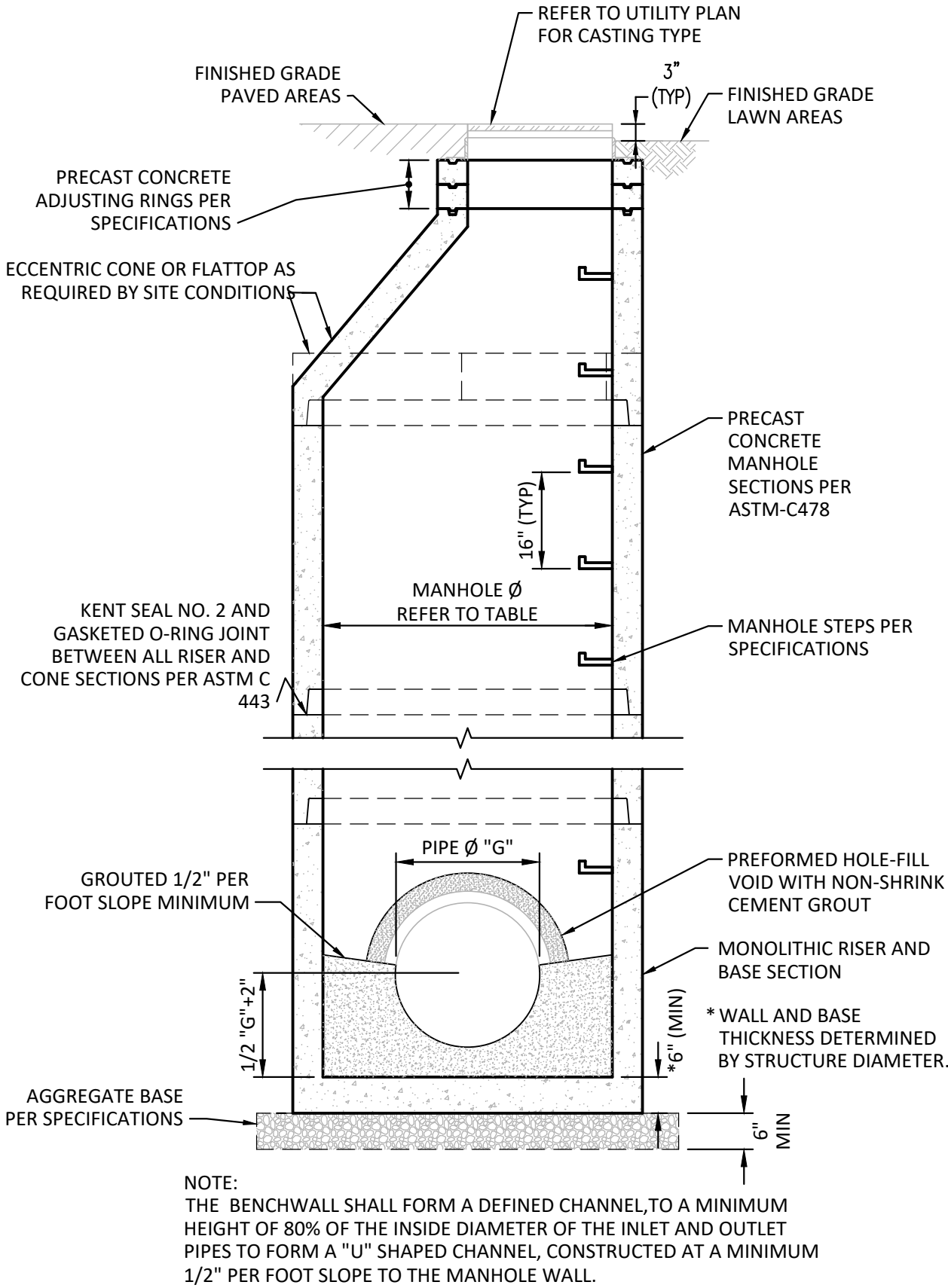
10 WATER VALVE BOX DETAIL  
NO SCALE

NUMBER	DATE	DESCRIPTION
1	06/05/2023	TAC REVISION
2	07/06/2023	TAC REVISION

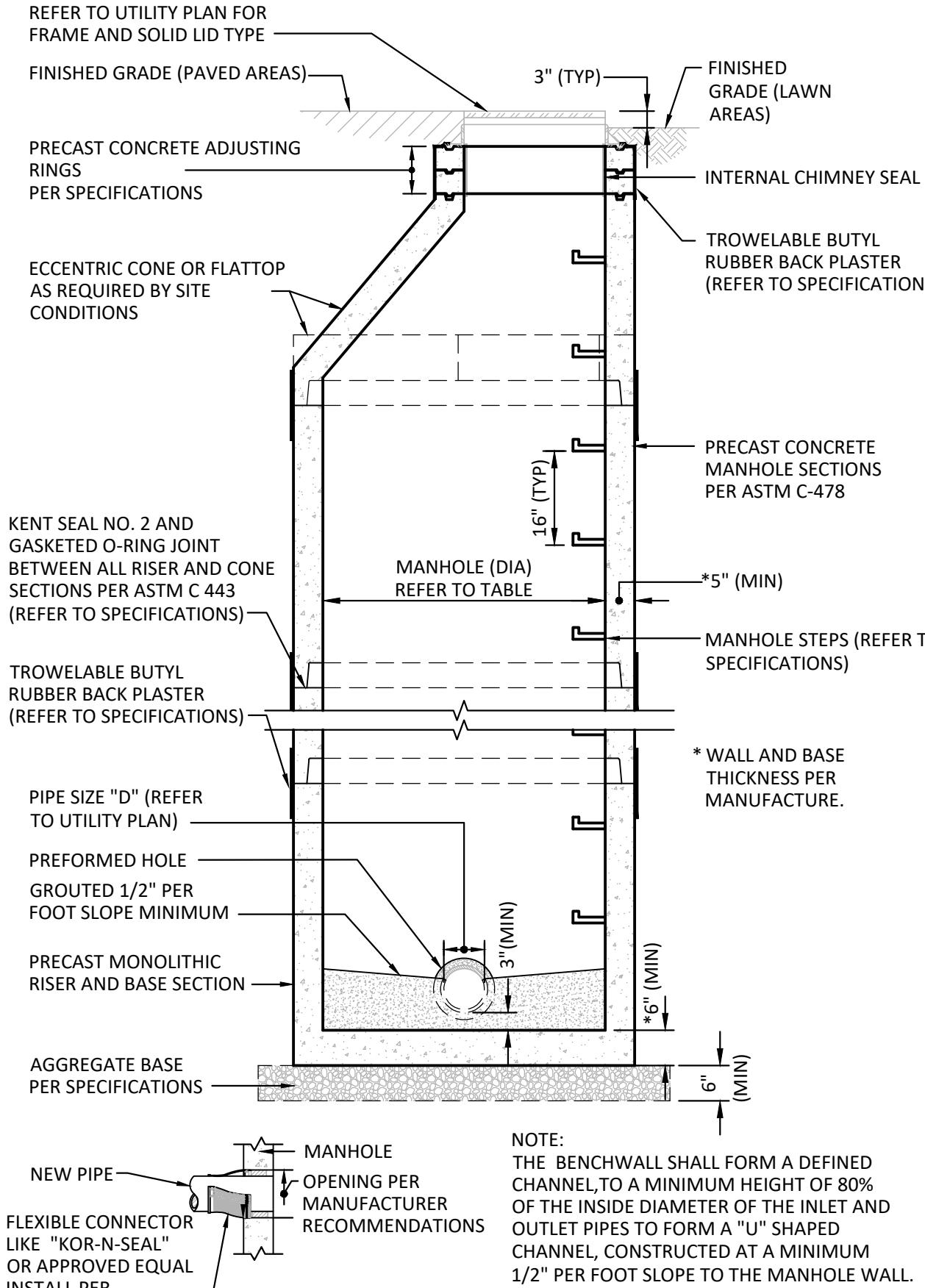


SCALE:	1" = 30"
DATE:	MAY 31, 2023
PROJECT #:	22JPC83
DRAWN:	CLM
COORD:	ADS
APPROVED:	ADS





14 STORM MANHOLE DETAIL  
NO SCALE



13 SANITARY MANHOLE DETAIL  
(FOR MAINLINE PIPE DIAMETERS 8" TO 30")  
NO SCALE

CONSTRUCTION  
DOCUMENTS

NUMBER	DATE	DESCRIPTION
A	06/05/2023	TAC REVISION
2	07/06/2023	TAC REVISION



Andrew D. Swann

SITE  
UTILITY  
DETAILS

SCALE: 1" = 30"  
DATE: MAY 31, 2023  
PROJECT #: 22JPS083  
DRAWN: CLM  
COORD: ADS  
APPROVED: ADS

C411

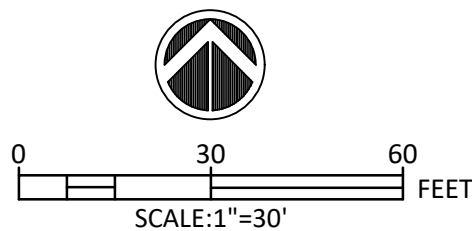


- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, AND VERIFYING, THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, STATE AND FEDERAL AGENCIES PRIOR TO STARTING CONSTRUCTION.
- B. CONTRACTOR SHALL VERIFY LOCATION AND INVERT ELEVATIONS OF EXISTING SEWERS PRIOR TO START OF CONSTRUCTION.
- C. CONTRACTOR SHALL MAINTAIN A COMPLETE AND OPERABLE UTILITY SYSTEM AT ALL TIMES.
- D. CONTRACTOR SHALL INCLUDE COSTS FOR CUTTING AND PATCHING AS REQUIRED IN THEIR BID PROPOSAL TO COMPLETELY INSTALL THE WORK INDICATED.
- E. CONTRACTOR SHALL INCLUDE ALL TAP FEES, PERMIT FEES AND APPLICATION FEES IN THEIR BID PROPOSAL AS NECESSARY TO COMPLETELY INSTALL THE WORK INDICATED.
- F. INFORMATION SHOWN WAS OBTAINED FROM AN OWNER FURNISHED SITE SURVEY OF EXISTING CONDITIONS AND IS UNCONFIRMED. CONTRACTOR IS REQUIRED TO FIELD VERIFY THIS INFORMATION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES SO MODIFICATION CAN BE MADE.
- G. CONTRACTOR SHALL COORDINATE EXACT UTILITY LOCATIONS WITH THE OWNER AND LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY WORK. UTILIZE THE INDIANA UNDERGROUND UTILITY LOCATION SERVICE AT 811 OR 800-382-5544 PRIOR TO ANY EXCAVATION ON THE SITE.

A. REFER TO IMPROVEMENT DETAILS FOR NOTE REFERENCES

1. ASPHALT PAVEMENT.
2. CONCRETE CURB AND WALK.
3. ACCESSIBLE RAMP.
4. 4" WIDE PAINTED PARKING STRIPE.
5. CONCRETE WALK.
6. STRAIGHT CONCRETE CURB.
7. ACCESSIBLE PARKING SPACE.
8. CONCRETE STOOP.
9. 6" CONCRETE PAVEMENT.
10. WASTE CONTAINER PAD AND ENCLOSURE.
11. TRANSFORMER PAD.
12. CONCRETE INLET COLLAR.
13. NEW CONCRETE SPEED TABLE.
14. NEW ACCESSIBLE PARKING SIGN.
15. CURB TAPER.
16. NEW ASPHALT TO EXISTING ASPHALT PAVEMENT.
17. NEW 2' WIDE PAINTED STOP BAR.
18. STEEL PIPE BOLLARD.
19. NEW CONCRETE CURB AND GUTTER TO EXISTING CONCRETE CURB AND GUTTER.
20. NEW CONCRETE CURB AND GUTTER.
21. NEW STOP SIGN.
22. NEW STRIPING CROSSWALK.
23. 6' MONTAGE MAJESTIC FENCE WITH 3 RAIL PANELS BY AMERISTAR. FLUSH BOTTOM RAIL WITH 3" PET, POOL, & PLAY PICKET AIRSPACE. INSTALL PER MANUFACTURER'S RECOMMENDATION.
24. CONCRETE WHEEL STOP.
25. 4' WIDE MAN-GATE.
26. COLOR CONDITIONED STAMPED CONCRETE. WITH SIKA COLOR/ LITHOCHROME COLOR HARDENER, ANTIQUING RELEASE AND SEALER. STAMPED PATTERN PROVIDED BY OWNER/ ARCHITECT FROM MANUFACTURERS RANGE OF LITHOTEX STAMPS. COLOR TO BE SELECTED BY OWNER/ARCHITECT FROM MANUFACTURES FULL COLOR RANGE. WEB: [HTTPS://USA.SIKA.COM/EN/CONSTRUCTION/CONCRETE/DECORATIVE-CONCRETE](https://usa.sika.com/en/construction/concrete/decorative-concrete) MULTIPLE SAMPLE PANELS MAY BE REQUIRED PER DECORATIVE CONCRETE SPECIFICATION.
27. NEW SPEED TABLE SIGN REFER TO DETAIL CS12.

PARKING TYPE	# OF SPACES
STANDARD	40
ACCESSIBLE	3
TOTAL PROVIDED	43 PHASE 1 - 93 PHASE 2
TOTAL REQUIRED -PHASE 1	96 STUDENTS =24 SPACES (43 OWNER REQUESTED MIN)
TOTAL REQUIRED -PHASE 2	196 STUDENTS= 48 SPACES (86 OWNER REQUESTED MIN.)



**JPS** CONSULTING ENGINEERS, LLC

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[www.ipsconsultingengineers.com](http://www.ipsconsultingengineers.com)

JULIA & NICHOLAS  
RUNNEBOHM EARLY  
LEARNING CENTER

2400 INTELLIPEX DRIVE  
SHELBYVILLE, IN 46176

# CONSTRUCTION DOCUMENTS

NUMBER	DATE	DESCRIPTION
<u>1</u>	06/05/2023	TAC REVISION
<u>2</u>	07/06/2023	TAC REVISION



Andrew J. Swanson

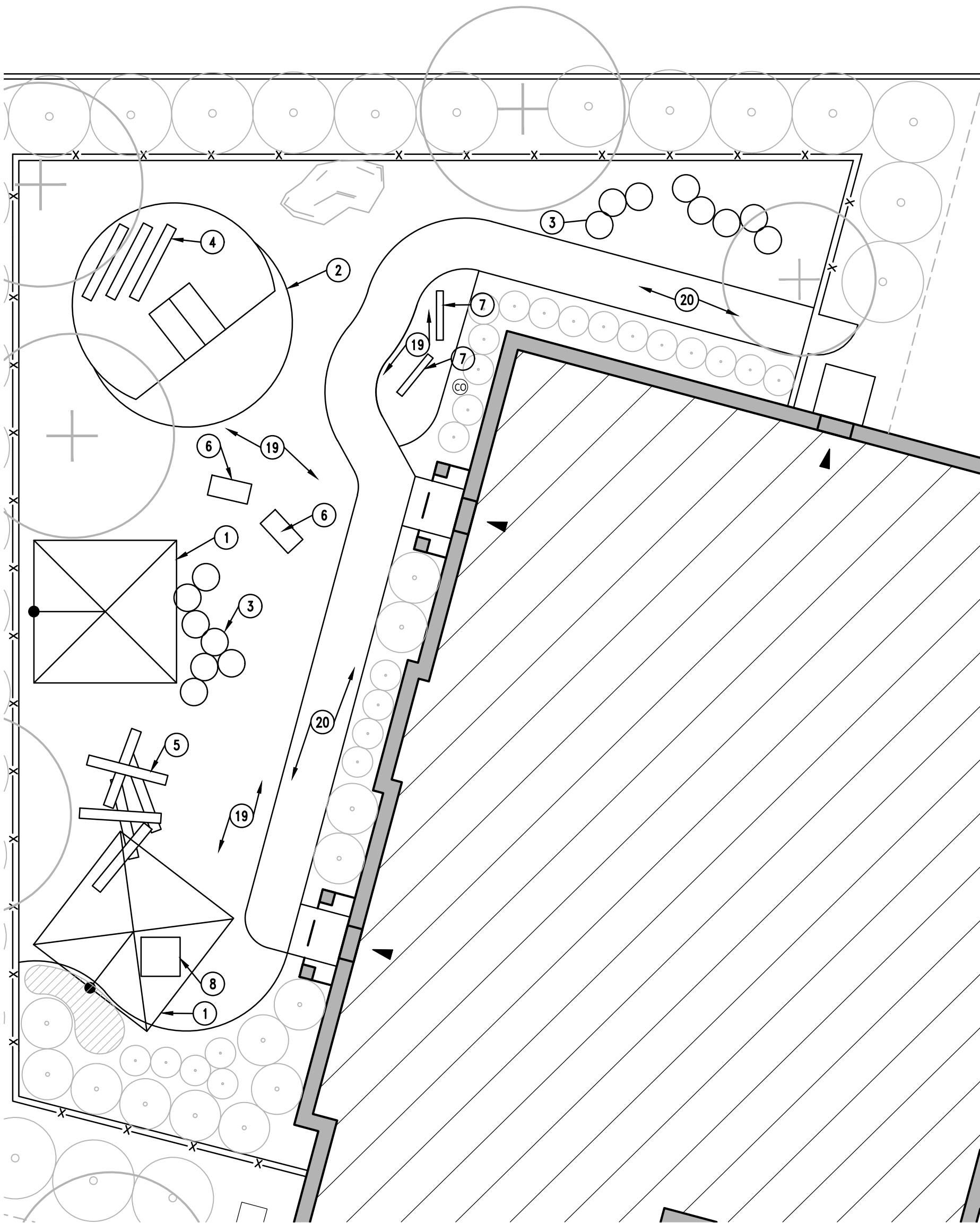
# OVERALL SITE IMPROVEMENT PLAN

SCALE:	1" = 30'
DATE:	MAY 31, 2023
PROJECT #:	22JPSC83
DRAWN:	CLM
COORD:	ADS
APPROVED:	ADS

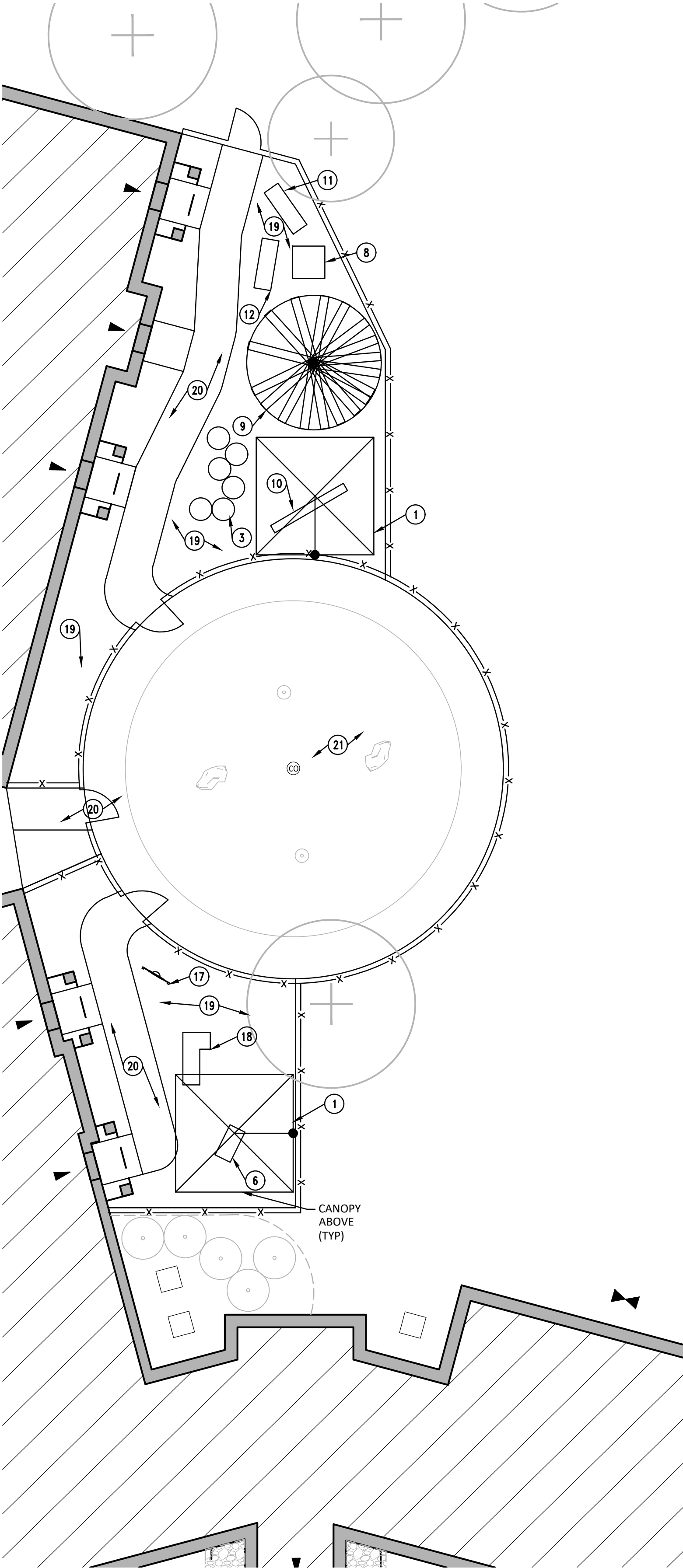
APPROVED: ADS

# C500

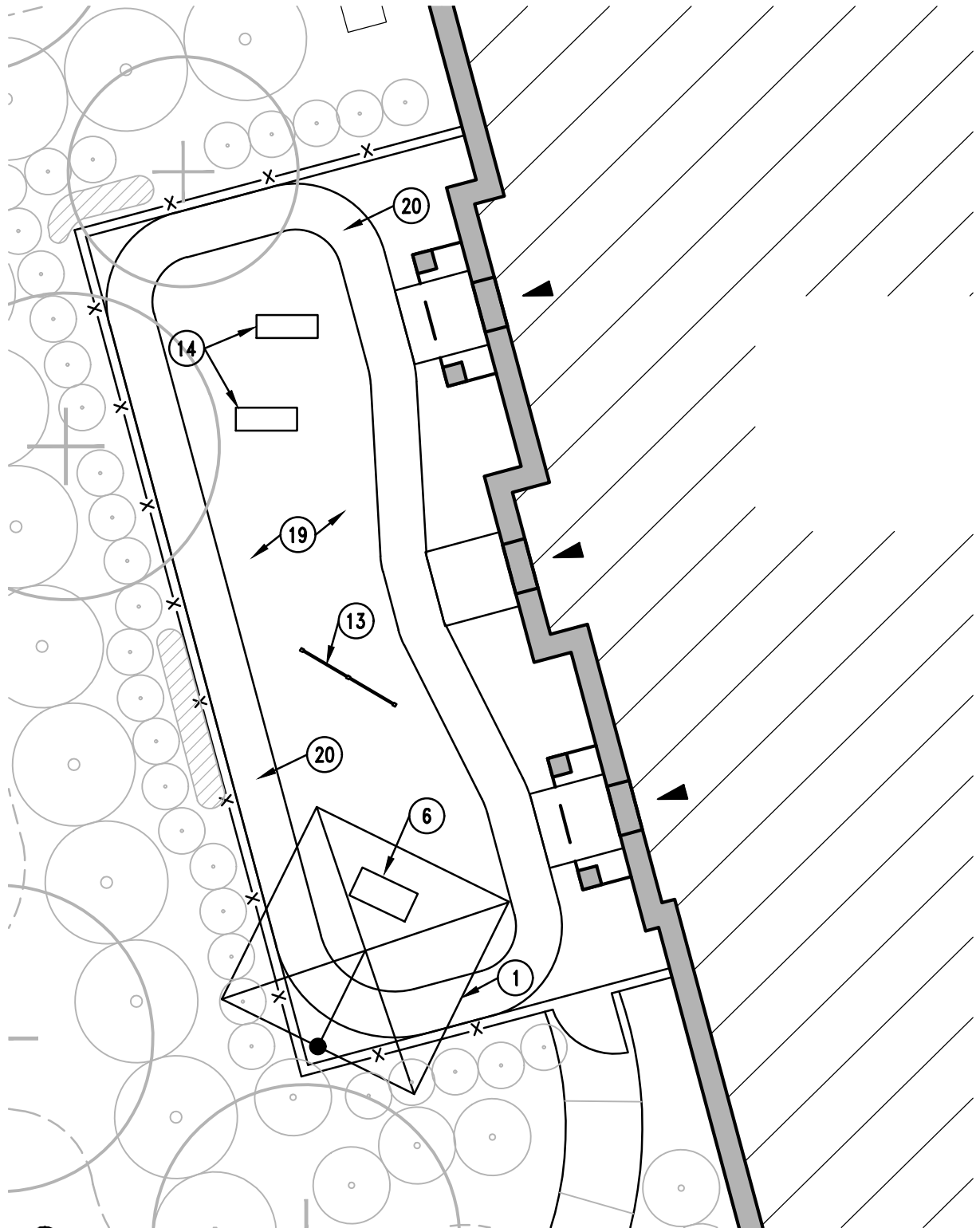




3 PRE-K PLAYGROUND ENLARGEMENT  
SCALE: 1"=10'



2 TWO'S AND INFANT PLAYGROUND ENLARGEMENT  
SCALE: 1"=10'



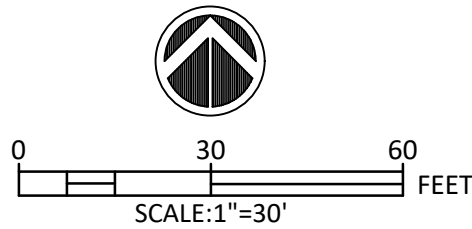
1 TODDLER PLAYGROUND ENLARGEMENT  
SCALE: 1"=10'

#### GENERAL NOTES

- A. REFER TO IMPROVEMENT DETAILS FOR NOTE REFERENCES.  
B. PLAYGROUND LAYER IS SCHEMATIC AND FOR COORDINATION PURPOSE ONLY. ALL EQUIPMENT LISTED TO BE PROVIDED AND INSTALLED BY EMC2.

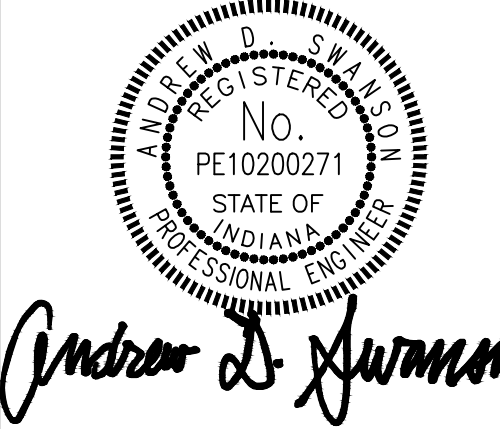
#### PLAN NOTES

- 14' X 14' CANTILEVER SHADE STRUCTURE .
- HILLSIDE SLIDE AND MOUND W/ ARTIFICIAL TURF.
- STEPPING STUMPS.
- VERTICAL LOGS FOR STEPS ON SIDE OF HILLSIDE.
- LOG SCRAMBLE.
- LOG BENCHES.
- MAGNETIC CHALKBOARD PANELS.
- SAND TABLES.
- TEE PEE 10" HT. -8' DIAMETER.
- BALANCE LOG.
- MUSICAL FENCE.
- CHIMES PANEL.
- TODDLER PULL UP BAR.
- SENSORY BOXES - GEAR/ SLIDE N SLOT.
- OPTIGEAR PANEL.
- MARBLE PANEL.
- FUN MIRROR.
- BUTTERFLY HILL.
- ARTIFICIAL TURF.
- PIP RUBBER PLAY SURFACE DEPTH BASED ON MAX FALL HEIGHT. COLOR TO BE SELECTED BY OWNER /ARCHITECT FROM MANUFACTURE FULL COLOR RANGE.
- WATER PLAY AREA - CONCRETE/ PIP RUBBER.



#### CONSTRUCTION DOCUMENTS

NUMBER	DATE	DESCRIPTION
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2	07/06/2023	TAC REVISION

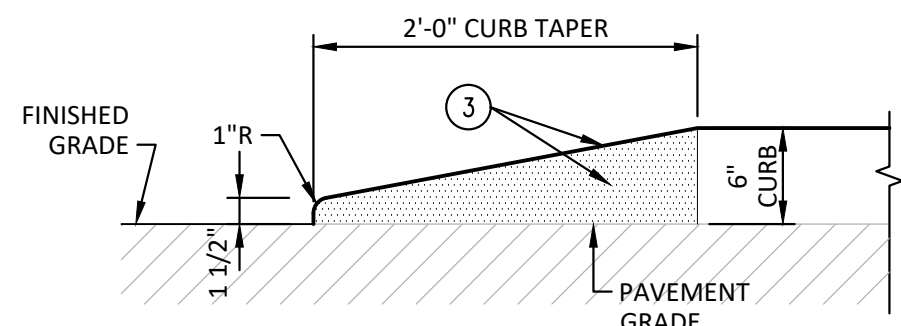


#### PLAYGROUNDS IMPROVEMENT PLAN

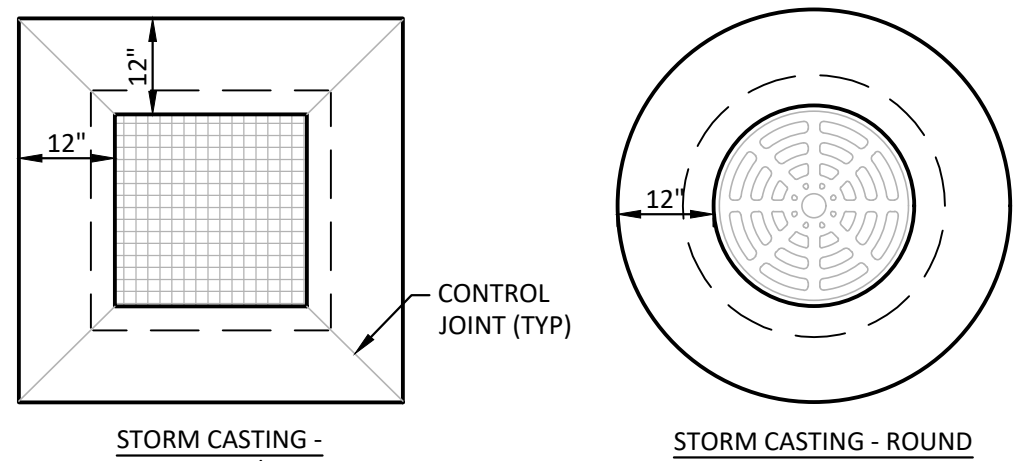
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DATE: MAY 31, 2023  
PROJECT #: 22JPS083  
DRAWN: CLM  
COORD: ADS  
APPROVED: ADS

C501

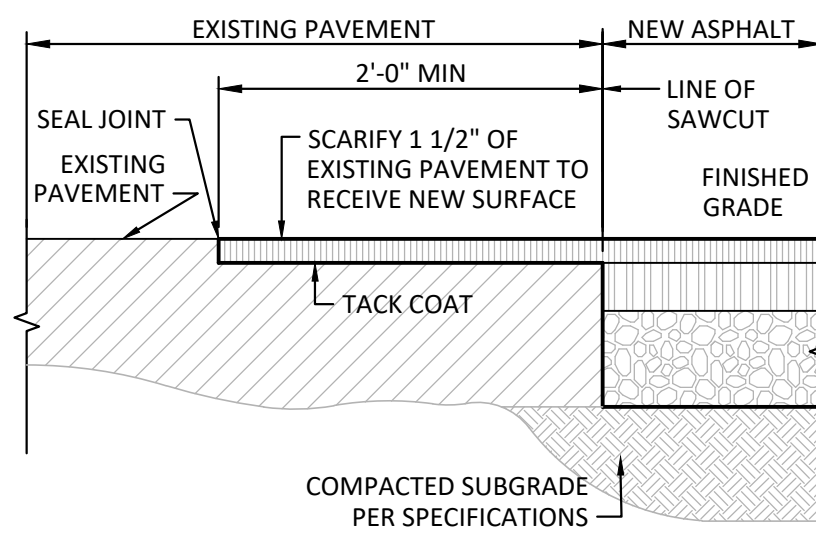




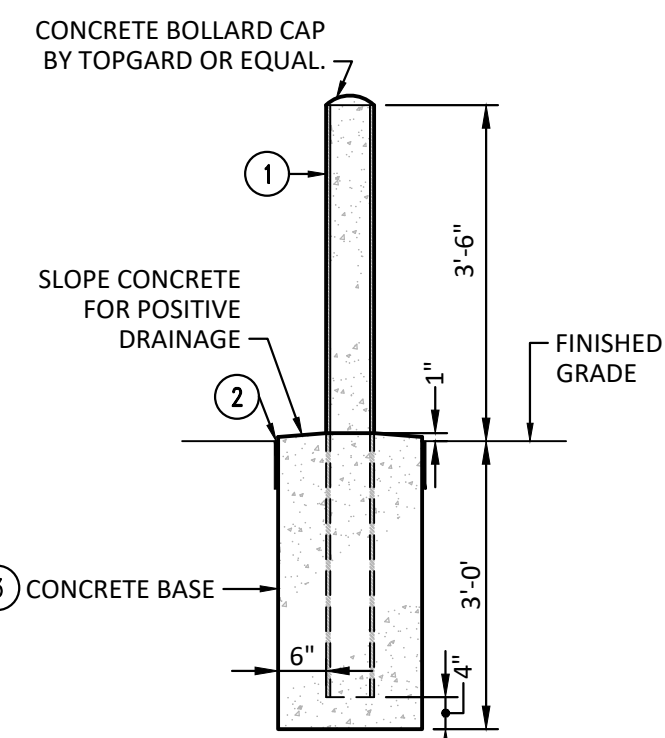
11 CURB TAPER DETAIL  
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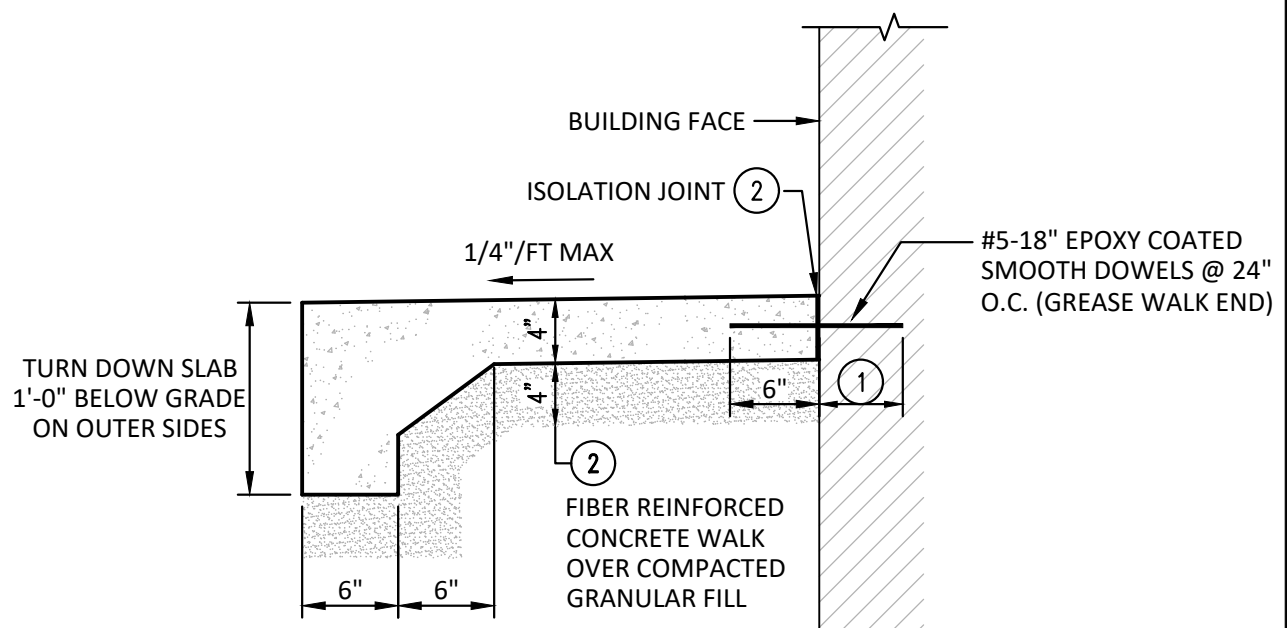
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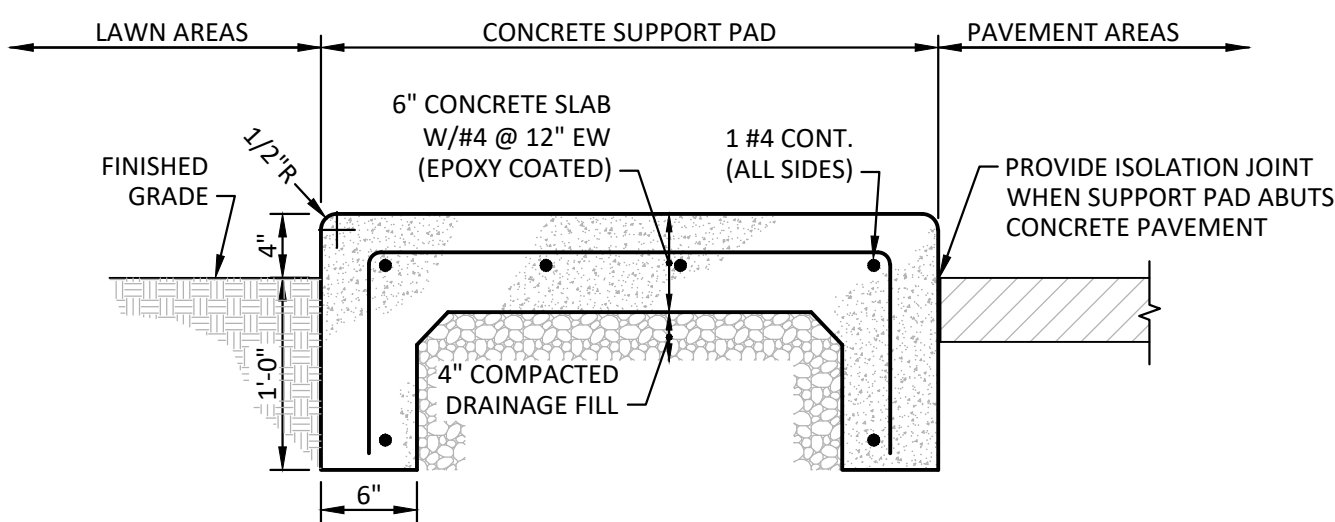
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EXISTING ASPHALT PAVEMENT DETAIL  
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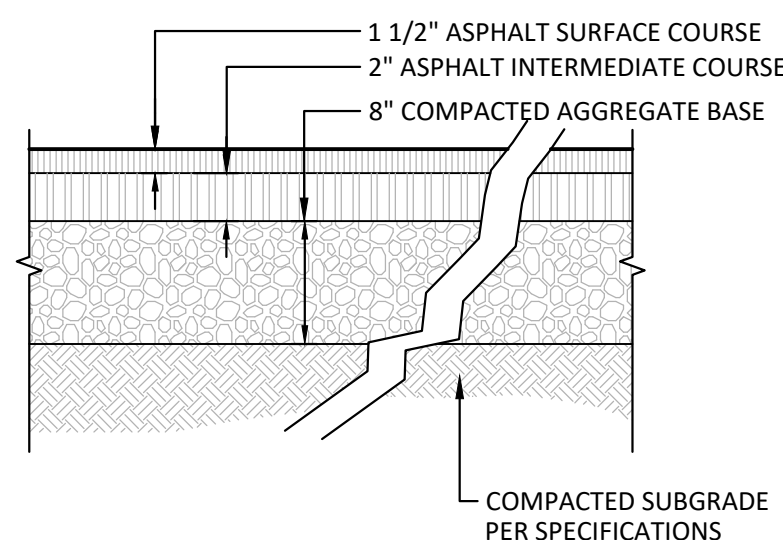
3 STEEL PIPE BOLLARD DETAIL  
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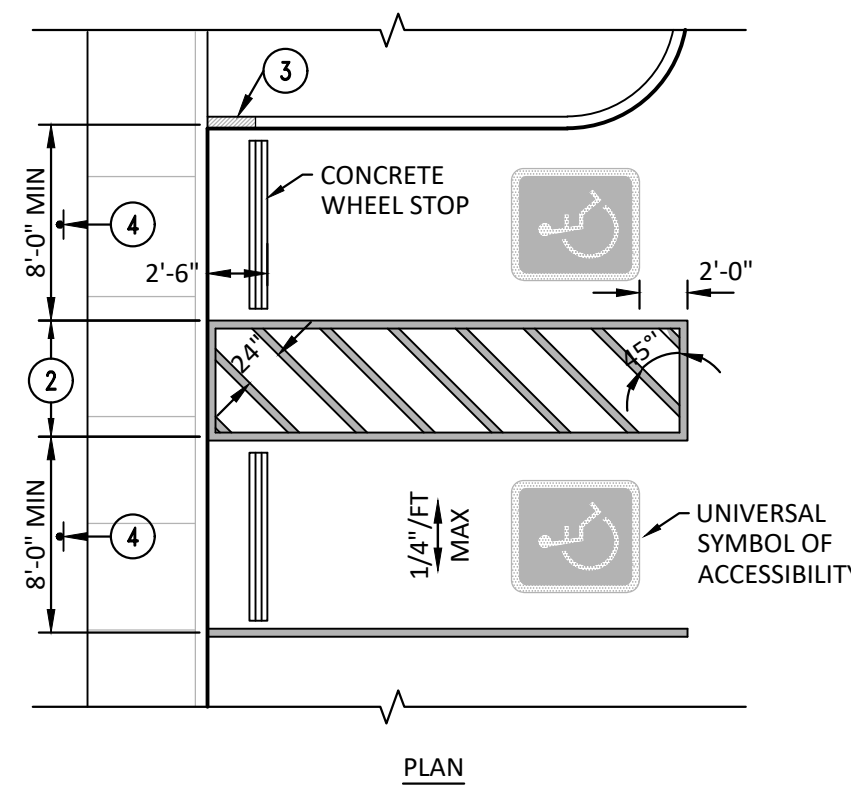
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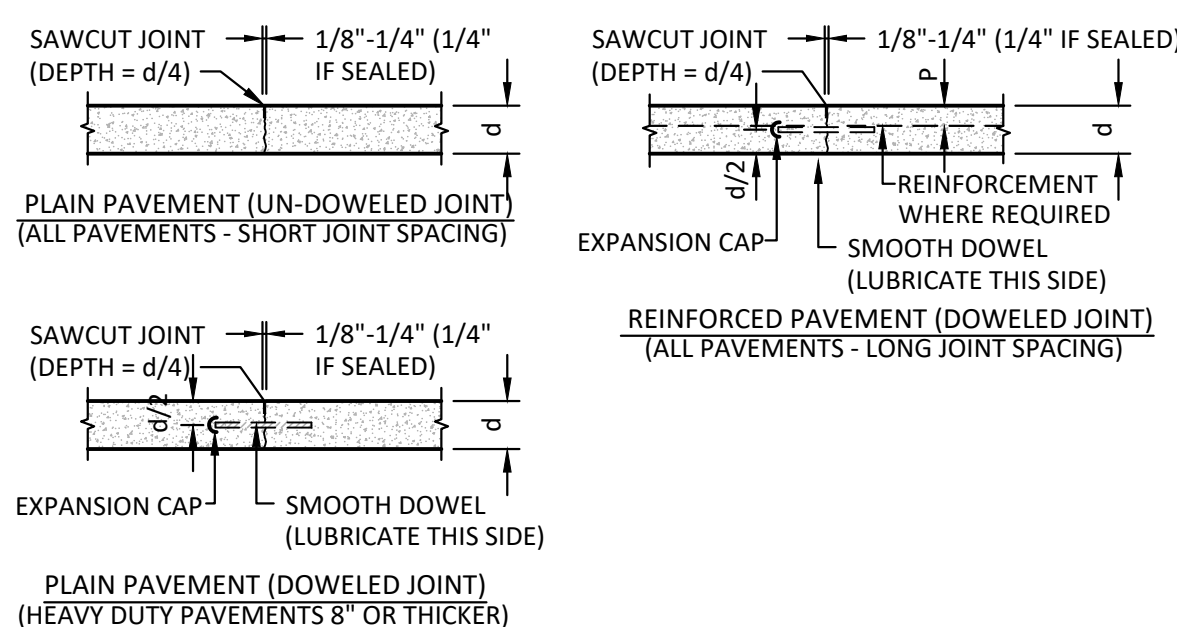
8 TRANSFORMER PAD DETAIL  
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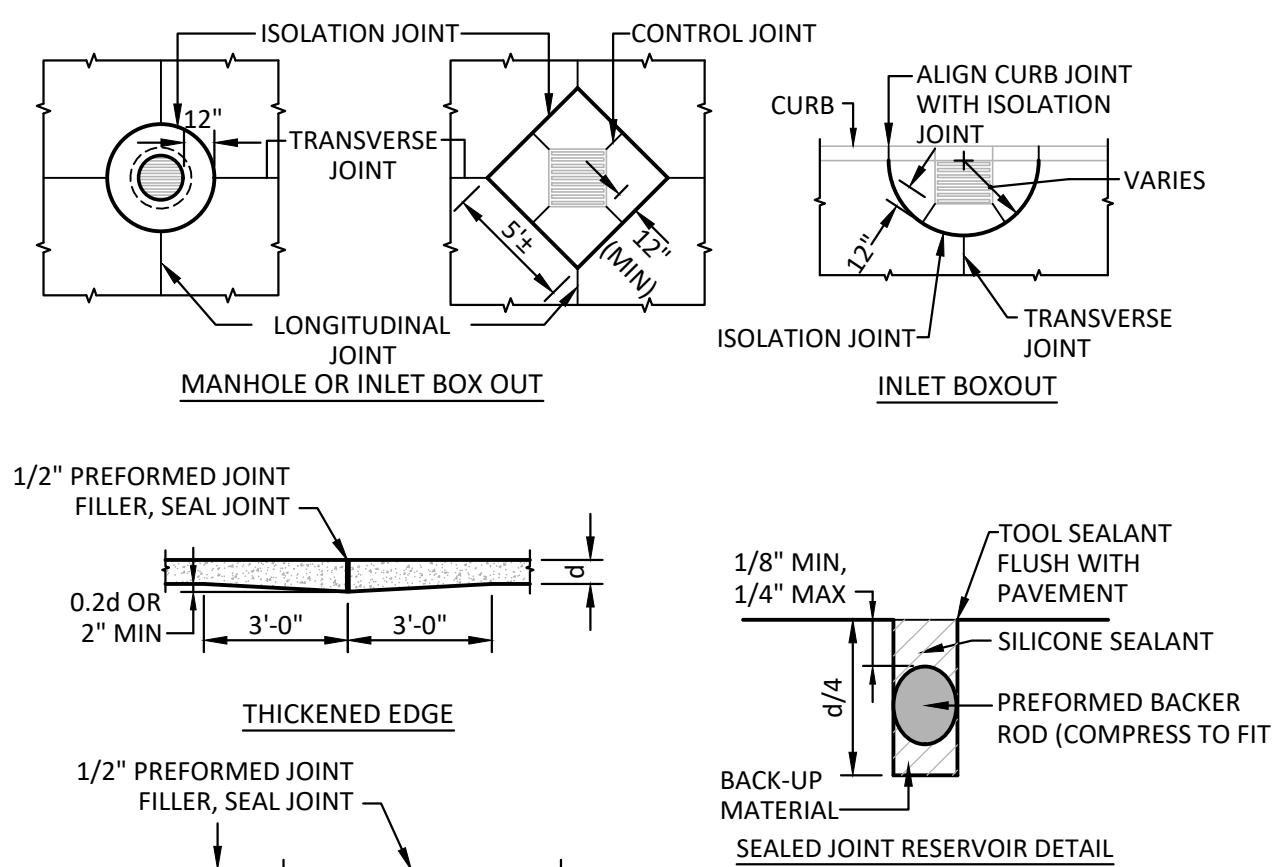
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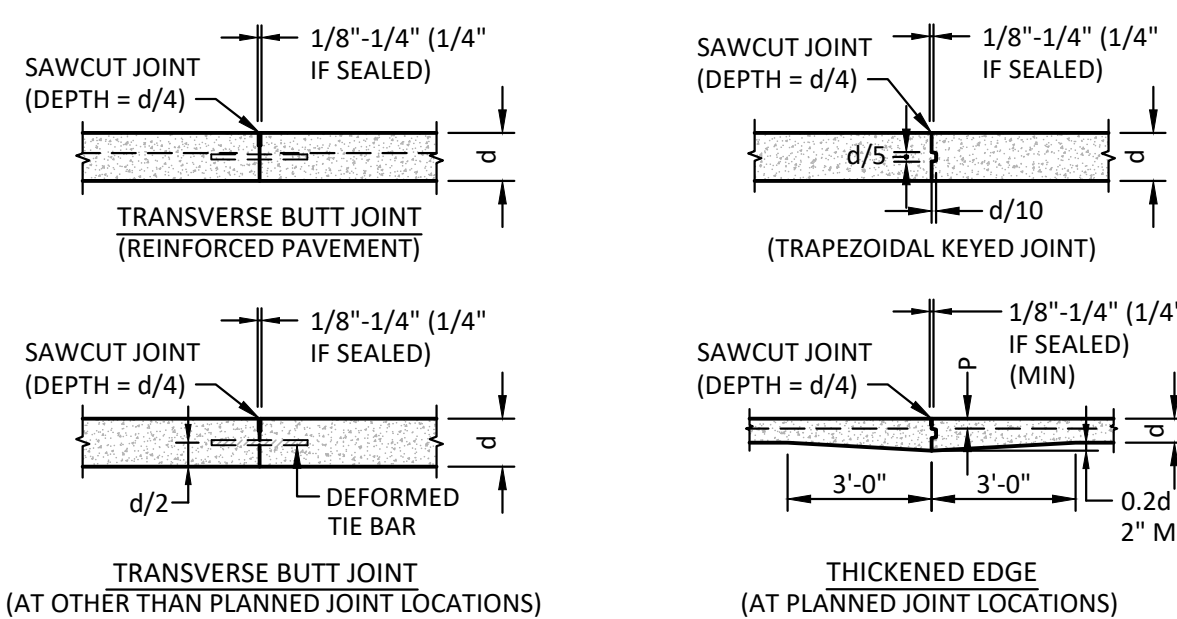
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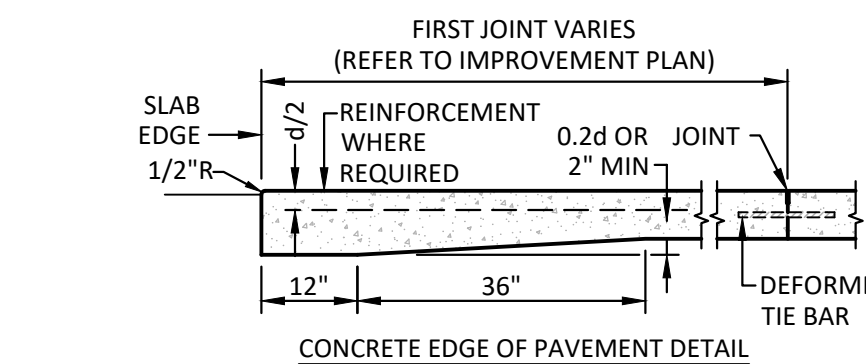
7 CONCRETE PAVEMENT DETAIL  
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4 CONCRETE WALK DETAIL  
NO SCALE



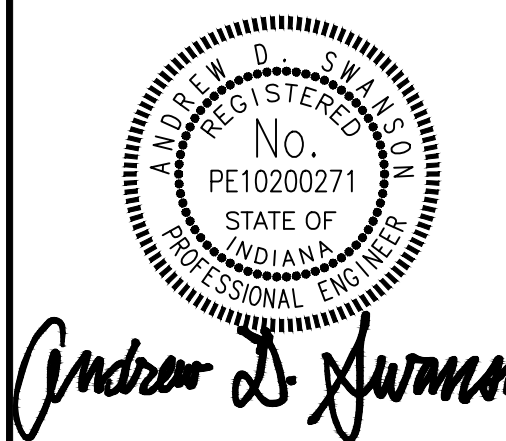
1 ACCESSIBLE PARKING SIGN DETAIL  
NO SCALE



JOINT SPACING AND REINFORCEMENT REQUIREMENTS					
PAVEMENT THICKNESS (D)	MAXIMUM JOINT SPACING	REINFORCEMENT REQUIRED IF JOINT LT TO W RATIO EXCEEDS	MINIMUM REINFORCING COVER (P)	* MINIMUM REINFORCING SIZE (IF REQUIRED)	DOWEL OR TIE BAR SIZE @ 12" O.C.
6"	14'	1.25	2.5"	#4 @ 18"	3/4" x 1'-0"

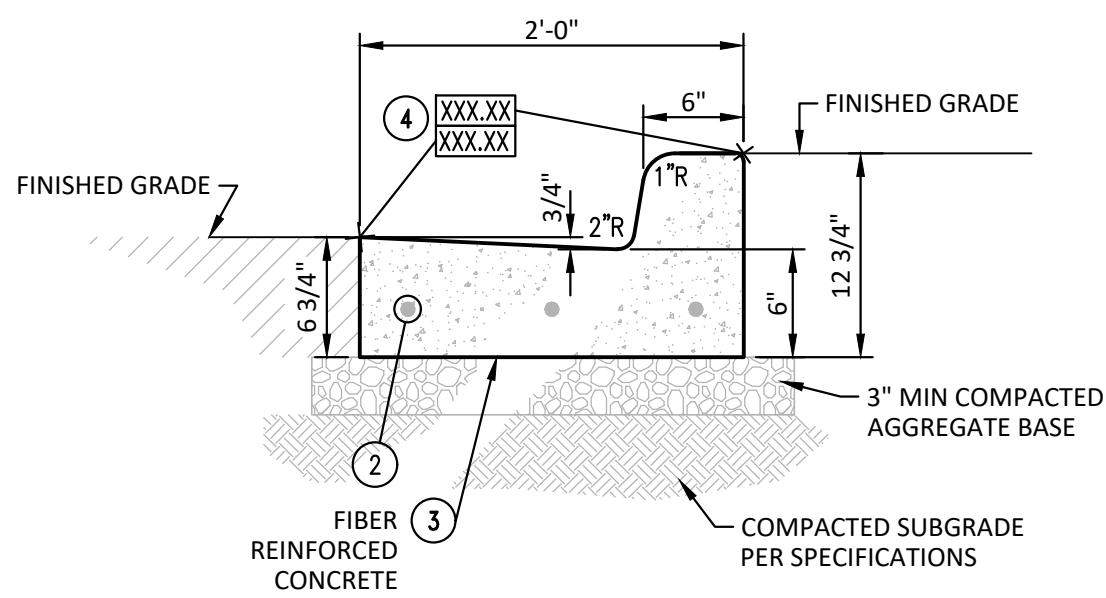
\* ALL REINFORCEMENT DOWELS SHALL BE EPOXY COATED 60 KSI

NUMBER	DATE	DESCRIPTION
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2	07/06/2023	TAC REVISION



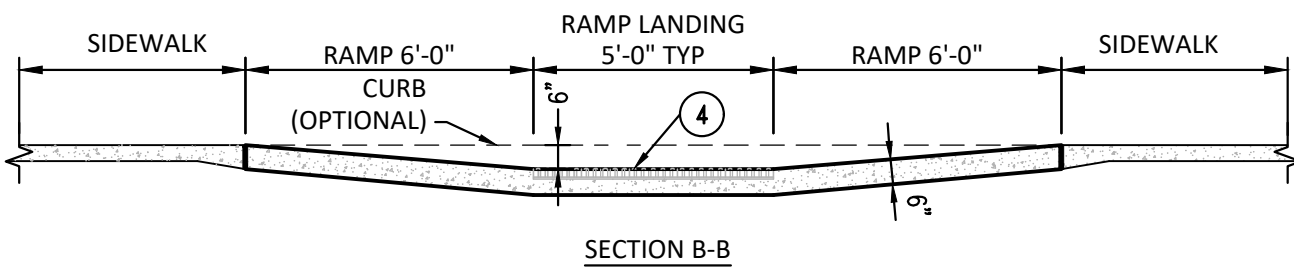
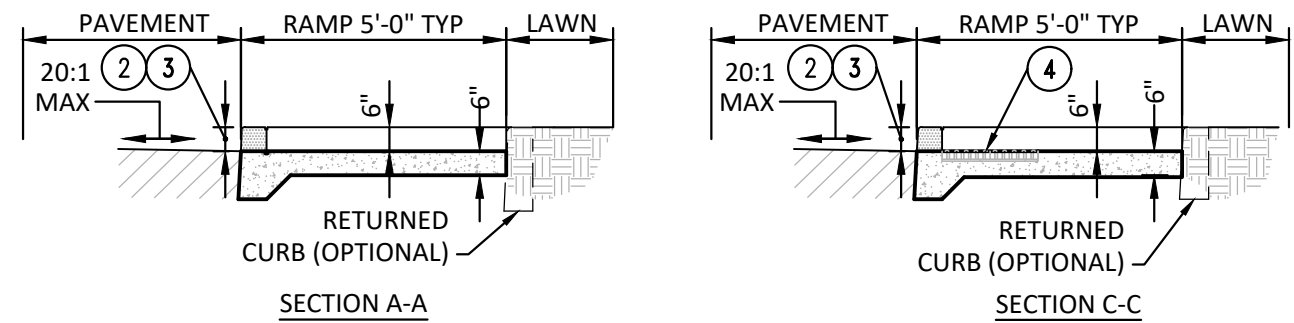
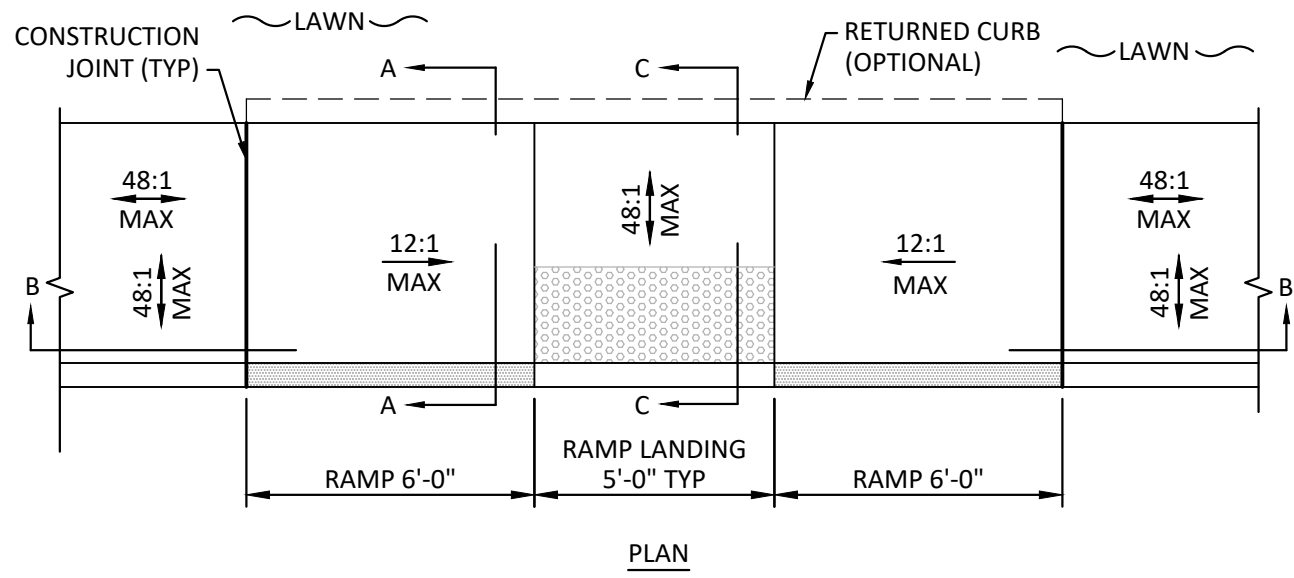
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DRAWN:	CLM
COORD:	ADS
APPROVED:	ADS





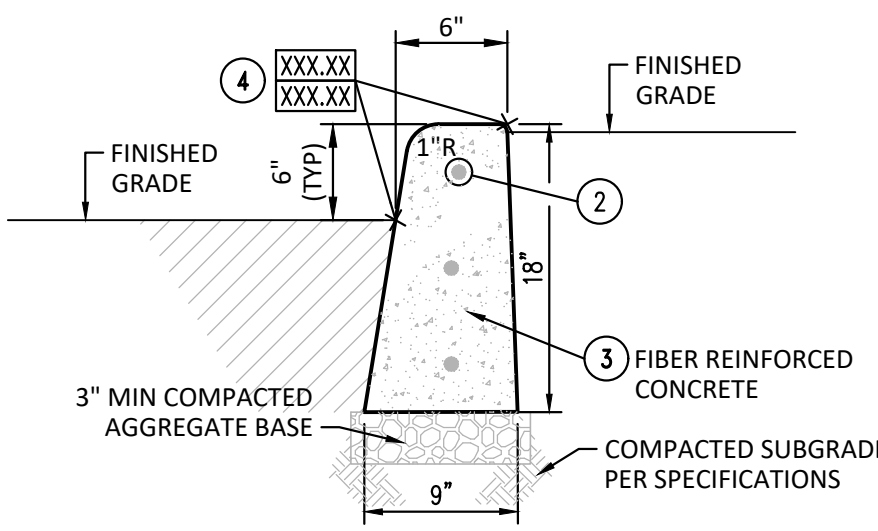
- NOTES:
1. WHEN CONSTRUCTION OCCURS WITHIN PUBLIC RIGHT-OF-WAY, THE WORK SHALL COMPLY WITH THE GOVERNING AGENCY REQUIREMENTS.
  2. (3) #5x18" SMOOTH DOWELS REQUIRED AT ALL ISOLATION JOINTS.
  3. REFER TO SPECIFICATIONS FOR CONCRETE AND JOINT REQUIREMENTS.
  4. LOCATION OF CURB GRADE ELEVATIONS. REFER TO GRADING PLAN.

8 CURB AND GUTTER DETAIL  
NO SCALE



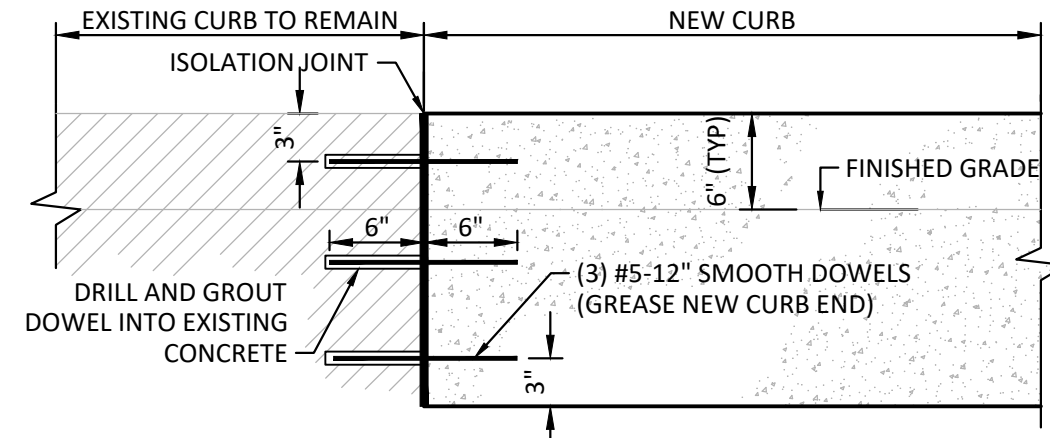
- NOTES:
1. RAMP SHALL COMPLY WITH THE LATEST APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.
  2. WHEN CURB IS ADJACENT TO PEDESTRIAN TRAFFIC, PAINT TOP AND SIDES OF CURB YELLOW IN LOCATIONS WHERE CURB HEIGHT IS BETWEEN 0" AND 6". PER SPECIFICATIONS, APPLY SILICA SAND TO WET PAINT TO PROVIDE A NON-SLIP SURFACE.
  3. CONTRACTOR TO VERIFY POSITIVE DRAINAGE AWAY FROM RAMP BASE. PROVIDE ADA COMPLIANT RAMP LIP WHERE REQUIRED.
  4. PROVIDE DETECTABLE WARNING SURFACE WHERE REQUIRED BY LATEST APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.

6 ACCESSIBLE RAMP DETAIL  
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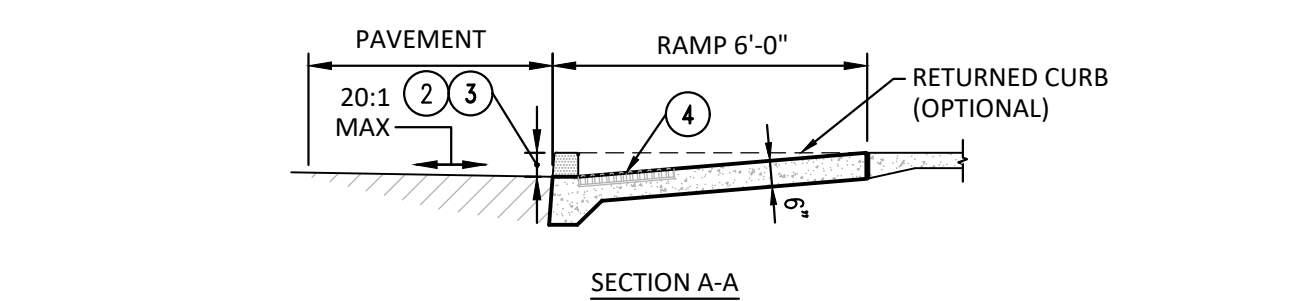
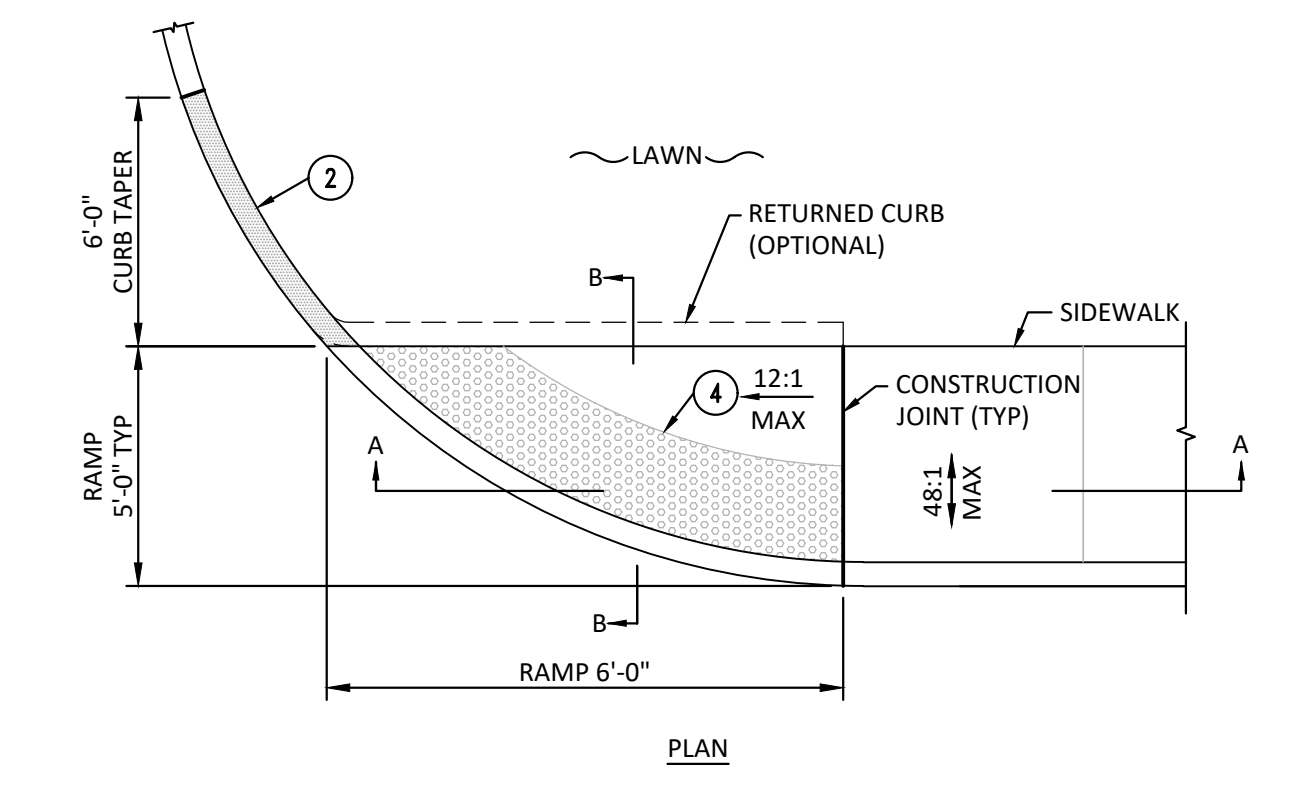
- NOTES:
1. WHEN CONSTRUCTION OCCURS WITHIN PUBLIC RIGHT-OF-WAY, THE WORK SHALL COMPLY WITH THE GOVERNING AGENCY REQUIREMENTS.
  2. (3) #5x18" SMOOTH DOWELS REQUIRED AT ALL ISOLATION JOINTS.
  3. REFER TO SPECIFICATIONS FOR CONCRETE AND JOINT REQUIREMENTS.
  4. LOCATION OF CURB AND GUTTER ELEVATIONS. REFER TO GRADING PLAN.

4 STRAIGHT CONCRETE CURB DETAIL  
NO SCALE



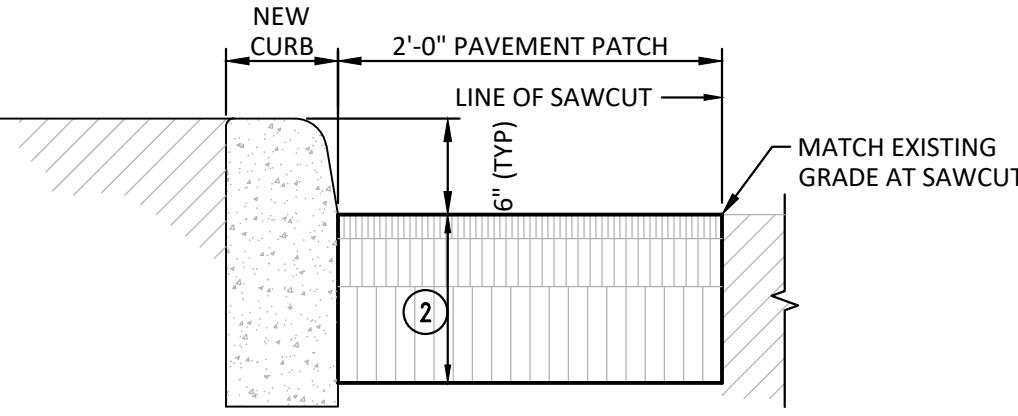
- NOTE:
1. WHEN CONSTRUCTION OCCURS WITHIN PUBLIC RIGHT-OF-WAY, THE WORK SHALL COMPLY WITH THE GOVERNING AGENCY REQUIREMENTS.

3 NEW CONCRETE CURB TO EXISTING CONCRETE CURB DETAIL  
NO SCALE



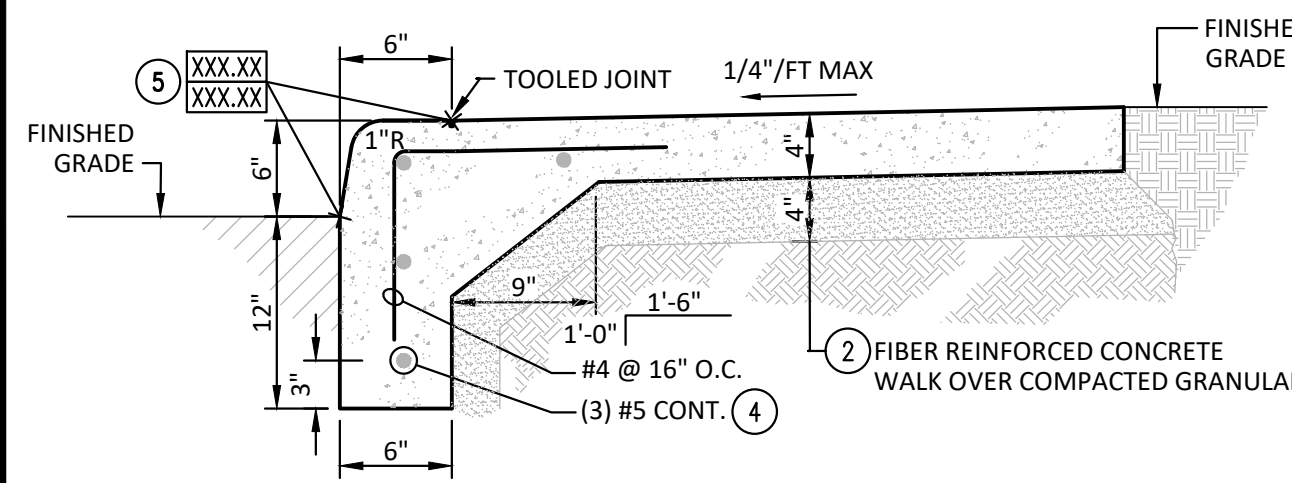
- NOTES:
1. RAMP SHALL COMPLY WITH THE LATEST APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.
  2. WHEN CURB IS ADJACENT TO PEDESTRIAN TRAFFIC, PAINT TOP AND SIDES OF CURB YELLOW IN LOCATIONS WHERE CURB HEIGHT IS BETWEEN 0" AND 6". PER SPECIFICATIONS, APPLY SILICA SAND TO WET PAINT TO PROVIDE A NON-SLIP SURFACE.
  3. CONTRACTOR TO VERIFY POSITIVE DRAINAGE AWAY FROM RAMP BASE. PROVIDE ADA COMPLIANT RAMP LIP WHERE REQUIRED.
  4. PROVIDE DETECTABLE WARNING SURFACE WHERE REQUIRED BY LATEST APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.

5 ACCESSIBLE RAMP DETAIL  
NO SCALE



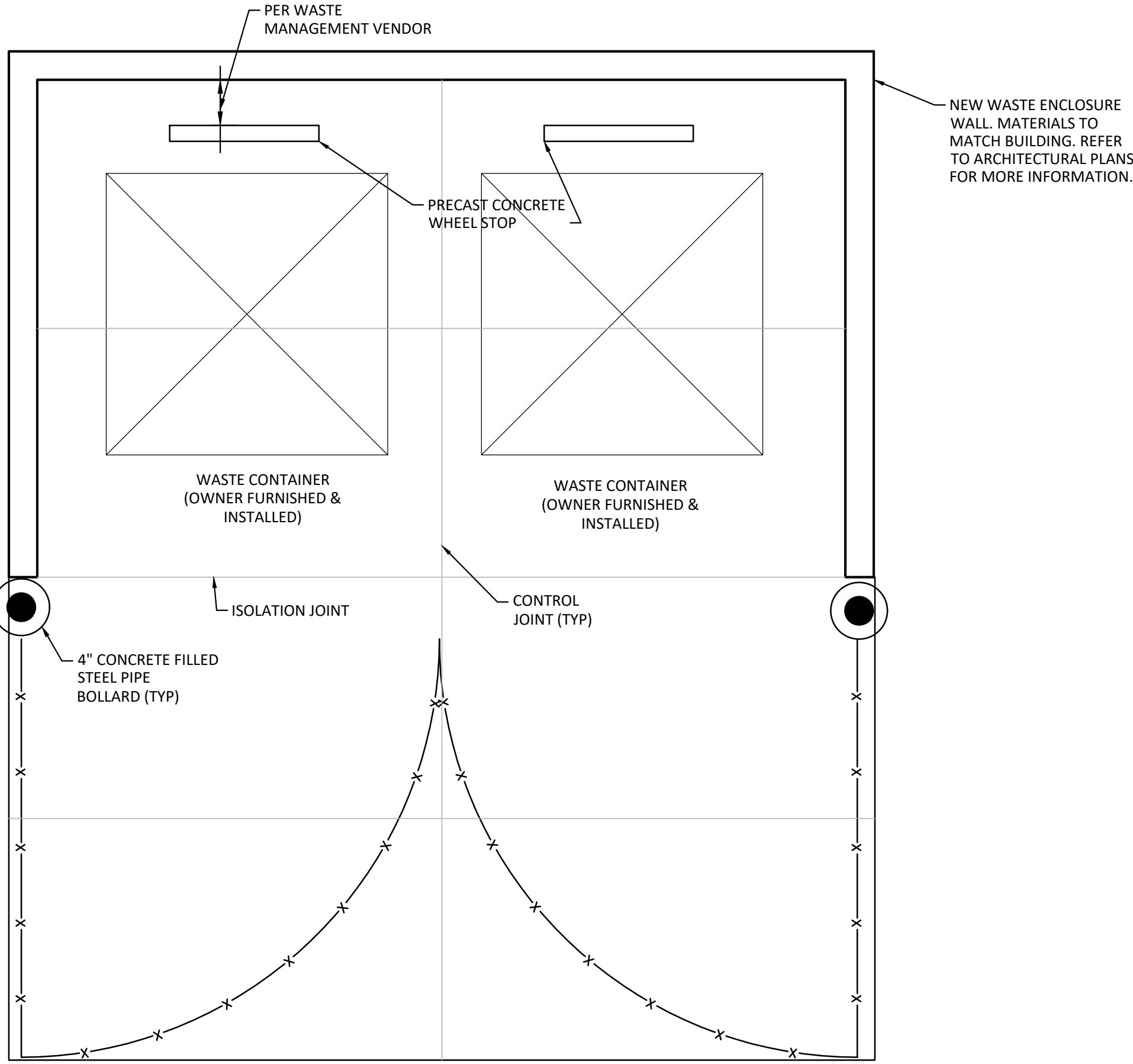
- NOTE:
1. WHEN CONSTRUCTION OCCURS WITHIN PUBLIC RIGHT-OF-WAY, THE WORK SHALL COMPLY WITH THE GOVERNING AGENCY REQUIREMENTS.
  2. REFER TO ASPHALT PAVEMENT DETAIL FOR SECTION.

2 NEW CURB TO EXISTING ASPHALT PAVEMENT DETAIL  
NO SCALE



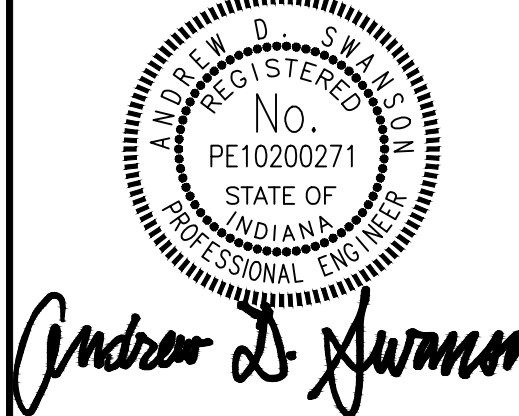
- NOTES:
1. WHEN CONSTRUCTION OCCURS WITHIN PUBLIC RIGHT-OF-WAY, THE WORK SHALL COMPLY WITH THE GOVERNING AGENCY REQUIREMENTS.
  2. REFER TO SPECIFICATIONS FOR CONCRETE AND JOINT REQUIREMENTS.
  3. REFER TO IMPROVEMENT PLAN FOR WALK WIDTH AND JOINT PATTERN.
  4. END CONTINUOUS REBAR AT ISOLATION/CONSTRUCTION JOINTS. PLACE (3) #5x12 SMOOTH DOWELS (DO NOT OVERLAP).
  5. LOCATION OF CURB AND GUTTER ELEVATIONS. REFER TO GRADING PLAN.

1 CONCRETE CURB AND WALK DETAIL  
NO SCALE

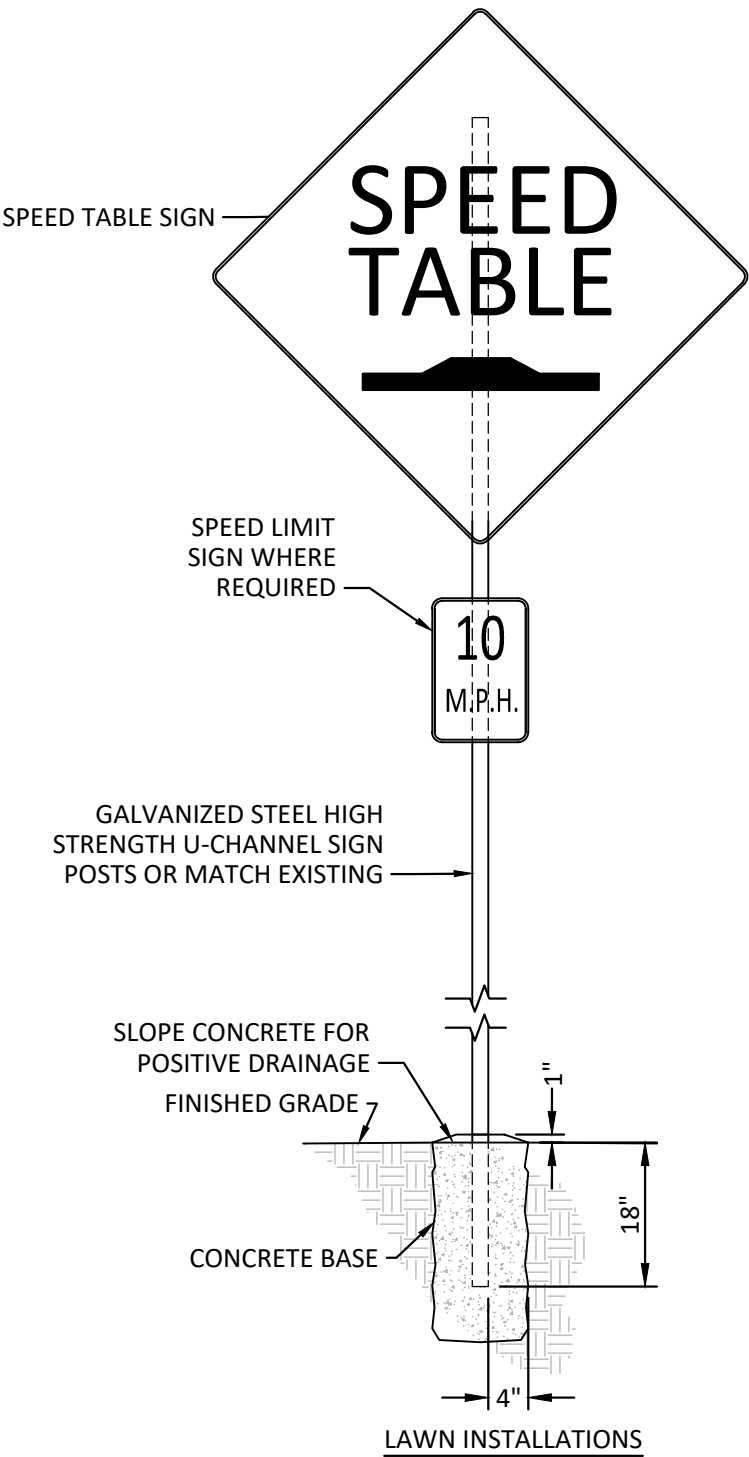


7 WASTE CONTAINER PAD & ENCLOSURE DETAIL  
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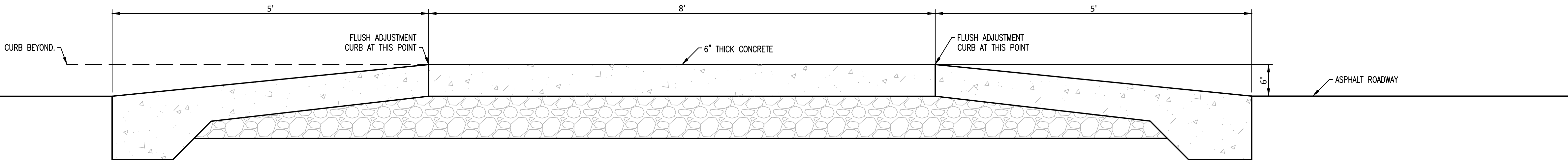
NUMBER	DATE	DESCRIPTION
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2	07/06/2023	TAC REVISION







2 SPEED TABLE SIGN DETAIL  
NO SCALE



1 CONCRETE SPEED TABLE DETAIL  
SCALE: 1"=1'

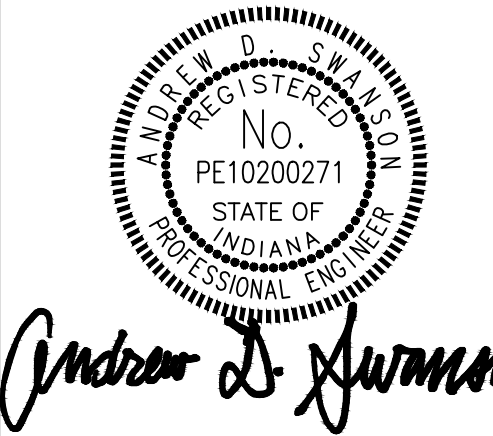
JPS CONSULTING ENGINEERS, LLC  
9365 Counselors Row, Suite 116  
Indianapolis, IN 46240  
ph 317.617.4270  
www.jpsconsultingengineers.com

JULIA & NICHOLAS  
RUNNEBOHM EARLY  
LEARNING CENTER

2400 INTELLIPLEX DRIVE  
SHELBYVILLE, IN 46176

CONSTRUCTION DOCUMENTS

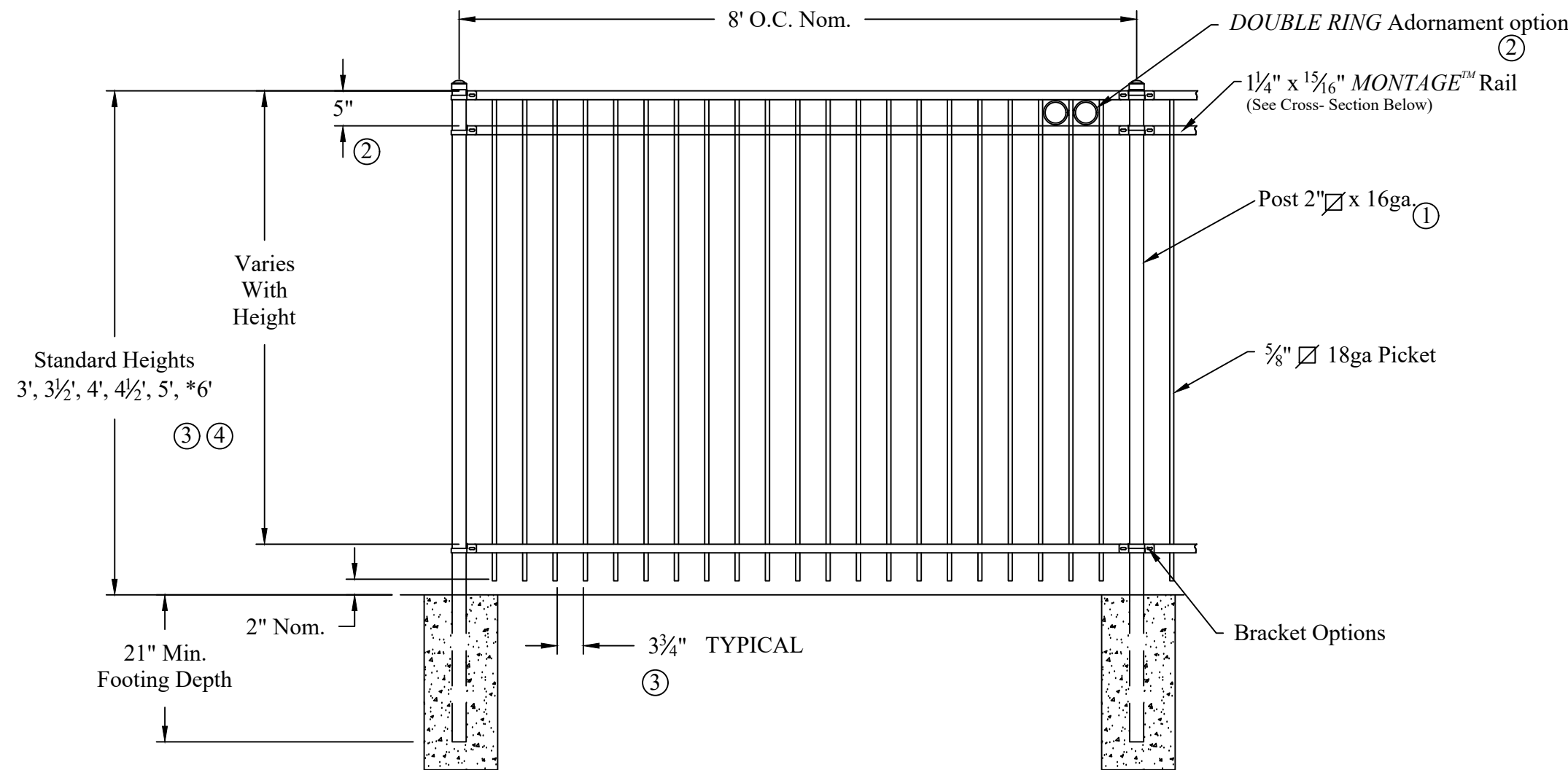
NUMBER	DATE	DESCRIPTION
A	06/05/2023	TAC REVISION
B	07/06/2023	TAC REVISION



SITE IMPROVMENT DETAILS

SCALE:	1" = 30'
DATE:	MAY 31, 2023
PROJECT #:	22JPS-C83
DRAWN:	CLM
COORD:	ADS
APPROVED:	ADS

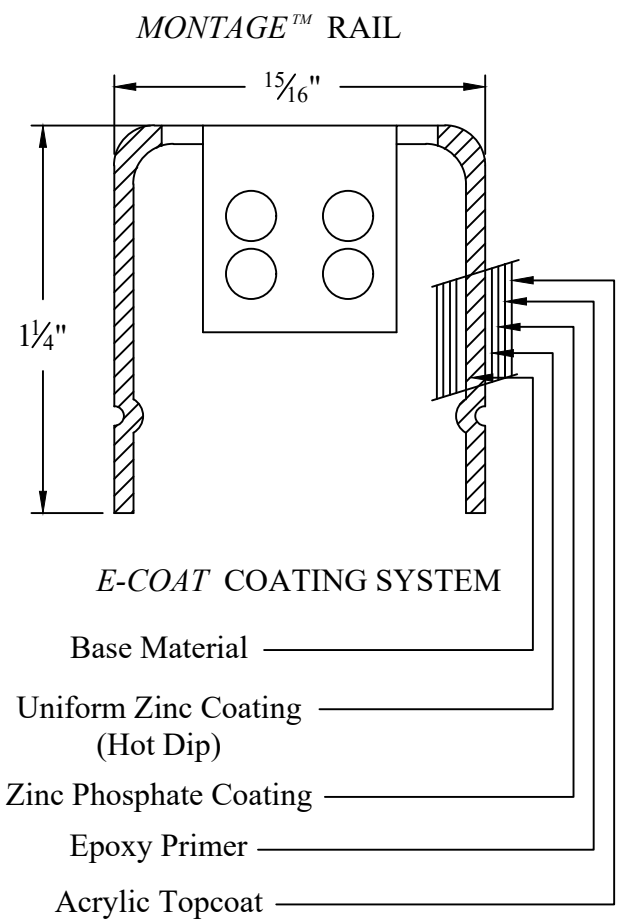
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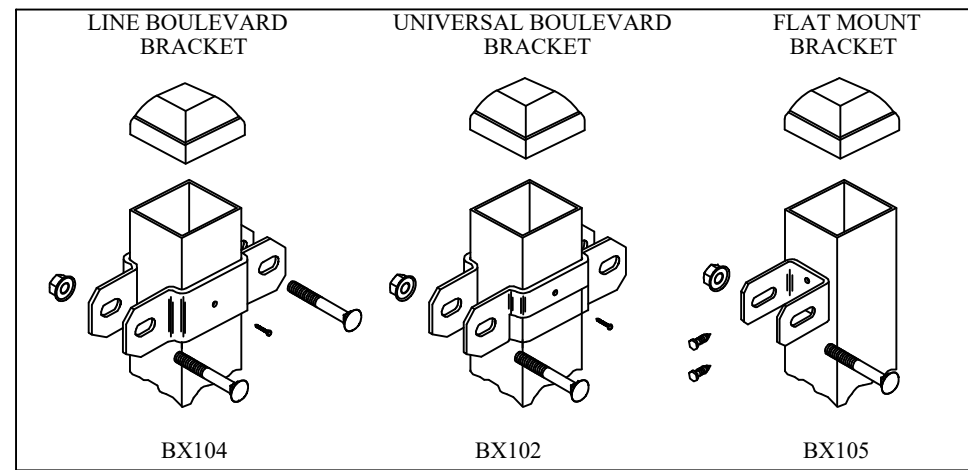
NOTES:

- 1.) Post size depends on fence height and wind loads. See *MONTAGE™* specifications for post sizing chart.
- 2.) Third rail required for *Double Rings*.
- 3.) Available in 3" air space and/or Flush Bottom on most heights.
- 4.) Three rails required for 6' tall.

RAKING DIRECTIONAL ARROW  
Welded panel can be raked  
45° over 8" with arrow pointing down  
grade.



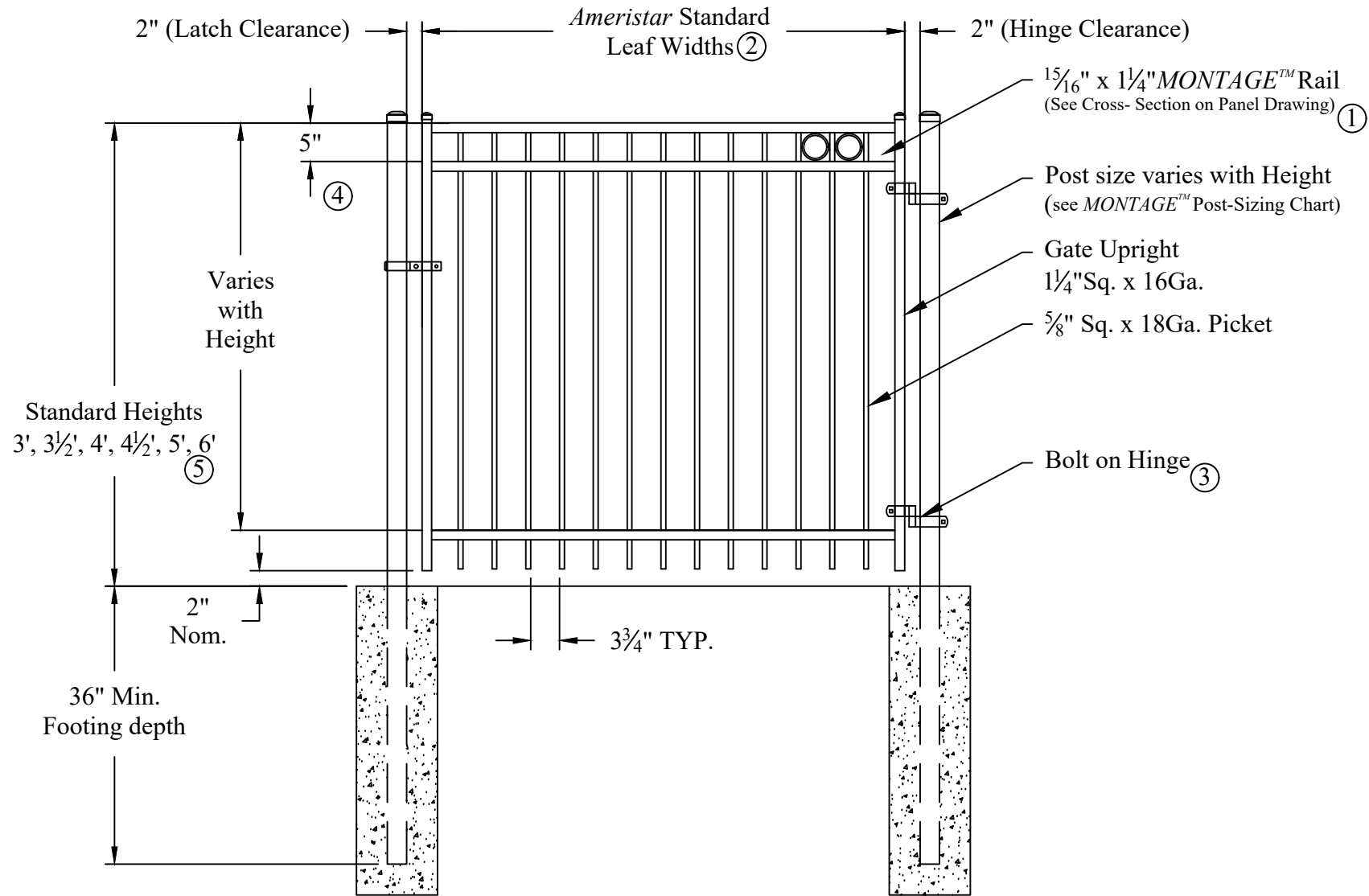
PROFUSION™ WELDING PROCESS  
No exposed welds,  
Good Neighbor profile - Same  
appearance on both sides



Values shown are nominal and not to be used for  
installation purposes. See product specification  
for installation requirements.

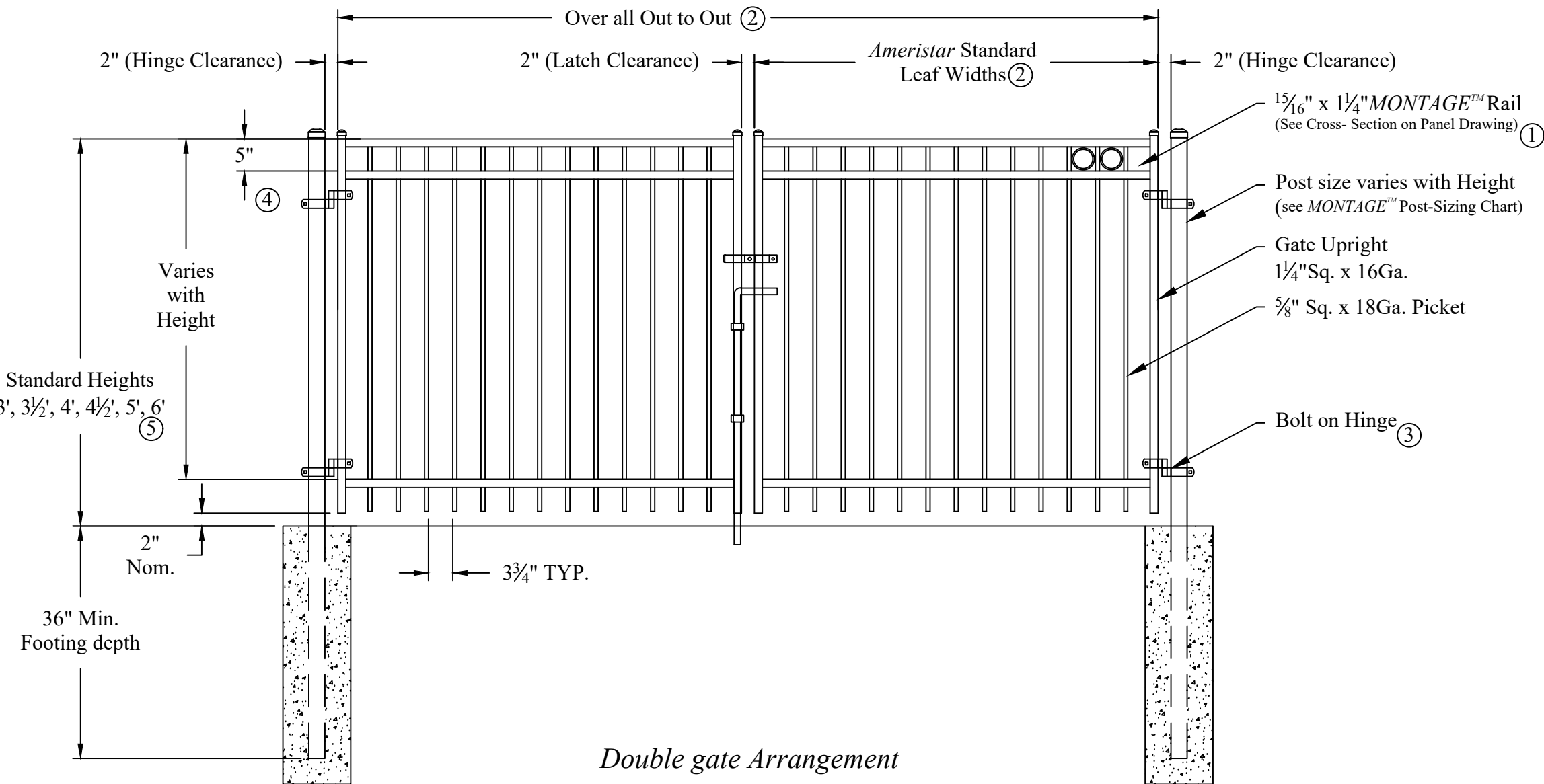
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MONTAGE MAJESTIC FENCE DETAIL  
NO SCALE



NOTES:

- 1.) Post size depends on fence height, weight and wind loads. See *MONTAGE™* specifications for post sizing chart.
- 2.) See *Ameristar* gate table for standard out to outs. Custom gate openings available for special out to out/leaf widths.
- 3.) Additional styles of gate hardware are available on request. This could change the Latch & Hinge Clearance.
- 4.) Third rail required for *Double Rings*.
- 5.) Available in 3" air space and/or Flush Bottom on most Heights



Values shown are nominal and not to be used for  
installation purposes. See product specification  
for installation requirements.

1

MONTAGE MAJESTIC GATE DETAIL  
NO SCALE

CONSTRUCTION  
DOCUMENTS

NUMBER	DATE	DESCRIPTION
A	06/05/2023	TAC REVISION
B	07/06/2023	TAC REVISION



Andrew D. Swann

SITE  
IMPROVMENT  
DETAILS

SCALE: 1" = 30'  
DATE: MAY 31, 2023  
PROJECT #: 22Jpsc83  
DRAWN: CLM  
COORD: ADS  
APPROVED: ADS

C513



PLANT LIST					
COUNT	MARK	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
SHADE TREES					
6	ACE-R	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2 1/2"-3" CAL.	B&B
5	BET-N	BETULA NIGRA 'CULLY'	HERITAGE BIRCH	12" HEIGHT	MULTI-STEM, B&B
6	GLE-T	GLEDTISIA TRIACANTHOS F. INERMIS	IMPERIAL HONEYLOCUST	2 1/2"-3" CAL.	B&B
6	GIN-P	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	2 1/2"-3" CAL.	B&B
2	LIR-T	LIRIODENDRON TULIPIFERA	TULIP TREE	2 1/2"-3" CAL.	B&B
6	QUE-R	QUERCUS RUBRA	RED OAK	2 1/2"-3" CAL.	B&B
7	QUE-S	QUERCUS SHUMARDII	SHUMARD OAK	2 1/2"-3" CAL.	B&B
ORNAMENTAL TREES					
4	MAG-S	MAGNOLIA X SOULANGEANA	SAUCER MAGNOLIA	8" HEIGHT	MULTI-STEM, B&B
3	RHU-T	RHUS TYPHINA	STAGHORN SUMAC	6' HEIGHT	
EVERGREEN TREE					
4	PIC-O	PICEA OMORIKA	SERBIAN SPRUCE	8" HEIGHT	B&B
42	THU-O	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	8" HEIGHT	B&B
EVERGREEN SHRUBS					
2	BOX-G	BOXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	24"-30"	3' O.C.
46	JUN-G	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18"-24"	3' O.C.
24	MYR-P	MYRICA PENSYLVANICA 'MORTON'	SILVER SPRITE BAYBERRY	30"-36"	PROVIDE ONE MALE FOR EVERY 5 FEMALES
		MYRICA PENSYLVANICA 'MORTON MALE'	MALE SILVER SPRITE BAYBERRY	30"-36"	
20	THU-M	THUJA OCCIDENTALIS 'HETZ MID'	HETZ MINI ARBORVITAE	18"-24"	3' O.C.
SHRUBS					
14	CLE-A	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE SUMMER-SWEET	18"-24"	3' O.C.
21	FOT-M	FOTHERGILLA 'MOUNT AIRY'	MOUNT AIRY FOTHERGILLA	30"-36"	5' O.C.
12	HYD-P	HYDRANGEA PANICULATA 'ILVOBO' BOBO	BOBO HYDRANGEA	18"-24"	3' O.C.
11	ILE-V	ILEX VERTICILLATA 'WINTER RED'	WINTER RED HOLLY	24"-30"	PROVIDE 1 SOUTHERN GENTLEMAN FOR EVERY 5 WINTER RED HOLLIES.
12	ITE-V	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEET SPIRE	18"-24"	
7	RHU-A	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	18"-24"	5' O.C.
22	SPI-G	SPIRAEA JAPONICA 'GOLDMOUND'	GOLDMOUND SPIREA	18"-24"	3' O.C.
17	VIB-D	VIBURNUM DENTATUM 'SYNNESTVEDT'	CHICAGO LUSTRE VIBURNUM	24"-30"	5' O.C.
GRASSES					
22	CAL-A	CALAMAGROSTIS x ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER'S FEATHER REED GRASS	#2 CONT.	3' O.C.
32	SPO-H	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#2 CONT.	3' O.C.
PERENNIALS					
18	SED-A	SEDUM 'AUTUMN JOY'	AUTUMN JOY STONECROP	#1 CONT.	2' O.C.
PLUG MIX-C - PERENNIALS AND SEDGES					
31	AES-T	AESCLEPIUS TUBEROSA	BUTTERFLY WEED	PLUG PLANT	18" O.C. INTERPLANT ALL MIX-C PLANTS RANDOMLY. ACHIEVING EVEN DISTRIBUTION OF SPECIES AS MUCH AS POSSIBLE.
31	AMS-B	AMSONIA X 'BLUE ICE'	BLUE ICE BLUE STAR	PLUG PLANT	18" O.C.
31	CAR-P	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	PLUG PLANT	18" O.C.
31	CAR-V	CAREX VULPINODIA	FOX SEDGE	PLUG PLANT	18" O.C.
31	ECH-P	ECHINACEA PURPUREA 'MAGNUS'	MAGNUS PURPLE CONEFLOWER	PLUG PLANT	18" O.C.
31	LIA-S	LIATRIS SPICATA 'KOBOLD'	KOBOLD PRAIRIE BLAZING STAR	PLUG PLANT	18" O.C.

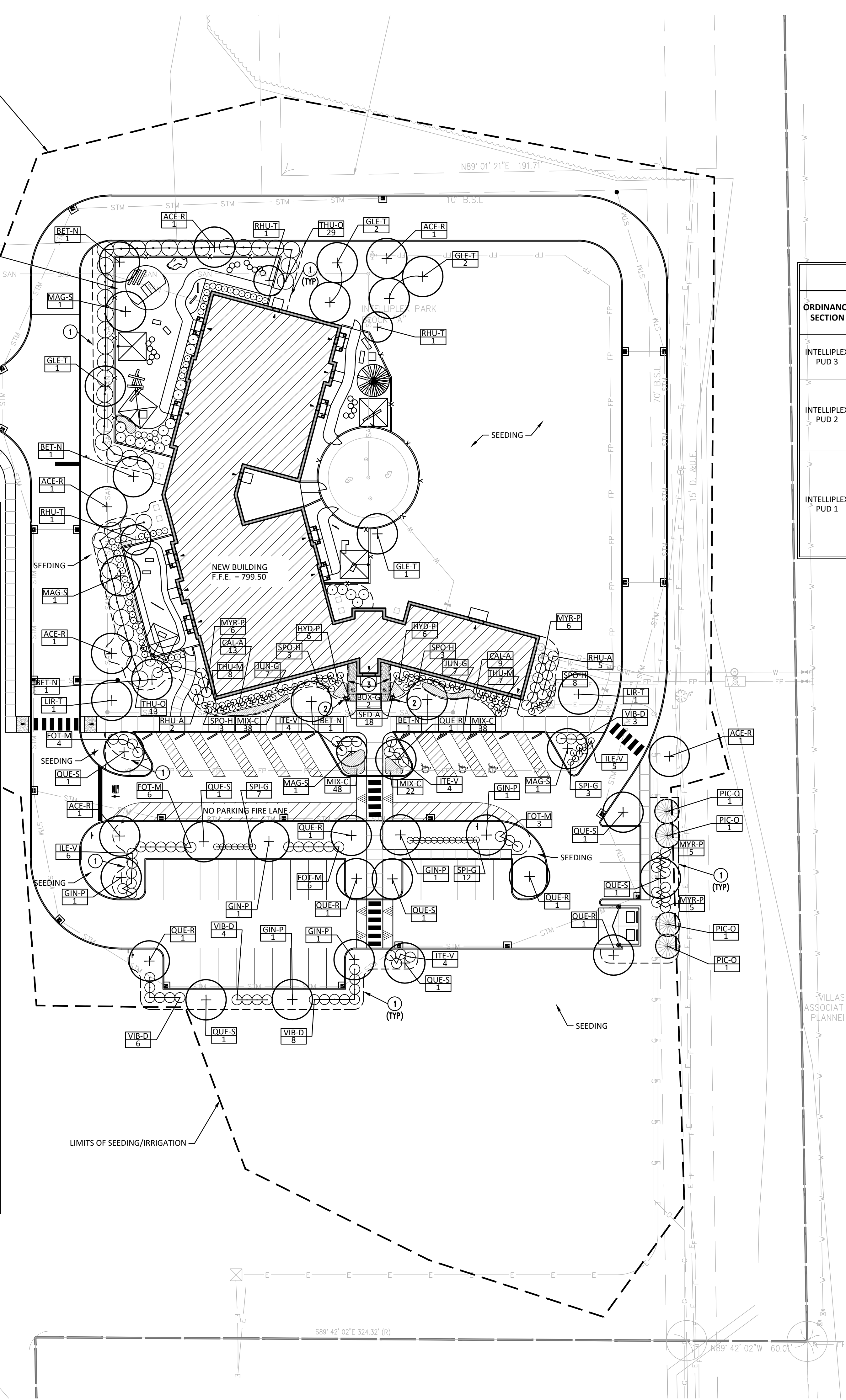
LANDSCAPE ORDINANCE CHART				
ORDINANCE SECTION	DESCRIPTION	MEASUREMENT	PLANTINGS REQUIRED	PLANTINGS PROVIDED
INTELLIPEX PUD 3	LOT YARD AREA A MINIMUM OF 1 TREE SHALL BE PROVIDED FOR EVERY 5,000 SQUARE FEET OF YARD AREA.	60,115 SF	12 TREES	14 TREES
INTELLIPEX PUD 2	INTERIOR PARKING LOT LANDSCAPING 15% OF ALL UNCOVERED VEHICLE AREAS 1 TREE AND 4 SHRUBS / EVERY 360 SF REQUIRED LANDSCAPED AREA. NO MORE THAN 60% OF THE TREES PLANTED ON EACH LOT TO MEET THESE REQUIREMENTS MAY BE OF AN ORNAMENTAL VARIETY.	15% OF 21,484 SF	3222 SF WITH 9 TREES AND 36 SHRUBS	6277 SF WITH 14 TREES AND 63 SHRUBS
INTELLIPEX PUD 1	PERIMETER PARKING LOT LANDSCAPING SHALL HAVE A MINIMUM OF 80% OF THE EXTERIOR PERIMETER OF EVERY PARKING LOT. THE LANDSCAPED AREA SHALL BE NO LESS THAN 10 FEET IN WIDTH. A MINIMUM OF 1 TREE AND 5 SHRUBS SHALL BE PROVIDED FOR EVERY 600 SF OF LANDSCAPED AREA. NO MORE THAN 60% OF THE TREES PLANTED ON EACH LOT TO MEET THESE REQUIREMENTS MAY BE OF AN ORNAMENTAL VARIETY.	3,171 SF	6 TREES AND 26 SHRUBS	12 TREES AND 32 SHRUBS

GENERAL NOTES

- A. REFER TO LANDSCAPE DETAILS FOR NOTE REFERENCES.
- B. ALL DISTURBED LAWN AREAS TO BE SEEDED UNLESS OTHERWISE NOTED.
- C. CONTRACTOR TO SUBMIT IRRIGATION DRAWINGS FOR REVIEW.

PLAN NOTES

1. SPADE EDGE.
2. BOULDER.
3. STONE MULCH & METAL EDGE.



CONSTRUCTION  
DOCUMENTS

NUMBER	DATE	DESCRIPTION
1	06/05/2023	TAC REVISION
2	07/06/2023	TAC REVISION



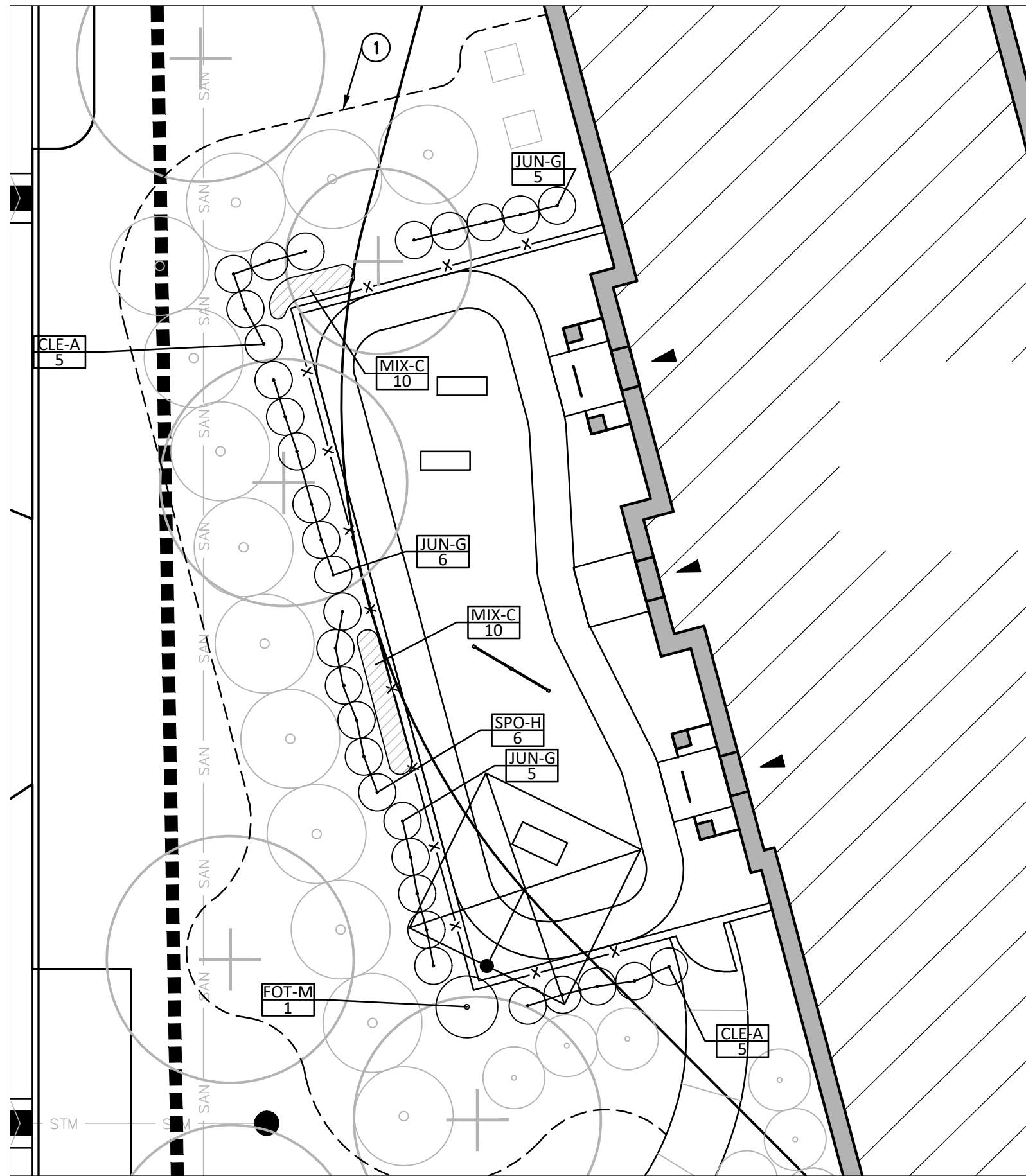
Rebecca K. Grubbs

SITE  
LANDSCAPE  
PLAN

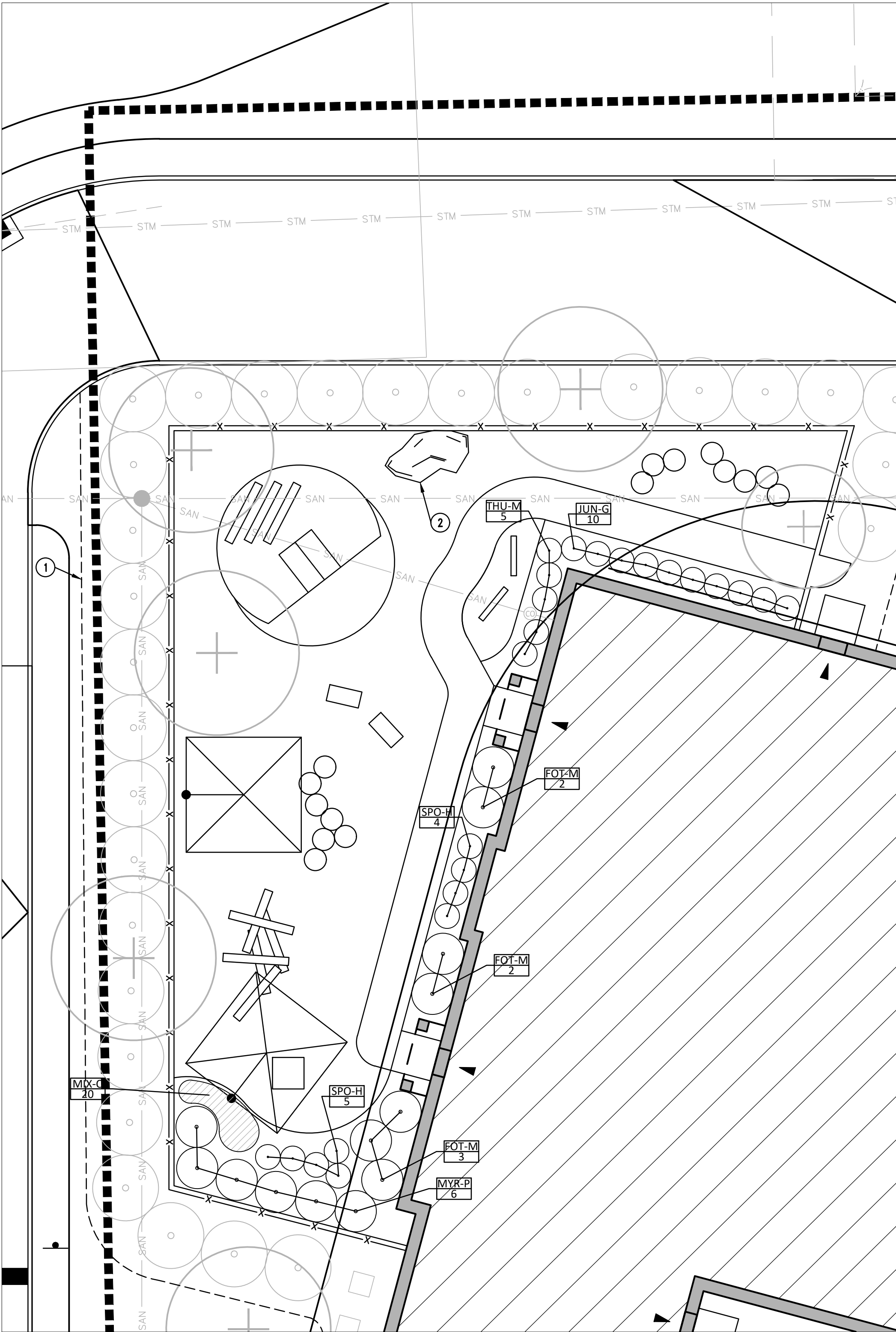
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COORD:	ADS
APPROVED:	RKF

C600

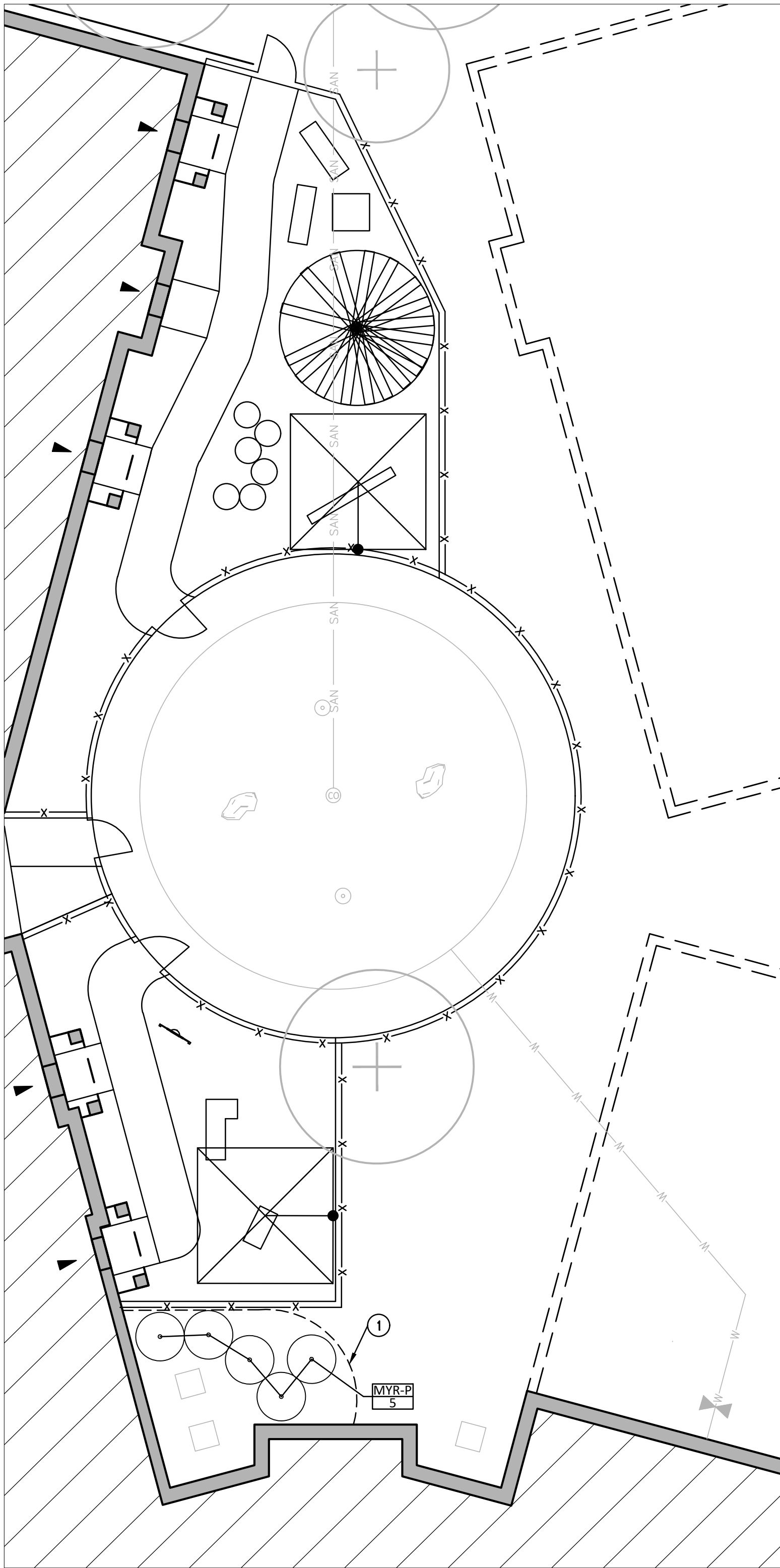
JPS Consulting Engineers - K:\Civil Projects\22.PSC83 Shelby County Early Learning - CD\Drawings\C600.dwg July 7, 2023 - 9:38 AM T.Jones



3 TODDLER PLAYGROUND ENLARGEMENT  
SCALE: 1"=10'

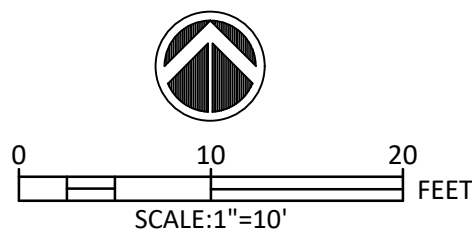


2 PRE-K PLAYGROUND ENLARGEMENT  
SCALE: 1"=10'



1 TWO'S AND INFANT PLAYGROUND ENLARGEMENT  
SCALE: 1"=10'

PLAN NOTES	
1.	SPADE EDGE.
2.	BOULDER.



Rebecca K. Frank

PLAYGROUNDS  
LANDSCAPE  
PLAN

SCALE:	1" = 10'
DATE:	MAY 31, 2023
PROJECT #:	22JPSC83
DRAWN:	TPJ
COORD:	ADS
APPROVED:	RKF

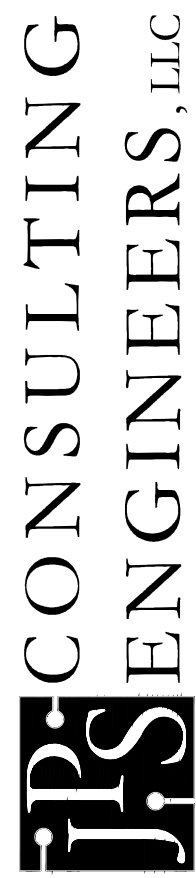
C601

CONSTRUCTION  
DOCUMENTS

NUMBER	DATE	DESCRIPTION
1/A	06/05/2023	TAC REVISION
2/A	07/06/2023	TAC REVISION

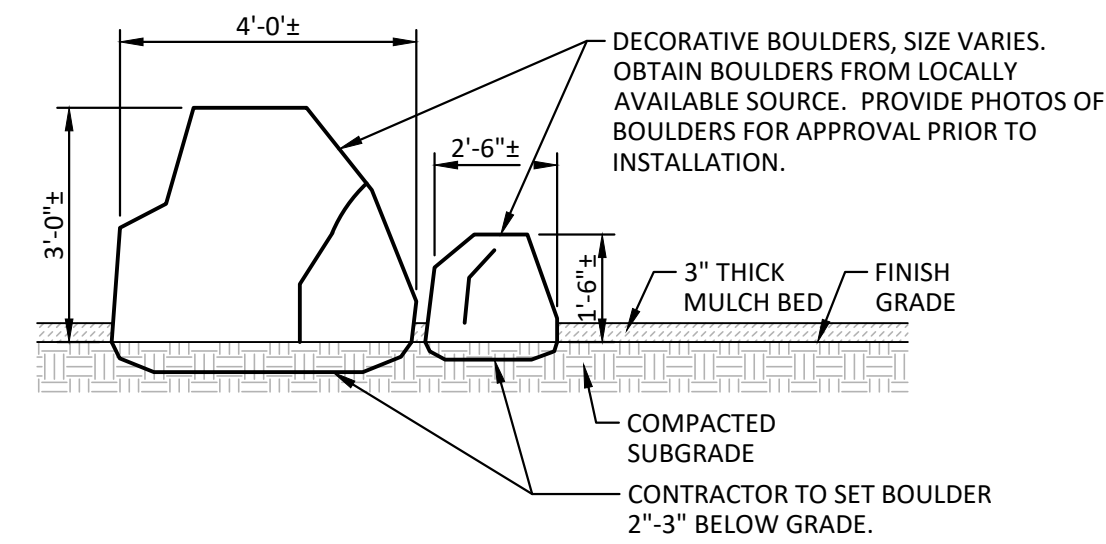
JULIA & NICHOLAS  
RUNNEBOHM EARLY  
LEARNING CENTER

2400 INTELLIPLEX DRIVE  
SHELBYVILLE, IN 46176

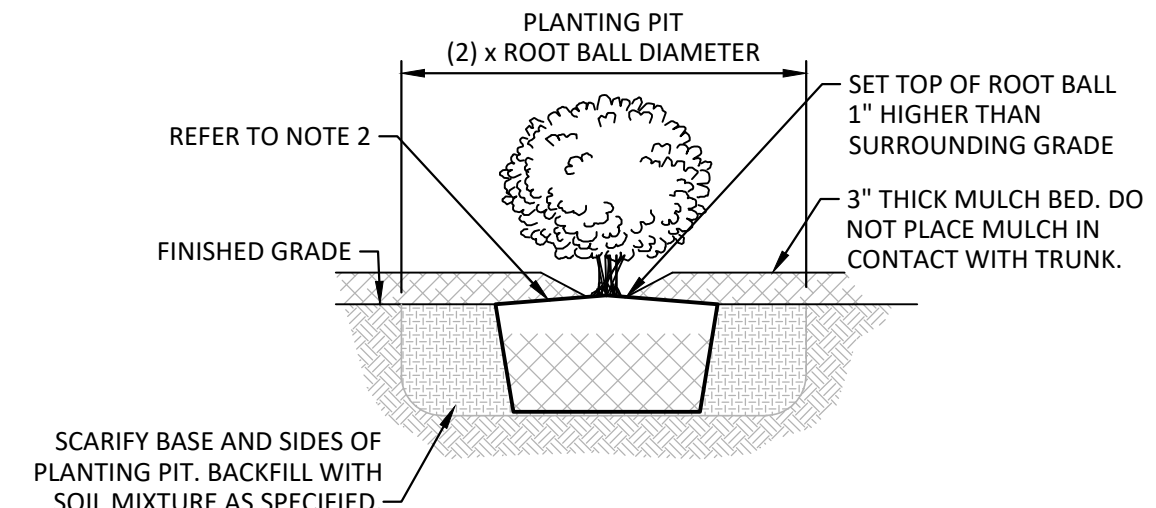


9365 Counselors Row, Suite 116  
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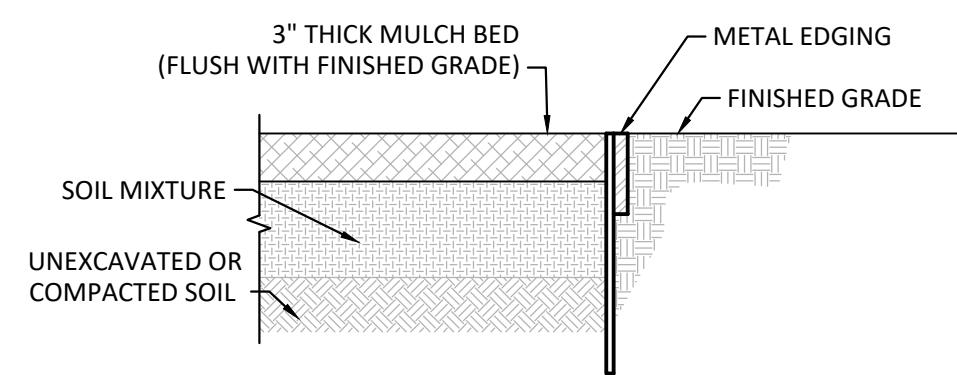


6 BOULDER DETAIL  
NO SCALE



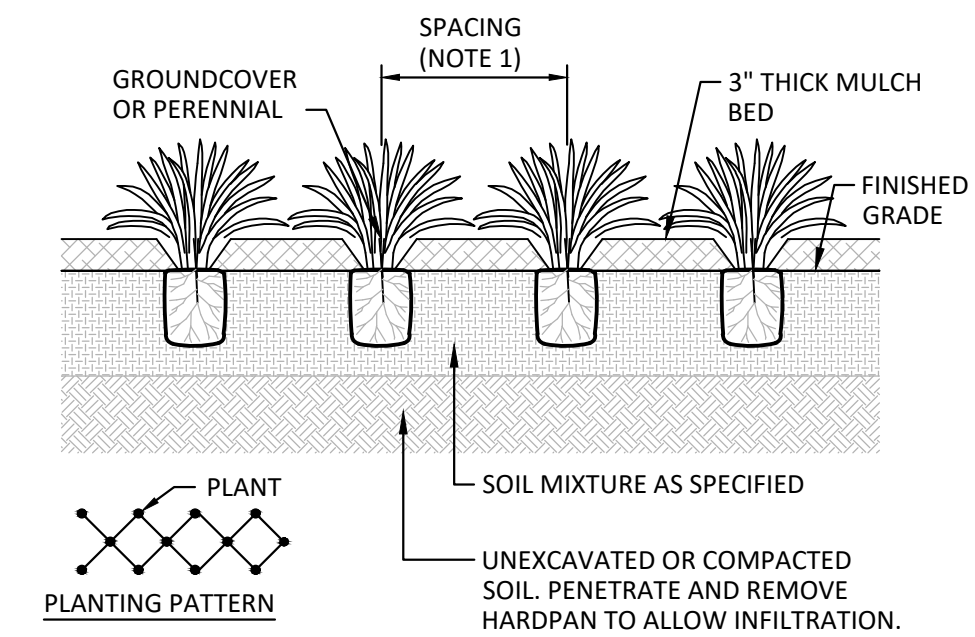
- |  |
|--|
| NOTE:  |
| 1. CONTRACTOR SHALL VERIFY THAT PLANTING PIT IS FREE DRAINING PER SPECIFICATION PRIOR TO PLANTING.                 |
| 2. REMOVE ALL BINDINGS AND BURLAP FROM THE TOP 1/3 OF ROOT BALL. PLACE ROOT BALL ON UNEXCAVATED OR COMPACTED SOIL. |

#### 4 SHRUB PLANTING DETAIL



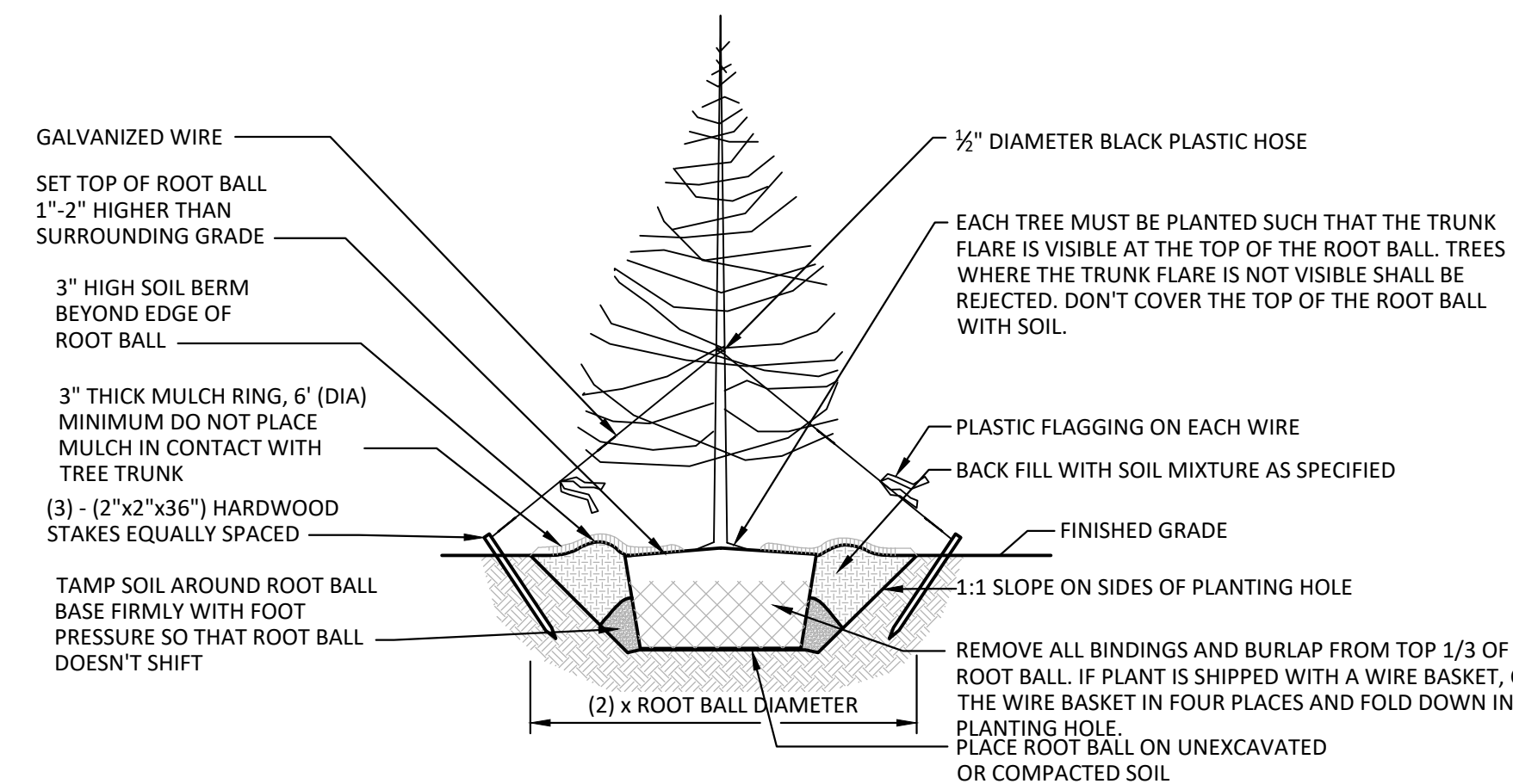
- NOTE:
1. INSTALL METAL EDGING WITH STAKE POCKETS ON INSIDE OF BED.
  2. REFER TO SPECIFICATIONS FOR MULCH, SOIL MIXTURE AND EDGING REQUIREMENTS.
  3. METAL EDGING SHALL BE FLUSH WITH FINISHED GRADE. COMPACT BACKFILL ALONG EDGING TO ASSURE THAT EDGE IS FLUSH.

## 5 STONE MULCH BED AND METAL EDGING DETAIL



- NOTE:**
1. PLANT IN DIAGONAL PLANTING PATTERN. REFER TO PLANT LIST FOR SPACING REQUIREMENTS.
  2. REFER TO PLANT LIST FOR GROUNDCOVER OR PERENNIAL TYPE.

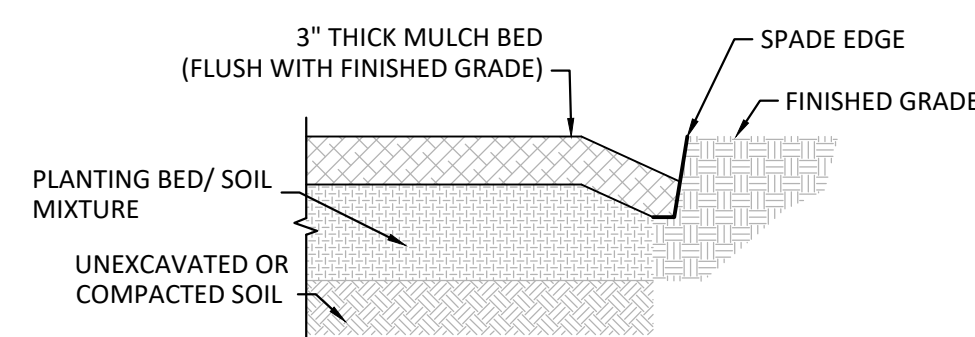
### 3 GROUNDcover / PERENNIAL PLANTING DETAIL



- NOTES:**

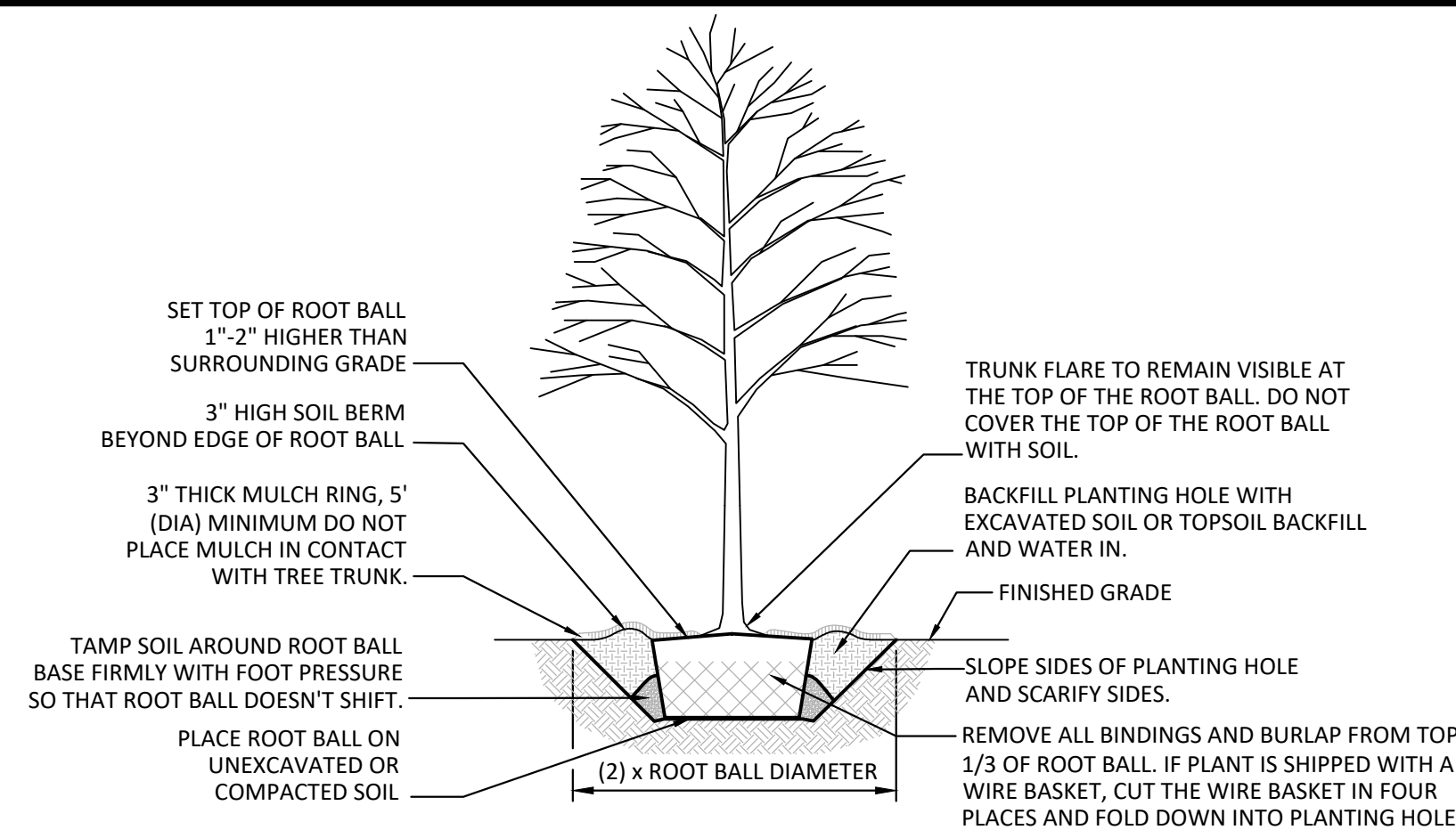
  1. CONTRACTOR SHALL VERIFY THAT PLANTING HOLE IS FREE DRAINING PER SPECIFICATION PRIOR TO PLANTING.
  2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES.
  3. MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH.

## 2 EVERGREEN TREE PLANTING DETAIL



- NOTES:
1. SPADE EDGE SHALL CREATE A CLEAN SEPARATION BETWEEN AREAS USING SMOOTH EVEN LINES AS INDICATED ON THE PLANS.
  2. REFER TO SPECIFICATIONS FOR MULCH AND SOIL MIXTURE REQUIREMENTS.
  3. CUT TO A MINIMUM DEPTH OF 4 INCHES.

7 SPADE EDGE DETAIL  
NO SCALE



- |   |
|---|
| <p>NOTES:</p> <ol style="list-style-type: none"> <li>1. CONTRACTOR SHALL VERIFY THAT PLANTING HOLE IS FREE DRAINING PER SPECIFICATION PRIOR TO PLANTING.</li> <li>2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. LEAVE MAIN LEADER INTACT.</li> <li>3. MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH.</li> <li>4. STAKE AND GUY TREE PER SPECIFICATIONS ONLY IF DEEMED NECESSARY BY LANDSCAPE ARCHITECT IN THE FIELD.</li> </ol> |
|---|

## 1 DECIDUOUS TREE PLANTING DETAIL

CONSTRUCTION  
DOCUMENTS

NUMBER	DATE	DESCRIPTION
△ <sub>1</sub>	06/05/2023	TAC REVISION
△ <sub>2</sub>	07/06/2023	TAC REVISION



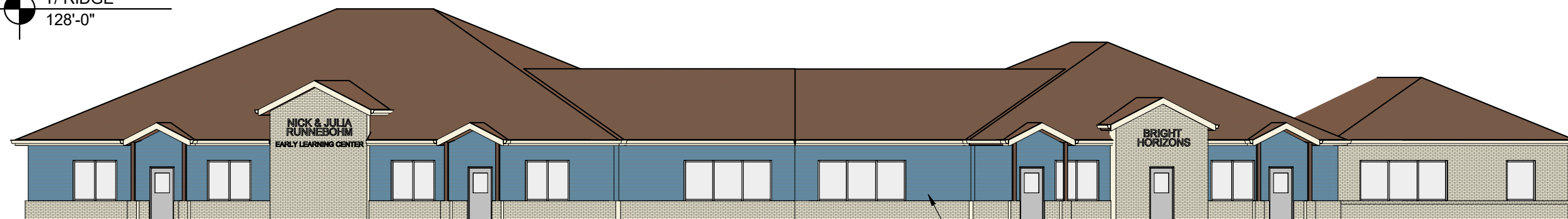
Rebecca L. French

## SITE LANDSCAPE DETAILS

SCALE:	AS NOTED
DATE:	MAY 31, 2023
PROJECT #:	22JPSC83
DRAWN:	TPJ
COORD:	ADS
APPROVED:	RKF

# C610

T/ RIDGE  
128'-0"



EAVE HT  
110'-0"

FIRST FLOOR  
100'-0"

**2** OVERALL EAST  
ELEVATION  
SCALE: 1/16" = 1'-0"



**1** SOUTH  
ELEVATION  
SCALE: 1/16" = 1'-0"

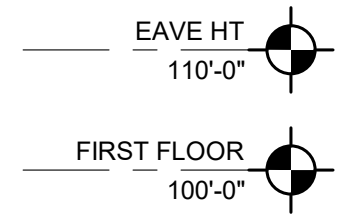
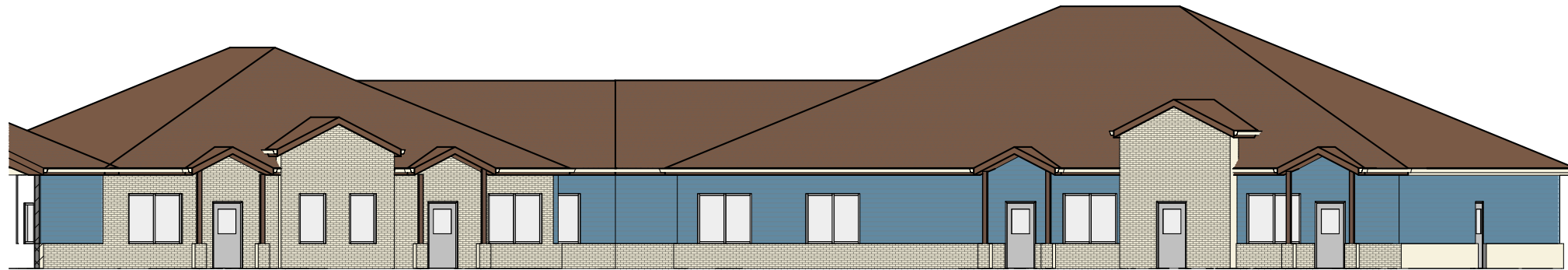
PRELIMINARY ELEVATIONS

# NICK & JULIA RUNNEBOHM EARLY LEARNING CENTER

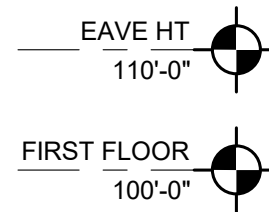
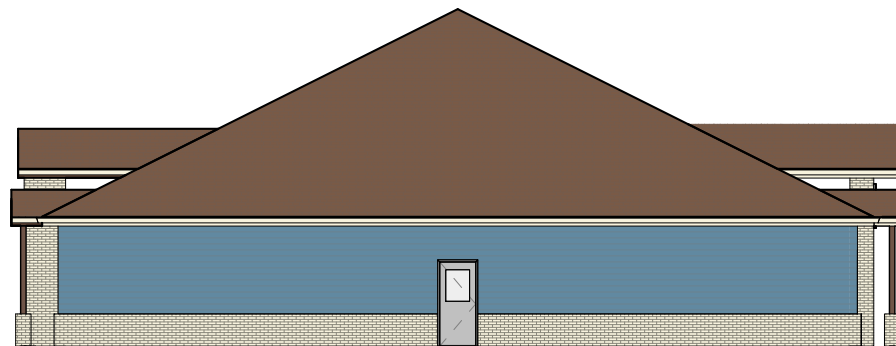
SHELBYVILLE, INDIANA

APRIL 17, 2023 | PROJ #1951

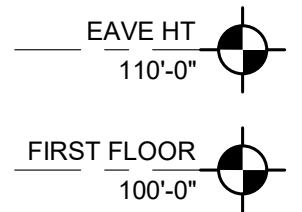
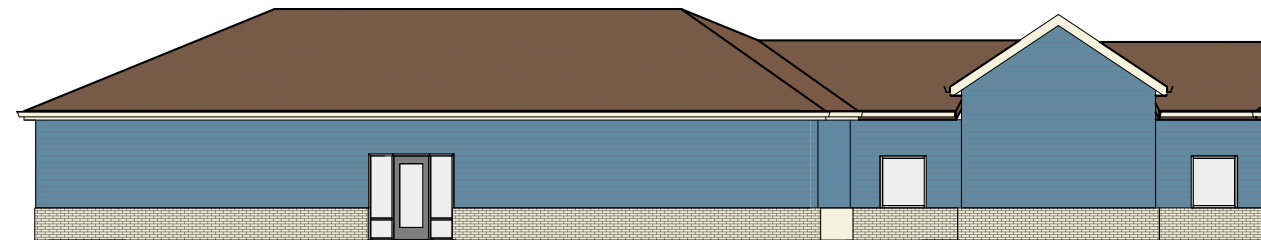




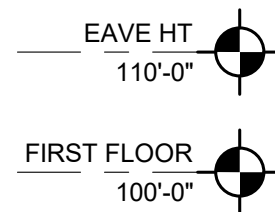
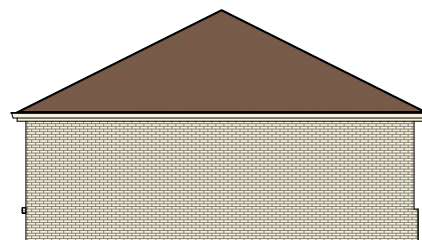
**4** EAST CLASSROOM  
ELEVATION  
SCALE: 1/16" = 1'-0"



**3** NORTH CLASSROOM  
ELEVATION  
SCALE: 1/16" = 1'-0"



**2** NORTH ENTRY  
ELEVATION  
SCALE: 1/16" = 1'-0"



**1** EAST WING  
ELEVATION  
SCALE: 1/16" = 1'-0"

PRELIMINARY ELEVATIONS

# NICK & JULIA RUNNEBOHM EARLY LEARNING CENTER

SHELBYVILLE, INDIANA

APRIL 17, 2023 | PROJ #1951

